



ZONING BOARD OF APPEALS MEETING AGENDA

July 15, 2026 at 7:30 PM

432 Route 306, Wesley Hills, NY 10952

Phone: 845-354-0400 | Fax: 845-354-4097

CALL TO ORDER

ROLL CALL

CONTINUED PUBLIC HEARING

1. The application submitted by Shimmy's Enterprises Inc, on behalf of Enoch Kimmelman for variances from the provisions of Section 230-17 Attachment I and Section 230-14L(3) of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of a pool house, swimming pool, raised deck and fence having side yard for the pool house of 20 feet instead of the minimum required of 25 feet, total side yard of 45.4 feet instead of the minimum required 60 feet, rear yard for the pool house of 15 feet instead of the minimum required 50 feet, impervious surface ratio of .32 instead of the maximum permitted of .25 and a fence height of 9 feet in a side yard, including a retaining wall, instead of the maximum permitted of 6 feet.

The subject premises are situated on the west side of Astor Place, approximately 160 feet south of Ardley Place, known as 21 Astor Place, designated on the Tax Map as Section 41.10, Block 1, Lot 53, in an R-35 Zoning District.

2. The application submitted by Shimmy's Enterprises, Inc. on behalf of Chana Gold for variances from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills, to permit the maintenance and use of an enlarged porch and walkway having impervious surface ratio of .32 instead of the maximum permitted of .25 and the variance previously granted of .301 and front yard impervious surface ratio of .27 instead of the maximum permitted of .20 and the variance previously granted of .253.

The subject premises are situated on the north side of Willow Tree Road approximately 250 feet east of Wilder Road, known as 146 Willow Tree Road, designated on the Tax Map as Section 41.10, Block 2, Lot 47, in an R-35 Zoning District.

3. The application submitted by Gary and Malki Gartenberg for variances from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of a semicircular driveway having an impervious surface ratio of 26.1% instead of the maximum permitted of 25% and front yard impervious surface ratio of 29.2% instead of the maximum permitted of 23%.

The subject premises are situated on the east side of Villa Lane approximately 600 feet north of Ardley Place, known as 8 Villa Lane, designated on the Tax Map as Section 41.10, Block 1, Lot 14, in an R-35 Zoning District.

4. The application submitted by Stanley Mayerfeld on behalf of 166 E. Willow Tree Realty, LLC for variances from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of a single family residence having a front yard of 42.9 feet on East Willow Tree Road instead of the minimum required of 50 feet, 33.6 feet on Route 306 instead of the minimum required of 50 feet, side yard of 19.6 feet instead of the minimum required of 25 feet, impervious surface ratio of .29 instead of the maximum permitted of .25, front yard impervious surface ratio of .30 on East Willow Tree Road instead of the maximum permitted of .20, and building coverage of .15 instead of the maximum permitted of .10.

The subject premises are situated on the north side of East Willow Tree Road, 0 feet from the intersection with Route 306, known as 166 East Willow Tree Road, designated on the Tax Map as Section 41.11, Block 2, Lot 1, in an R-35 Zoning District.

5. The application submitted by Stanley Mayerfeld on behalf of Norman Rausman for variances from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of a single family residence, inground swimming pool and cabana having impervious surface ratio of .344 instead of the maximum permitted of .25, front yard impervious surface ratio of .237 instead of the maximum permitted of .23, building coverage of .132 instead of the maximum permitted of .10, side yard setback for the cabana of 15 feet instead of the minimum required of 25 feet and rear yard setback for the cabana of 15 feet instead of the minimum required of 50 feet.

The subject premises are situated on the north side of South Parker Drive approximately 275 feet west of Judith Lane, known as 58 South Parker Drive, designated on the Tax Map as Section 41.18, Block 1, Lot 34, in an R-35 Zoning District.

6. The application submitted by Kim Thomas Sipple on behalf of Tammy Wolchok for variances from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of an addition to a single family residence and circular driveway having a front yard impervious surface ratio at Camberra Drive of .31 instead of the maximum permitted of .22, building coverage of .12 instead of the maximum permitted of .10 and residence height of 3 stories instead of the maximum permitted of 2.5 stories.

The subject premises are situated on the north side of Camberra Drive at the bulb of the cul-de-sac known as 11 Camberra Drive, designated on the Tax Map as Section 41.13, Block 1, Lot 17, in an R-50 Zoning District.

APPROVAL OF MINUTES

7. June 17, 2026

ADJOURNMENT

REFERENCES:
-ALL BOUNDARY INFORMATION IS REFERENCED
FROM A SURVEY PREPARED BY ANTHONY R.
CELENTANO, PLS, LAST REVISED JULY 6, 2020.



BULK REQUIREMENTS										ZONE: R-35 SINGLE-FAMILY RESIDENTIAL			
	MIN. LOT AREA	LOT FRONTAGE	LOT WIDTH	EFFECTIVE SQUARE	FRONT YARD WALK	SIDE YARD	TOTAL SIDE YARDS	REAR YARD	MAXIMUM IMPERVIOUS SURFACE	FRONT YARD IMPERVIOUS	BUILDING COVERAGE	MAXIMUM BUILDING HEIGHT FEET	MAXIMUM EXPOSED BUILDING HEIGHT
REQUIRED	\$5,000 SF	100'	125'	125'	50'	25'	60'	50'	0.25	0.20	0.10	2-1/2	25'
EXISTING	53,740 SF	50.00**	223'	150'	118.9'	44.2'	82.5'	120.7'	0.109	0.13	0.019	2	40'
PROPOSED	53,740 SF	50.00**	223'	150'	118.9'	41.8'	78'	109'	0.253*	0.30*	0.025	2	40'
** EXISTING CONDITION													
* VARIANCE GRANTED 1/17/21													

EXISTING COVERAGES:
1) EXISTING DRIVE AND FRONT WALK=4,512 SQFT
2) EXISTING REAR PATIO=270 SQFT
3) EXISTING HOUSE=995 SQFT
4) EXISTING SHED=112 SQFT
TOTAL=5,889 SQFT

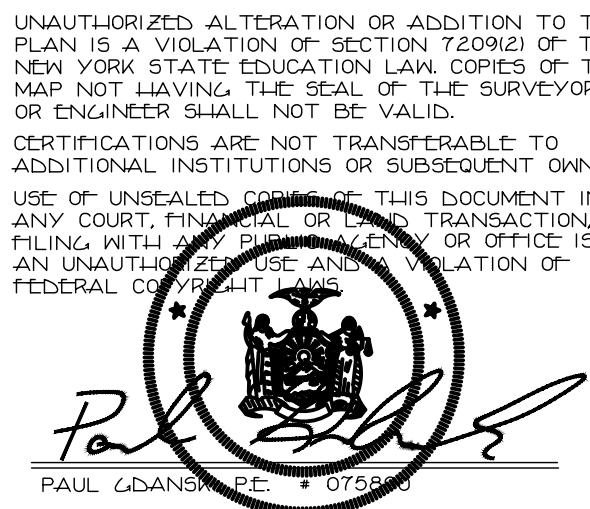
PROPOSED COVERAGES:
1) EXISTING DRIVE AND FRONT WALK=4,447 SQFT
2) EXISTING REAR PATIO=130 SQFT
3) PROPOSED HOUSE=1,354 SQFT
4) EXISTING SHED=112 SQFT
5) PROPOSED TENNIS COURT=7,538 SQFT
TOTAL=13,581 SQFT

FRONT YARD IMPERVIOUS AREA:
EX. DRIVEWAY & WALK=4,388 SF
PROP. TENNIS=6,585 SF
TOTAL=10,973 SF
FRONT YARD AREA=36,434 SF
10,973 SF/36,434 SF=FY AREA=0.301

- GENERAL NOTES:
- ADDITIONAL SOIL TESTING IS REQUIRED FOR THE PROPOSED INFILTRATION FACILITY.
 - ANY WALLS GREATER THAN 4 FEET IN HEIGHT MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER.
 - THE VILLAGE ENGINEER MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO DRAINAGE INSTALLATION. THE INSTALLATION MUST BE WITNESSED/APPROVED BY THE VILLAGE ENGINEER.

Drywell Design:	
Development size =	0.1730 Acre
Undeveloped SCS Curve No. =	74.0000
Developed SCS Curve No. =	98.0000
1. Select Design Storm	9.3000
100 year, 24-hour	
2. Type of subsurface disposal system:	
Precast drywell with 3'-3/4" crushed stone	
3. Determine Percolation Rate:	
Percolation Rate:	1.0000 inches
Drop:	30.0000 minutes
a. Area of Percolation (Ap):	
Surface area of Cylinder	
Ac=pi*r^2	1.0000 foot
De:	8.5000 inches
Ac=	2.2353 Ft^2
Bottom Area	
Ab=pi*r^2	0.7854 Ft^2
Ap=	
Volume of Percolation:	
Ap*Ac*Ab	3.0107 Ft^2
Ap*Ab	0.0554 Ft^3
Soil Percolation Rate	0.0007 Ft^3/Ft^2/Min.
Per=volume/area*time	1.0435 Ft^3/Ft^2/day
Per=	0.7828 Ft^3/Ft^2/day
Per=	
4. Calculate Required Storage Volume:	
100yr, 24 hour rainfall=	9.3000 inches
From Table 2-1 of TR-55	
Existing CW=	74.0000 therefore depth V= 6.11 inches
Proposed CW=	98.0000 therefore depth V= 9.10 inches
Delta V=	2.9900 inches
Vs=delta V*Area	1878.2183 Ft^3
Vs=	
5. Calculate Volume per Drywell:	
Vw=Vp*2*height	3.0000 feet
Thickness of Slope=	0.3330 feet
Thickness of drywell wall=	6.0000 feet
Diameter of drywell=	6.0000 feet
Height of drywell=	6.0000 feet
Vw=	337.6500 Ft^3
6. Calculate 24-hour percolation volume per drywell (Vp):	
Vp=volume/area*time	98.6083 Ft^3/day/drywell
Vp=	
Note: Bottom of drywell not included	
7. Calculate the total 24-hour volume per drywell (Vt):	
Vt=Volume of drywell(Vw)/percolation volume(Vp)	436.2583 Ft^3
Vt=	
8. Determine number of drywells required (DNr):	
DNr=Req. Volume of Storage(Vs)/Total Vol. per Drywell(Vt)	4.3
DNr=	
USE	5

REVISIONS	
2 12/8/21 REVISE PLANS	
1 8/2/21 REVISE PLANS	
PLOT PLAN FOR 146 WILLOW TREE ROAD 41.10-2-47 LOCATED IN THE VILLAGE OF WESLEY HILLS ROCKLAND COUNTY, NEW YORK	
GRAPHIC SCALE 0 10 20 30 40 50 60	
PAUL GDANSKI, PE, PLLC 633 WOODMONT LANE SLOATSBURG, N.Y. 10974 TEL: (917) 418-0999	146WILLOW MAR. 19, 2021 1" = 20'
PG 8/25/20	1 OF 3



REFERENCES:
-ALL BOUNDARY INFORMATION IS REFERENCED
FROM A SURVEY PREPARED BY ANTHONY J.
CELENTANO, PLS, LAST REVISED JULY 6, 2020.

LOT4T65Y/D10/HS



Specification grade area lights available in IES Type IV distributions. Best-in-class
5-G vibration rating. 5-year, limited warranty.

Color: Bronze

Weight: 20.9 lbs

Expanded Luminaire Location Summary

LumNo	Tag	X	Y	MTG HT	Orient	Tilt
1	A	101.225	266.936	10	14.914	0
2	A	109.223	240.751	10	14.914	0
3	A	117.877	211.279	10	14.914	0
4	A	126.04	184.272	10	14.914	0
5	A	157.694	287.267	10	199.401	0
6	A	166.342	259.981	10	199.401	0
7	A	175.649	229.901	10	199.401	0
8	A	184.626	202.122	10	199.401	0
Total Quantity: 8						

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	CV	Description	PtSpdLr	PtSpTb	Meter Type
CalcPts - Light Spill Site	Illuminance	Fc	0.11	4.4	0.0	N.A.	N.A.	N.A.	Readings taken at 0'-0" AFG	5	5	Horizontal
CalcPts - Property Line	Illuminance	Fc	0.03	0.3	0.0	N.A.	N.A.	N.A.	Readings taken at 0'-0" AFG	5	N.A.	Horizontal
CalcPts - Tennis Court	Illuminance	Fc	3.51	13.5	0.1	35.10	135.00	1.17	Readings taken at 3'-0" AFG	10	10	Horizontal

Luminaire Schedule

All quotes/orders generated from this layout must be forwarded to the Local Rep Agency

Symbol	Qty	Tag	Label	Arrangement	LLF	Description	BUG Rating
	8	A	LOT4T65Y-D10-HS	Single	1.000	Type IV Pole Mount with Integrated House Shields	B0-U0-G1

Luminaire Tag Summary

Tag	Qty
A	8

REVISIONS

2 12/8/21 REVISE PLANS
1 8/2/21 REVISE PLANS

LIGHTING PLAN
FOR
146 WILLOW TREE ROAD
41.10-2-47
LOCATED IN THE
VILLAGE OF WESLEY HILLS
ROCKLAND COUNTY, NEW YORK

GRAPHIC SCALE
0 10 20 30 40 50

PAUL GDANSKI, PE, PLLC

633 WOODMONT LANE
SLOATSBURG, N.Y. 10974
TEL: (917) 418-0999

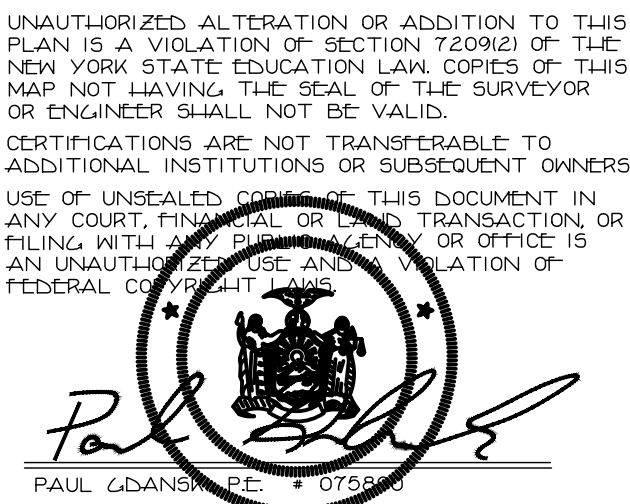
PG 8/25/20

146WILLOW

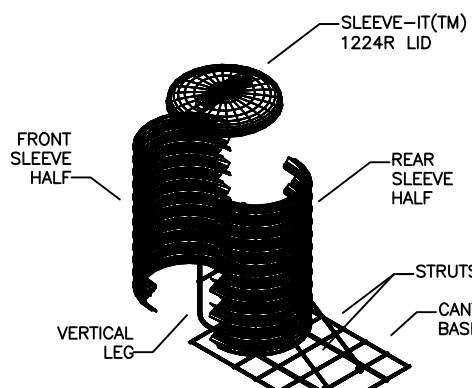
MAR. 19, 2021

NTS

2 OF 3

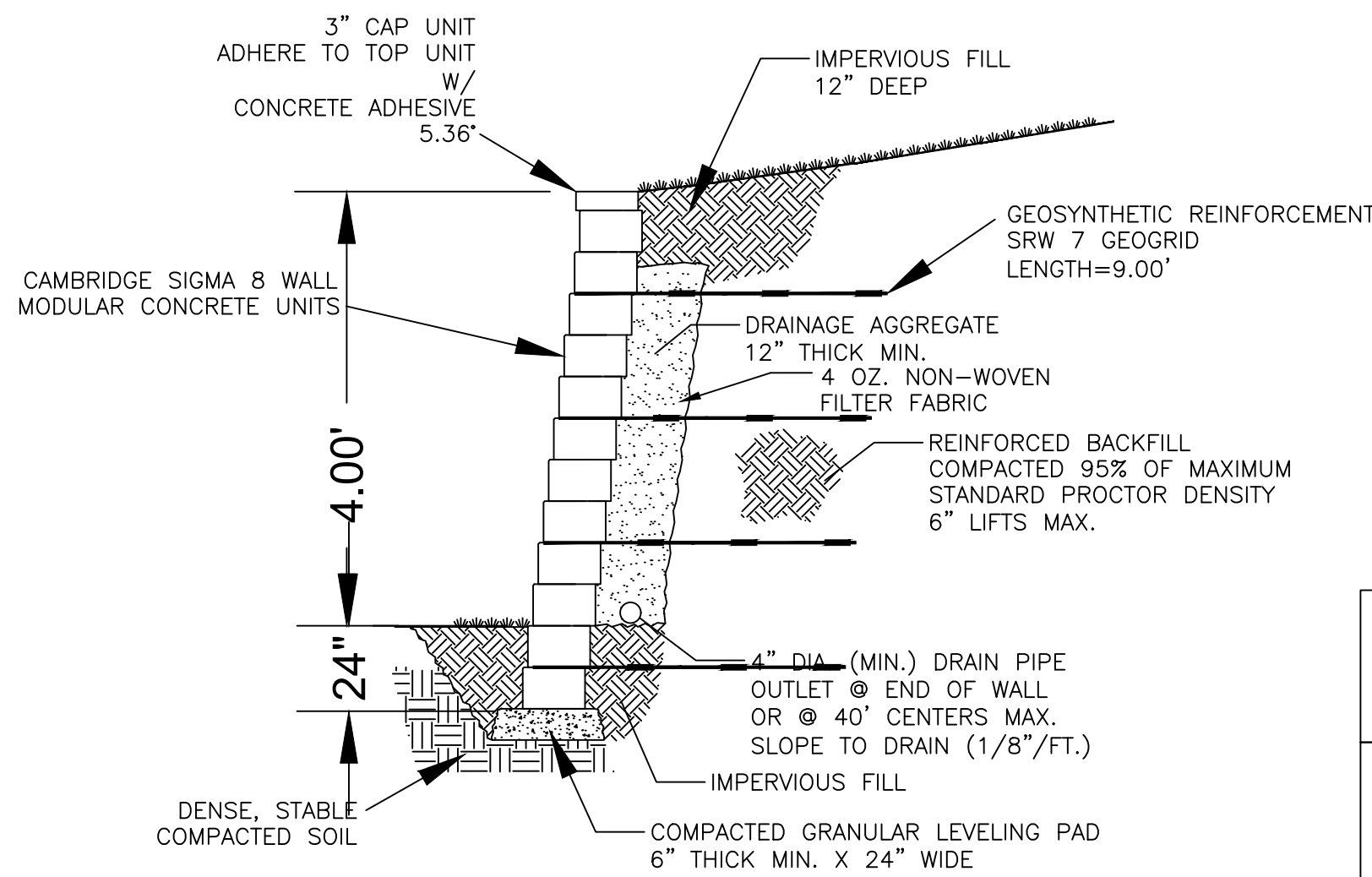


UNAUTHORIZED ALTERATION OR ADDITION TO THIS
PLAN IS A VIOLATION OF SECTION 7209(2) OF THE
NEW YORK STATE EDUCATION LAW. COPIES OF THIS
MAP NOT HAVING THE SEAL OF THE SURVEYOR
OR ENGINEER SHALL NOT BE VALID.
CERTIFICATIONS ARE NOT TRANSFERABLE TO
ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
USE OF UNSEALED COPIES OF THIS DOCUMENT IN
ANY COURT, FINANCIAL OR LEGAL TRANSACTION OR
FILING WITH ANY AGENCY OR OFFICE IS
AN UNAUTHORIZED USE AND VIOLATION OF
FEDERAL COPYRIGHT LAWS.



SLEEVE-IT(TM) ISO 1224R

NOTE: SLEEVE-IT SYSTEM TO BE USED FOR FENCE INSTALLATION



TYPICAL SECTION-REINFORCED RETAINING WALL

CAMBRIDGE SIGMA 8 WALL UNIT

SCALE: NONE

GEO-GRID NOTES:

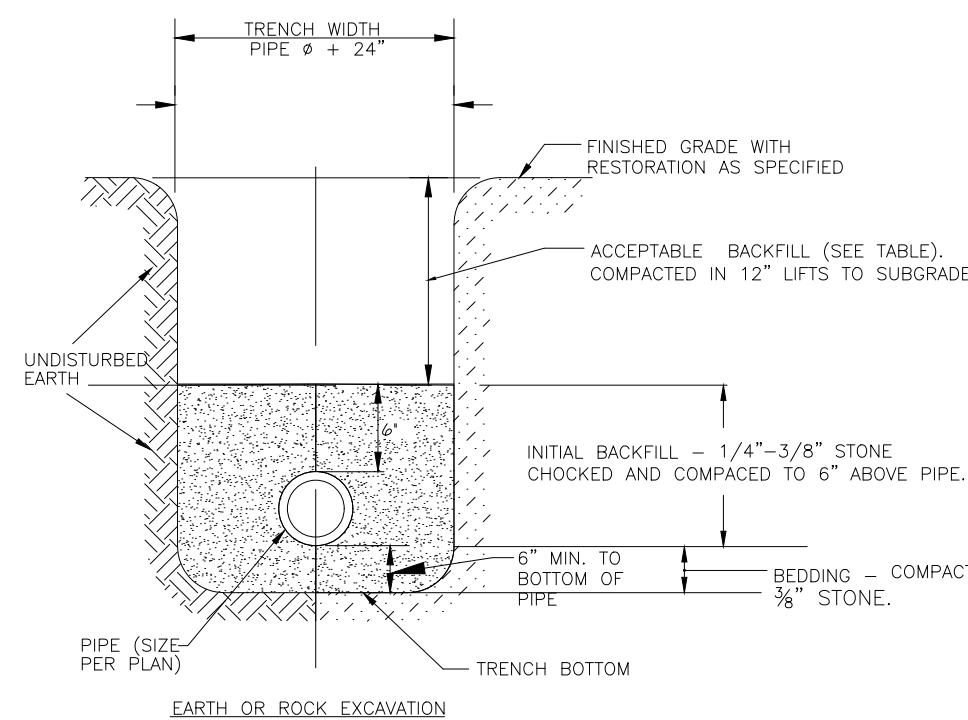
1. ALL GRID ELEVATIONS SHOWN ABOVE ELEVATION 0.0' ON DETAIL.
2. ALL GRID LENGTHS FROM FACE OF WALL.
3. EXPOSED FACE EXCLUDES CAP.

UNIT #	ELEV.	LENGTH
3	1.33	9.00
6	1.33	9.00
9	5.33	9.00

NOTE: OWNER IS RESPONSIBLE TO MAINTAIN TOE SLOPE OF WALL. OWNER IS AWARE THAT ANY EROSION OF TOE SLOPE COULD CAUSE WALL TO FAIL.

DESIGN NOTES:

1. SEE SEPARATE CALCULATIONS FOR WALL SECTION, IF REQUIRED.
2. ASSUMED SOIL CONDITIONS ARE AS FOLLOWS:
REINFORCED SOIL, FRICTION ANGLE 26, UNIT WEIGHT 120 PCF, CLAYEY SAND
RETAINED SOIL, FRICTION ANGLE 26, UNIT WEIGHT 120 PCF, CLAYEY SAND
LEVELING PAD, FRICTION ANGLE 40, UNIT WEIGHT 125 PCF, STONE AGGREGATE
FOUNDATION SOIL, FRICTION ANGLE 26, UNIT WEIGHT 120 PCF, CLAYEY SAND
3. IF SITE CONDITIONS DIFFER FROM ABOVE, THE CONTRACTOR MUST CONTACT THE ENGINEER IN WRITING TO ADJUST DESIGN AS NECESSARY.
4. WALL MUST BE SET ON VIRGIN MATERIAL OR FULLY COMPACTED MATERIAL.
5. THE CONTRACTOR MUST SUPPLY PHOTOS AND/OR VIDEO OF ALL INSTALLATIONS AFTER INITIAL EXCAVATION AND PRIOR TO LEVELING PAD, THEN AFTER EACH SUBSEQUENT COURSE OF BLOCK.
6. IS INSTALLED TO KEEP A PERMANENT RECORD OF BLOCK AND GRID INSTALLATIONS. SAID PHOTOS/VIDEO MUST BE PROVIDED TO ENGINEER ON A DAILY BASIS FOR REVIEW AND APPROVAL.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE ABOVE DESIGN AS WELL AS STANDARD DETAILS AND SPECIFICATIONS. ANY CONFLICTS BETWEEN THE DESIGN/DETAILS MUST BE PROVIDED TO THE ENGINEER IN WRITING SO MODIFICATIONS CAN BE MADE AS REQUIRED.
8. WALL COLOR PER OWNER.



ACCEPTABLE BACKFILL MATERIAL & COMPACTION REQUIREMENTS

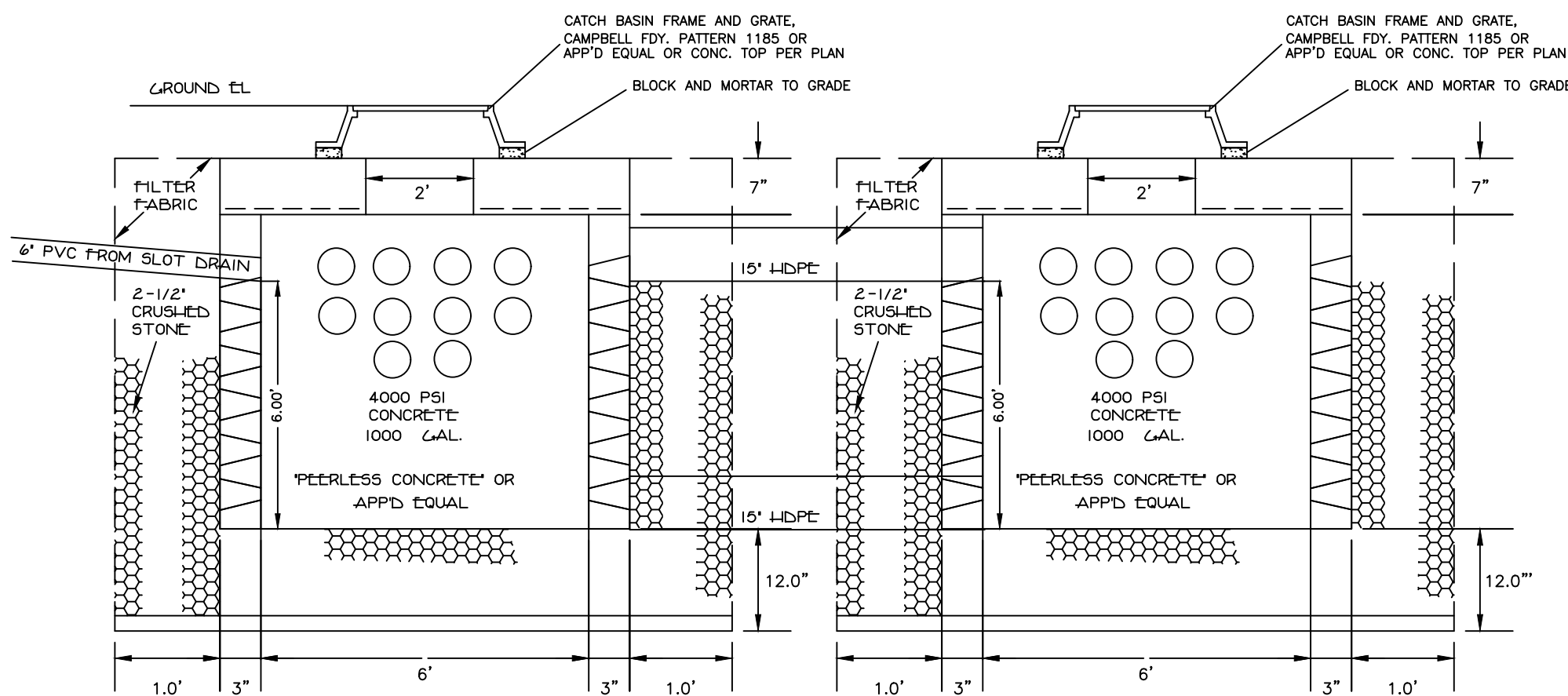
DESCRIPTION	SOIL CLASSIFICATION			MINIMUM STANDARD PROCTOR DENSITY %
	ASTM D2321	ASTM D2487	AASHTO M43	
GRADED OR CRUSHED, CRUSHED STONE, GRAVEL	CLASS I	-	56	DUMPED
SAND, GRAVELS AND GRAVEL/SAND MIXTURES; LITTLE OR NO FINES	CLASS II	GW GP SW SP	57 6	85%
SILTY OR CLAYEY GRAVELS, GRAVEL/SAND/SILT OR GRAVEL AND CLAY MIXTURES; SILTY OR CLAYEY SANDS, SAND/CLAY OR SAND/SILT MIXTURES	CLASS III	GM GC SM SC	GRAVEL AND SAND (<10% FINES)	90%

NOTES: INORGANIC SILTS, CLAYS, AND OTHER CLASS IV MATERIAL SHALL NOT PERMITTED.

BACKFILL SHALL CONTAIN NO STONES OVER 6\"/>

STORM SEWER TRENCH CROSS SECTION

NOT TO SCALE



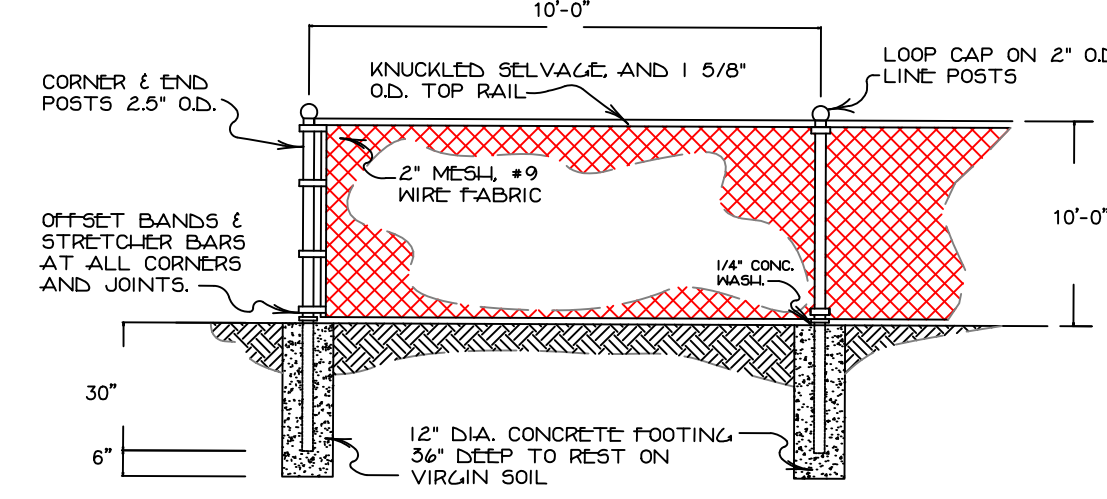
3 SEEPAGE PIT SYSTEM 1: 26\"/>

N.T.S.

- NOTES:
1. SET PIT IN 9'X27\"/>
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING SEASONAL HIGH WATER TABLE. NO SEEPAGE PITS AND/OR STONE SHALL BE SET BELOW SEASONAL HIGH WATER, AND ENGINEER MUST BE CONTACTED IN WRITING SHOULD WATER BE ENCOUNTERED.

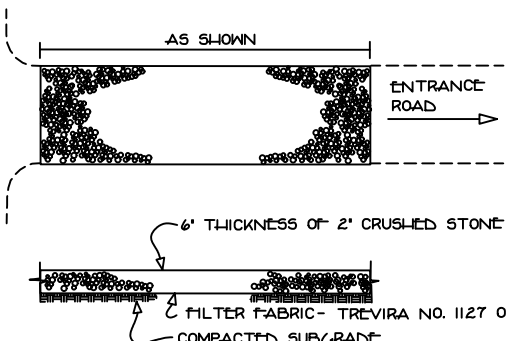
SEEPAGE PIT MAINTENANCE NOTES

1. SEEPAGE PITS SHALL BE MAINTAINED BY THE OWNERS OF THE LOTS ON WHICH THEY ARE SITUATED.
2. SAID OWNERS SHALL INSPECT SEEPAGE PITS ON A TWICE YEARLY BASIS AND REMOVE ANY ACCUMULATED SEDIMENT (OR AFTER ANY SIGNIFICANT STORM).
3. IF EVIDENCE PERSISTS THAT THE SEEPAGE PITS ARE NOT FUNCTIONING PROPERLY (I.E. WATER BACKING-UP IN SYSTEM, ETC.), THE OWNERS SHALL INSPECT THE PITS AS SOON AS REASONABLY POSSIBLE AND MAKE NECESSARY REPAIRS TO ENSURE PROPER FUNCTION OF THE SYSTEM.



FENCE

N.T.S.

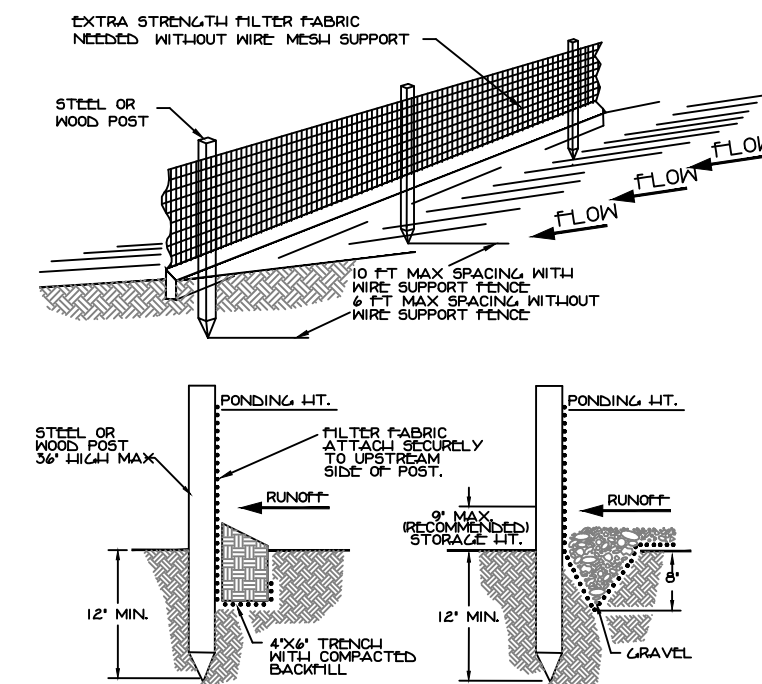


STABILIZED CONSTRUCTION ENTRANCE

N.T.S.

CONSTRUCTION SPECIFICATIONS:

1. STONE SIZE - USE 1-4 INCH STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET.
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. TOPSOIL WITH TEMPORARY RYE GRASS COVER.
8. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
9. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
10. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



STANDARD DETAIL

TRENCH WITH NATIVE BACKFILL

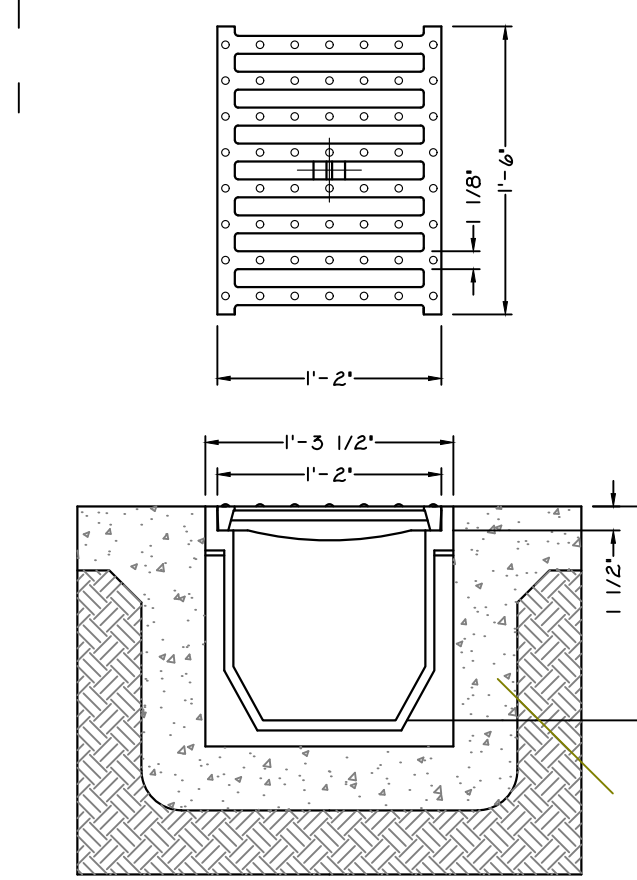
ALTERNATE DETAIL

TRENCH WITH GRAVEL

1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
2. REMOVE SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF SITE AND CAN BE PERMANENTLY STABILIZED.
3. SILT FENCE SHALL BE PLACED ON SLOPE CONTIGUOUS TO MAXIMIZE FENCING EFFICIENCY.

SILT FENCE

N.T.S.



SLOT DRAIN

N.T.S.

CONSTRUCTION SPECIFICATIONS

1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85.
2. WOODEN FRAME SHALL BE CONSTRUCTED OF 2\"/>
3. THE ASSEMBLY SHALL BE PLACED AGAINST THE INLET AND SECURED BY 2\"/>

MAXIMUM DRAINAGE AREA 1 ACRE

STORM DRAIN INLET FILTER DETAIL

FOR CURB INLETS

NOT TO SCALE

STANDARD EROSION CONTROL NOTES:

AN EROSION CONTROL SYSTEM WILL BE UTILIZED BY THE DEVELOPER TO MINIMIZE THE PRODUCTION OF SEDIMENT FROM THE SITE METHODS TO BE UTILIZED WILL BE THOSE FOUND MOST EFFECTIVE FOR THE SITE AND SHALL INCLUDE ONE OR MORE OF THE FOLLOWING AS APPLICABLE:

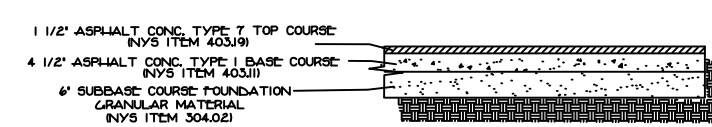
1. TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LAIDEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE DAMS, HAY BALES, OR OTHER SUITABLE MATERIALS. DIVERSION SHALES, BERMS, OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO ENSURE THAT ALL SILT LAIDEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEARED PERIODICALLY DURING THE COURSE OF CONSTRUCTION THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
2. ALL DISTURBED AREAS EXCEPT ROADWAYS WHICH WILL REMAIN UNCONFINED FOR MORE THAN 14 DAYS SHALL BE TEMPORARILY SEEDDED WITH 1 LB. OF RYE GRASS OR MULCHED WITH 100 LBS. OF STRAW OR HAY PER 1000 SQUARE FEET AND TEMPORARY DIVERSION DITCHES ARE TO BE PLACED WHERE NECESSARY AS DETERMINED BY THE VILLAGE ENGINEER. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICABLE BY THE INSTALLATION OF THE BASE COURSE.
3. SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.

EROSION AND SEDIMENT CONTROL - CONSTRUCTION SEQUENCES

1. ALL EROSION AND SEDIMENT CONTROL MEASURES EXCLUDING CATCH-BASIN MEASURES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATIONS AND INSTALLATION OF PROPOSED STRUCTURES AND OR UTILITIES.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETED AND/OR STABILIZED.
3. INSTALL STABILIZED CONSTRUCTION ENTRANCES AS INDICATED ON PLAN.
4. INSTALL SILT FENCE AND/OR HAY BALE BARRIERS DOWN SLOPE OF ALL AREAS TO BE DISTURBED AND DOWN SLOPE OF ALL AREAS DESIGNATED FOR TOPSOIL STOCKPILING.
5. CONSTRUCT BERMS, TEMPORARY SHALES AND PIPES AS NECESSARY TO DIRECT RUNOFF TO TEMPORARY SEDIMENTATION ENTRAPMENT AREAS.
6. CLEAR EXISTING TREES, VEGETATION AND EXISTING STRUCTURES FROM AREAS TO BE FILLED OR EXCAVATED. STRIP AND STOCKPILE TOPSOIL FROM AREAS TO BE DISTURBED. SEED STOCKPILED AREAS WITH TEMPORARY RYE GRASS COVER.
7. PERFORM EXCAVATION AND FILL TO BRING LAND TO DESIRED GRADE. ANY DISTURBED AREAS TO REMAIN BARE SHOULD BE SEEDDED WITH TEMPORARY RYE.
8. FIELD INLETS SHOULD BE LEFT AT ELEVATIONS WHICH PERMIT PROPER COLLECTION OF SURFACE RUNOFF.
9. INSTALL INLET PROTECTION AROUND ALL CURB AND FIELD INLETS. ALL INLET PROTECTION SHALL BE TREATED WITH THE CATCH BASIN FILTER FABRIC DETAIL.
10. CONSTRUCT CURBS AND INSTALL BASE AND BINDER COURSES OF PAVED AREAS. RAISE GRATES OF CURB AND FIELD INLETS ACCORDINGLY.
11. COMPLETE FINE GRADING.
12. RAISE GRATES OF CURB AND FIELD INLETS TO FINAL ELEVATIONS. INSTALL SURFACE COURSE OF PAVEMENT.
13. UPON COMPLETION OF CONSTRUCTION ALL DISTURBED AREAS ARE TO BE SEEDDED, REFER TO LANDSCAPING PLAN FOR PERMANENT SEEDING SPECIFICATIONS. ALL TEMPORARY DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
14. SILT FENCE AND CONSTRUCTION STABILIZED PADS ARE TO BE PROVIDED FOR EACH BUILDING PAD DURING CONSTRUCTION.

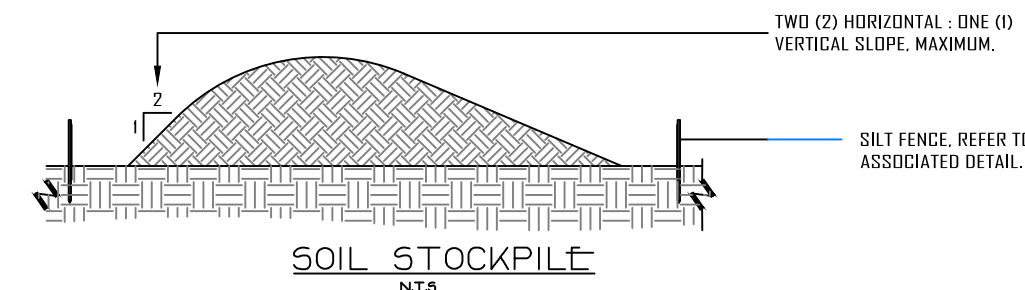
EROSION AND SEDIMENT CONTROL - MAINTENANCE PROCEDURES

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR SUITABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL, BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED AND INSTALLED FOR THEIR APPROPRIATE PHASE OF THE PROJECT.
2. SEDIMENT WILL BE REMOVED FROM THE SEDIMENT TRAP AND BLOCK AND GRAVEL INLET PROTECTION DEVICE WHEN STORAGE CAPACITY HAS BEEN APPROXIMATELY 50% FILLED. GRAVEL WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS PROPERLY.
3. SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES ABOUT 0.5 FT. DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
4. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY OR STREETS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL AGGREGATE. ALL SEDIMENT SPILLED, DROPPED, OR WASHED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. WHEN NECESSARY, WHEELS MUST BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH AGGREGATE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERCOURSES.
5. ALL SEEDDED AREAS WILL BE FERTILIZED, AND RE-SEEDDED AS NECESSARY.



DRIVEWAY PAVEMENT DETAIL

N.T.S.



SOIL STOCKPILE

N.T.S.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS PLAN NOT LAMINATED BY THE SURVEYOR OR ENGINEER SHALL NOT BE VALID.

CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. USE OF UNSEALED COPIES OF THIS DOCUMENT IN ANY COURT, FINANCIAL OR LEGAL TRANSACTION, OR FILING WITH ANY PUBLIC AGENCY OR OFFICE IS AN UNLAWFUL ACT. ANY VIOLATION OF FEDERAL COPYRIGHT LAW.



REVISIONS

2. 12/8/21 REVISE PLANS

DETAILS FOR
146 WILLOW TREE ROAD
41.10-2-47
LOCATED IN THE
VILLAGE OF WESLEY HILLS
ROCKLAND COUNTY, NEW YORK

GRAPHIC SCALE
20 15 10 5 0 0 20 40 60

PAUL GDANSKI, PE, PLLC

633 WOODMONT LANE
SLOATSBURG, N.Y. 10974
TEL: (917) 418-0999

FILE	146WILLOW
DATE	MAR. 19, 2021
SCALE	N.T.S.
SHEET	3 OF 3

ROCKLAND COUNTY SEWER DISTRICT NO. 1

4 Route 340
Orangeburg, New York 10962
Phone: (845) 365-6111 Fax: (845) 365-6686
RCSD@co.rockland.ny.us

Michael Specht
Chairman

Michael R. Saber, P.E.
Executive Director

June 10, 2026

Ms. Alicia Schultz
Deputy Village Clerk
Village of Wesley Hills
432 Route 306
Monsey, NY 10952

Re: One Hundred Sixty-Six E. Willow Tree Realty, LLC
166 East Willow Tree Road, Monsey
Tax Lot 11/41.11-2-1 (formerly 9./24/D8)

Dear Ms. Schultz:

Our office has received and reviewed a pool plot plan that was last revised on May 26, 2026, which Civil Tec Engineering & Surveying PC, prepared for the above referenced project. We thank you for the opportunity to comment on this application. Our comments are as follows:

1. Approval of this application and the variances for the construction of a single-family residence on a 18,950 square foot lot in the R-35 District does not require the applicant to pay an impact fee, in accordance with the Rockland County *Sewer Use Law* as last amended in 2010. **However, if the use or occupancy of the property exceeds one (1) unit (e.g., with an apartment, a guest suite, a house of worship, a school, a daycare center, or a home occupation), the District will require further review and the owner will have to pay an impact fee.**
2. Details for sanitary sewer construction must comply with the District's construction standards and should be shown on the plans.
3. Details for the sanitary sewer connection, if any, are subject to approval by the Town of Ramapo.
4. Any existing sewer connection proposed to be abandoned must be plugged between the edge of the right-of-way and the curb line with a permanent watertight plug or cap encased in concrete.

Please inform us of all developments in this project. If you have any questions, please contact this office at 845-365-6111.

Very truly yours,



Lorelei Greene Tinston
Engineer I

cc: M. Saber D. Gregory
Michael Lepori, P.E. – Town of Ramapo DPW
Ed Moran, P.E. – Town of Ramapo DPW
Rachel Barese, P.E. – Civil Tec Engineering & Surveying PC, 139 Lafayette Avenue, 2nd
Floor, Suffern, NY 10901-5614
Jonathan Beren - 166 E. Willow Tree Realty LLC – 166 East Willow Tree Road, Spring
Valley, NY 10977

File: TOR 41.13-1-34 – 166 East Willow Tree Road
Reader

DEPARTMENT OF PLANNING

Dr. Robert L. Yeager Health Center
50 Sanatorium Road, Building T
Pomona, New York 10970
Phone: (845) 364-3434 Fax: (845) 364-3435

Douglas J. Schuetz
Commissioner

Adam Carsen
Deputy Commissioner

June 18, 2026

Wesley Hills Zoning Board of Appeals
432 Route 306
Wesley Hills, NY 10952

Tax Data: 41.18-1-34

Re: GENERAL MUNICIPAL LAW REVIEW: Section 239 L and M

Map Date: 05/11/2026

Date Review Received: 05/28/2026

Item: *Norman Rausman - 58 South Parker Drive (GML-26-0286)*

Variance application to permit the construction of a single-family dwelling with a semi-circular driveway, in-ground pool, and cabana on 0.88 acres in the R-35 zoning district. Variances are requested for total impervious surface ratio, front yard impervious surface ratio, building coverage, side yard, and rear yard. North side of South Parker Drive, approximately 100 feet east of Pilgrim Lane

Reason for Referral:

Town of Ramapo

The County of Rockland Department of Planning has reviewed the above item. Acting under the terms of the above GML powers and those vested by the County of Rockland Charter, I, the Commissioner of Planning, hereby:

Recommend the Following Modifications

- 1 Permitting development that does not comply with the applicable bulk standards can set an undesirable land use precedent and result in the overutilization of individual sites. The proposed building coverage exceeds the maximum permitted standard by 23 percent; the maximum impervious surface standard is exceeded by 38 percent. We caution the Village to consider precedent before granting substantial variances for building coverage and impervious surface ratio. These two bulk standards, in particular, can define neighborhood community character. Granting building coverage and impervious surface ratio variances of great magnitude will set a precedent that may result in nearby property owners seeking the same relief. Oversized residential structures and increased impervious surface area is resulting in neighborhoods characterized by greater building mass and less green space. The Zoning Board of Appeals must consider the cumulative and community impacts of permitting such development when evaluating the requested variances.
- 2 As per their letter of June 16, 2026, an application must be made to the Rockland County Department of Health for review of the storm water management system for compliance with Article XIX (Mosquito

Code) of the Rockland County Sanitary Code.

- 3 A review must be completed by the Rockland County Sewer District No. 1, any comments or concerns addressed, and all required permits obtained.
- 4 The Town of Ramapo is the reason this proposal was referred to this department for review. The municipal boundary is approximately 295 feet south of the site. The Town of Ramapo must be given the opportunity to review the requested variances and provide any concerns regarding intercommunity and countywide considerations related to the project to the Village of Wesley Hills.
- 5 The project narrative indicates that the proposed single-family residence will include a guest suite. This term is not defined in the Village's zoning regulations and no other information or floor plans were provided. The Village must be assured that this guest suite does not meet the Village's definition of a dwelling unit.
- 6 We commend the applicant for the use of pervious pavers for the walkway at the front of the proposed residence. To help further reduce the impact of this development, reduction of impervious surface should be considered in other areas of the proposal. If installed correctly and properly maintained porous pavers have been shown to be effective in helping manage off-site runoff of stormwater. In addition to permeable pavers, other green infrastructure techniques should be considered such as bioswales, rain gardens, and rainwater capture. For long term effectiveness of permeable pavers and other green infrastructure techniques it is recommended that the Village and the applicant review Chapter 5 'Green Infrastructure Practices' of the 2015 NYSDEC Stormwater Design Manual.
- 7 Pursuant to General Municipal Law (GML) Section 239-m and 239-n, if any of the conditions of this GML review are overridden by the board, then the local land use board must file a report with the County Commissioner of Planning of the final action taken. If the final action is contrary to the recommendation of the Commissioner, the local land use board must state the reasons for such action.
- 8 In addition, pursuant to Executive Order 01-2017 signed by County Executive Day on May 22, 2017, County departments are prohibited from issuing a County permit, license, or approval until the report is filed with the County Commissioner of Planning. The applicant must provide to any County agency which has jurisdiction of the project: 1) a copy of the Commissioner report approving the proposed action; or 2) a copy of the Commissioner of Planning recommendations to modify or disapprove the proposed action, and a certified copy of the land use board statement overriding the recommendations to modify or disapprove, and the stated reasons for the land use board's override.
- 9 The following additional comment is offered strictly as an observation and is not part of our General Municipal Law (GML) review. The Board may have already addressed this point or may disregard it without any formal vote under the GML process:
- 9.1 The site plan drawing depicts proposed improvements overlain with existing site elements, underground utilities, erosion controls, and existing and proposed grades making it difficult to read. Separate drawings should be provided, distinguishing the existing site conditions from the final disposition of the site, to allow for an appropriate review of the proposal.



Douglas Schuetz
Commissioner of Planning

Norman Rausman - 58 South Parker Drive (GML-26-0286)

cc: Mayor Marshall Katz, Wesley Hills
Rockland County Department of Health
Rockland County Planning Board
Rockland County Sewer District No. 1
Town of Ramapo Planning Board
Paul Gdanski, P.E., PLLC

*New York State General Municipal Law § 239(5) requires a vote of a 'majority plus one' of your agency to act contrary to the above findings.

The review undertaken by the County of Rockland Department of Planning is pursuant to and follows the mandates of Article 12-B of the New York General Municipal Law. Under Article 12-B the County of Rockland does not render opinions nor determines whether the proposed action reviewed implicates the Religious Land Use and Institutionalized Persons Act. The County of Rockland Department of Planning defers to the municipality referring the proposed action to render such opinions and make such determinations as appropriate under the circumstances.

In this respect, municipalities are advised that under the Religious Land Use and Institutionalized Persons Act, the preemptive force of any provision of the Act may be avoided (1) by changing a policy or practice that may result in a substantial burden on religious exercise, (2) by retaining a policy or practice and exempting the substantially burdened religious exercise, (3) by providing exemptions from a policy or practice for applications that substantially burden religious exercise, or (4) by any other means that eliminates the substantial burden.

Pursuant to New York State General Municipal Law §§ 239-m and 239-n, the referring body shall file a report of its final action with the County of Rockland Department of Planning within thirty (30) days after the final action. A referring body that acts contrary to a recommendation of modification or disapproval of a proposed action shall set forth the reasons for the contrary action in such report.

ROCKLAND COUNTY SEWER DISTRICT NO. 1

4 Route 340
Orangeburg, New York 10962
Phone: (845) 365-6111 Fax: (845) 365-6686
RCSD@co.rockland.ny.us

Michael Specht
Chairman

Michael R. Saber, P.E.
Executive Director

June 10, 2026

Ms. Alicia Schultz
Deputy Village Clerk
Village of Wesley Hills
432 Route 306
Monsey, NY 10952

Re: Norman Rausman
58 South Parker Drive, Monsey
Tax Lot 11/41.13-1-34 (formerly 9./58/CC3)

Dear Ms. Schultz:

Our office has received and reviewed a pool plot plan that was last revised on May 11, 2026, which Paul Gdanski, P.E., PLLC, prepared for the above referenced project. We thank you for the opportunity to comment on this application. Our comments are as follows:

1. Approval of this application and the variances for the construction of a single-family residence with an in-ground pool on a 38,250 square foot lot in the R-35 District does not require the applicant to pay an impact fee, in accordance with the Rockland County *Sewer Use Law* as last amended in 2010. **However, if the use or occupancy of the property exceeds one (1) unit (e.g., if the pool is rented out to the public, or with an apartment, a guest suite, a house of worship, a school, a daycare center, or a home occupation), the District will require further review and the owner will have to pay an impact fee.**
2. Please advise the property owner that Section 902(B)(19) of the *Sewer Use Law* specifically prohibits the discharge of swimming pool drainage (not filter backwash) into the sanitary sewer system.
3. Details for sanitary sewer construction must comply with the District's construction standards and should be shown on the plans.
 - a. Attached are the District's house connection details.

4. Details for the sanitary sewer connection, if any, are subject to approval by the Town of Ramapo.
5. Any existing sewer connection proposed to be abandoned must be plugged between the edge of the right-of-way and the curb line with a permanent watertight plug or cap encased in concrete.

Please inform us of all developments in this project. If you have any questions, please contact this office at 845-365-6111.

Very truly yours,

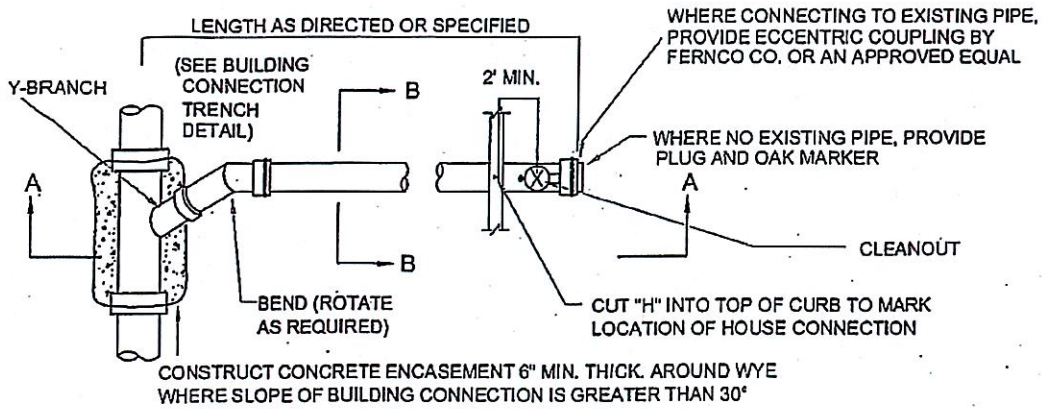


Lorelei Greene Tinston
Engineer I

Attachments

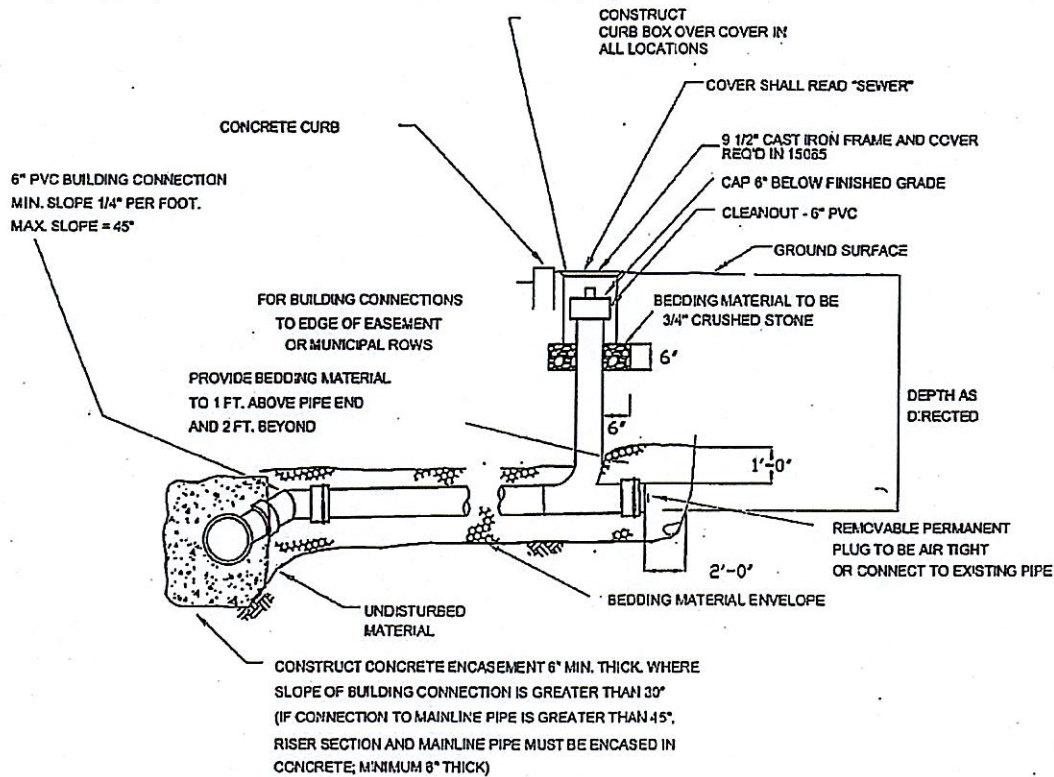
cc: M. Saber D. Gregory
Michael Lepori, P.E. – Town of Ramapo DPW
Ed Moran, P.E. – Town of Ramapo DPW
Paul Gdanski, P.E., PLLC – 3512 Whittier Court, Mahwah, NJ 07430
Norman Rausman – 58 South Parker Drive, Monsey, NY 10952

File: TOR 41.13-1-34 – 58 South Parker Drive
Reader



BUILDING CONNECTION PLAN

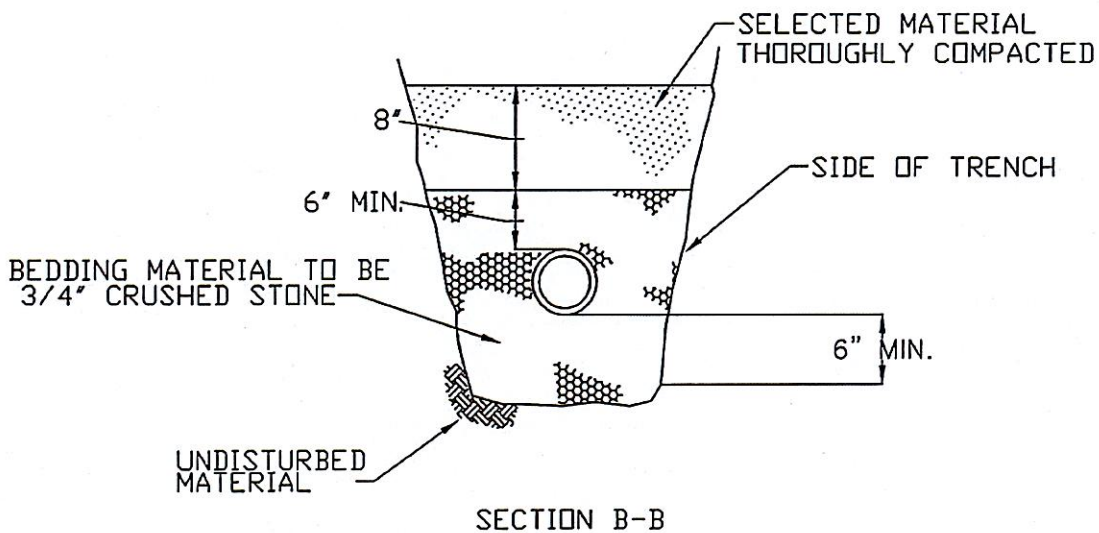
NOT TO SCALE



SECTION A-A

BUILDING CONNECTION ELEVATION

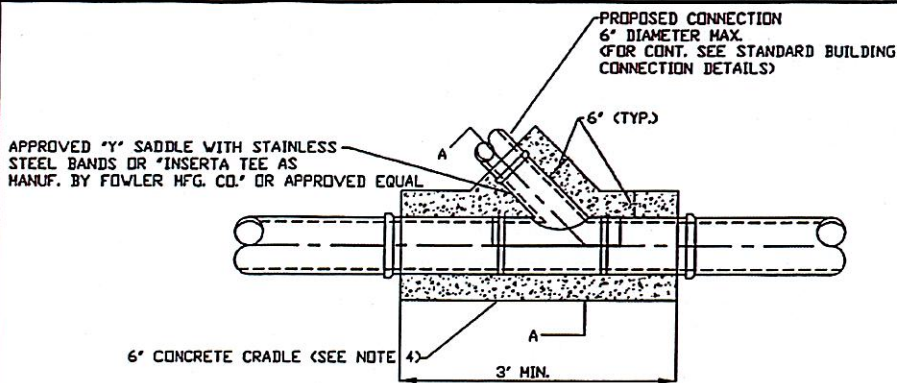
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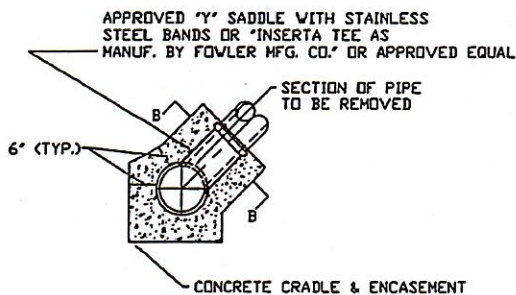
ROCKLAND COUNTY
SEWER DISTRICT NO. 1
BUILDING CONNECTION
TRENCH DETAIL

N.T.S.

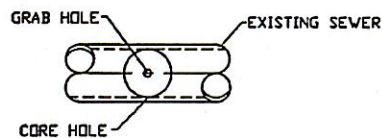
02/01/02



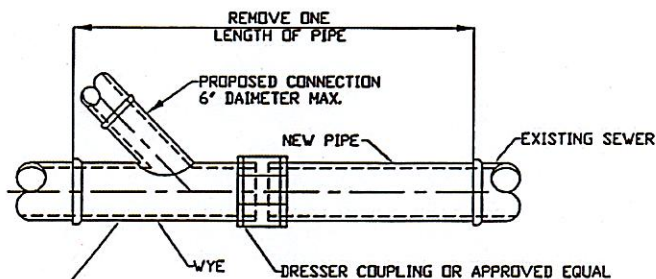
PLAN - ALTERNATIVE "A"



SECTION A-A



SECTION B-B



NOTE: CONSTRUCT CONCRETE ENCASEMENT OR 3/4" CRUSHED STONE BEDDING AS REQUIRED BY "BUILDING CONNECTION TRENCH DETAIL" AND "BUILDING CONNECTION DETAIL"

PLAN - ALTERNATIVE "B"

NOTES:

- 1) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT DETAILS AND SPECIFICATIONS OF THE SADDLE THAT IS TO BE USED, FOR THE ROCKLAND COUNTY SEWER DISTRICT OR REVIEWING AGENCY TO REVIEW AND APPROVE.
- 2) ENCASE ENTIRE SADDLE IN CONCRETE.
- 3) THE NEW SERVICE PIPE SHALL NOT PROTRUDE INTO THE EXISTING INTERCEPTOR PIPE.
- 4) WHERE SEWER IS 24" DIAM OR LARGER, CONTRACTOR MAY USE "INSERTA TEE" AND ENCASE TEE AND TOP OF PIPE WITH 6" OF QUICKSETTING WATERPROOF CEMENT WITHIN 12" OF THE TEE RATHER THAN CONCRETE ENCASEMENT ALL AROUND PIPE.

ROCKLAND COUNTY SEWER DISTRICT NO. 1
BUILDING CONNECTION TO EXISTING SEWER DETAIL

N.T.S.

02/05/05

PB

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: ADDITIONS & ALTERATIONS TO WOLCHOK RESIDENCE			
Project Location (describe, and attach a location map): 11 GAMBERRA DRIVE, WESLEY HILLS, NY 10901			
Brief Description of Proposed Action: PROPOSED ADDITION ON THE WEST SIDE OF THE EXISTING HOUSE INCLUDING NEW GARAGE SPACE, NEW BEDROOM SUITES FOR FAMILY ON THE FIRST & SECOND FLOOR AND A NEW HOME GYM & LOUNGE WITH BALCONY ON THE UPPER LEVEL. THE EXISTING HOUSE KITCHEN, LIVING ROOM & PRIMARY BEDROOM WILL HAVE INTERIOR ALTERATIONS. NEW DECKS TO THE EAST WILL REPLACE THE EXISTING DECK.			
Name of Applicant or Sponsor: KIM THOMAS SIPPEL - ARCHITECT		Telephone: 917-301-4947 E-Mail: ktsarchitect@optonline.net	
Address: 352 MILAN HILL ROAD			
City/PO: RED HOOK		State: NY	Zip Code: 12571
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO ☒	YES ☐
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:		NO ☒	YES ☐
3. a. Total acreage of the site of the proposed action?		<u>1.5654</u> acres	
b. Total acreage to be physically disturbed?		<u>40.30</u> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<u>2.77</u> acres	
4. Check all land uses that occur on, are adjoining or near the proposed action: ☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☐ Commercial ☒ Residential (suburban) ☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other(Specify): ☐ Parkland			



NOTES:

1. THIS IS A SITE PLAN OF TAX LOTS 16 & 17 IN SECTION 41.13, BLOCK 1 AS SHOWN ON THE VILLAGE OF WESLEY HILLS TAX MAP.
2. LOT 16 GROSS LOT AREA: 52,515 S.F. = 1.2056 ACRES
LOT 17 GROSS LOT AREA: 68,187 S.F. = 1.5654 ACRES
3. ZONE: R-50
4. EXISTING & PROPOSED USE: RESIDENTIAL
5. RECORD OWNER: WOLCHOK
11 CAMBERRA DRIVE
WESLEY HILLS, NY 10901
6. APPLICANT: WOLCHOK
11 CAMBERRA DRIVE
WESLEY HILLS, NY 10901
7. FIRE DISTRICT: MONSEY FIRE DISTRICT
8. SCHOOL DISTRICT: EAST RAMAPO CENTRAL SCHOOL DISTRICT
9. WATER DISTRICT: RAMAPO CONSOLIDATED
10. WATER SUPPLIED BY: VEOLIA NORTH AMERICA
11. SEWER DISTRICT: BENEFITTED AREA #5
12. DATUM: USGS
13. ALL UTILITIES SHALL BE INSTALLED UNDERGROUND. ELECTRIC SERVICE SHALL BE IN CONDUIT OF NOT LESS THAN 2 INCH DIAMETER

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	☐	☒	☐
b. Consistent with the adopted comprehensive plan?	☐	☒	☐
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	☐	☒	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	☐	☐	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation services available at or near the site of the proposed action?	☒	☐	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	☒	☐	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	☐	☒	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	☐	☒	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	☐	☒	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	☒	☐	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	☒	☐	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	☒	☐	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ <u>POND DRAINAGE EASEMENT / WETLANDS ON SOUTH EAST CORNER OF SITE,</u> <u>18,808 S.F. (LETTER OF NO JURISDICTION - NYS DEC ATTACHED.)</u>			



LETTER OF NO JURISDICTION – FRESHWATER WETLANDS

02/18/2026

Kim Sippel

352 Milan Hill Rd, Red Hook, NY, 12571, USA

Sent via email to: ktsarchitect@optonline.net

Re: DEC Freshwater Wetlands Parcel Jurisdictional Determination for Parcel
39261141.13-1-17, Rockland County.

Dear Kim Sippel,

Based on the parcel(s) identified in your request, the New York State Department of Environmental Conservation (DEC) has determined that there are no DEC regulated freshwater wetlands and/or adjacent areas identified on the parcel(s) referenced above. Therefore, in accordance with Article 24 of the Environmental Conservation Law (ECL) and 6 NYCRR Part 663, no freshwater wetlands permit is required. Pursuant to ECL section 24-0703, this letter shall remain valid for a period of five years from the date it is issued (through 02/16/2031).

Please note that this determination pertains only to state-regulated, freshwater wetlands and regulated adjacent areas. DEC also regulates protected streams, tidal wetlands, coastal erosion hazard areas, and other important environmental resources. Work affecting those areas may also require DEC permits. More information on other DEC permit programs is available online at <https://dec.ny.gov/regulatory/permits-licenses/environmental-permits>.

In addition, please note that this letter does not relieve you of the responsibility of obtaining any other necessary permits or approvals from other local, state, or federal agencies.

If you have questions regarding this determination, please email FWWjurisdiction@dec.ny.gov.

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: ☐ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successional ☒ Wetland ☐ Urban ☒ Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	☒	☐
16. Is the project site located in the 100-year flood plan?	NO	YES
	☒	☐
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	☒	☐
a. Will storm water discharges flow to adjacent properties?	☐	☐
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	☐	☐
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	☒	☐
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	☒	☐
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	☒	☐
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>KIM THOMAS SIPPEL - ARCHITECT</u> Date: <u>6 JULY 2020</u> Signature: <u></u> Title: <u>ARCHITECT</u>		