



## **TECHNICAL ADVISORY COMMITTEE (T.A.C.) MEETING AGENDA**

**June 3, 2026 at 2:00 PM  
432 Route 306, Wesley Hills, NY 10952  
Phone: 845-354-0400 | Fax: 845-354-4097**

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### **ROLL CALL**

### **DISCUSSIONS**

- 1. 21 Astor Place — Clearing, Filling, and Excavation**
- 2. 3 Kentor Lane — Subdivision**
- 3. 23 Lime Kiln Rd — Utilizing KBY of Wesley Hills as a School**

**VILLAGE OF WESLEY HILLS**

FOR CLEARING, FILLING OR EXCAVATION OF LAND

Before proceeding with any land disturbance, please contact "Dig Safely New York" at 1-800-962-7962, a free service, to insure a safe dig.

APPLICANT: Shimmy's Enterprise Inc

STREET ADDRESS: 1 Old Route 202D

CITY, STATE: Suffern ZIP: NY

TELEPHONE NO. (S): 845-352-5175

PROJECT LOCATION

STREET LOCATION: 21 Astor Place

TAX MAP SECTION: 41.10 LOT: 1-53

IF APPLICABLE: SUBDIVISION NAME: N/A  
BLOCK: \_\_\_\_\_ LOT: \_\_\_\_\_

NAME OF PROJECT

1. BRIEFLY DESCRIBE NATURE AND PURPOSE OF LAND DISTURBANCE:

Excavate and fill for pool and pool house

2. AREA TO BE DISTURBED (IN ACRES) 0.78

3. (A) ESTIMATED MAXIMUM QUANTITY OF MATERIAL TO BE EXCAVATED AND/OR REMOVED 73.54 C.Y.

(B) ESTIMATED MAXIMUM QUANTITY THAT WILL BE USED FOR REGRADING OR FILLING. (COMPUTED FROM CROSS SECTIONS OF A PROPOSED EXCAVATION OR DISTURBED AREA) 73.54 C.Y.

4. DESCRIBE ANY MATERIAL TO BE USED FOR LAND FILLING, AND, WHERE FILL IS TO BE BROUGHT ONTO THE PREMISES, ITS SOURCE, METHOD OF TRANSPORT AND ESTIMATED VOLUME 4,403.27 C.Y. will be used to fill  
Material will come from other local jobsite TBD

5. IS THERE A WELL AND/OR A SEWAGE DISPOSAL SYSTEM WITHIN FIFTY (50) FEET OF THE PROPOSED DISTURBED AREA? No

6. STATE LOCATION AND PRESENT STATUS OF ANY PREVIOUS OPERATIONS OF THE TYPE CONTEMPLATED BY THIS LOCAL LAW OF THE PROPERTY WITHIN THE PRECEDING YEAR We excavated and backfilled the foundation

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ESTIMATED COST OF SUCH WORK IN ACCORDANCE WITH THE STANDARDS OF THIS SECTION \$25,000

"Permission is hereby granted to the Village of Wesley Hills, its agents, servants and employees to enter upon the above described property solely for the purposes incidental to the within application at reasonable times upon reasonable notice to the owner or tenant in possession."

### SITE PLAN

A SITE PLAN MUST BE SUBMITTED WITH THIS APPLICATION SHOWING AT LEAST THE FOLLOWING:

- (1) THE AREA PROPOSED TO BE DISTURBED AND ITS RELATION TO NEIGHBORING PROPERTIES, TOGETHER WITH BUILDINGS, ROADS, AND NATURAL WATER COURSES, IF ANY, WITHIN 250 FEET OF THE BOUNDARIES OF THE SAID AREA. AN INSET MAP AT A REDUCED SCALE MAY BE USED, IF NECESSARY AND HELPFUL.
- (2) THE AREA THAT IS TO BE DISTURBED BY THE PROPOSED EXCAVATION OR LANDFILLING.
- (3) THE ESTIMATED MAXIMUM QUANTITY OF MATERIAL TO BE EXCAVATED AND/OR REMOVED AND THE ESTIMATED MAXIMUM QUANTITY THAT WILL BE USED FOR REGRADING OR FILLING, COMPUTED FROM CROSS SECTIONS OF A PROPOSED EXCAVATION OR DISTURBED AREA.
- (4) A DESCRIPTION OF ANY MATERIAL TO BE USED FOR LAND FILLING, AND, WHERE FILL IS TO BE BROUGHT INTO THE PREMISES, ITS SOURCE, METHOD OF TRANSPORT AND ESTIMATED VOLUME.
- (5) THE LOCATION OF ANY WELL, AND THE DEPTH THEREOF, AND THE LOCATION OF NATURAL WATERCOURSES, IF ANY, LOCATED WITHIN 50 FEET OF THE PROPOSED DISTURBED AREA.
- (6) THE LOCATION OF ANY SEWAGE DISPOSAL SYSTEM, ANY PART OF WHICH IS WITHIN 50 FEET OF THE PROPOSED DISTURBED AREA.
- (7) EXISTING TOPOGRAPHY OF THE AREA PROPOSED TO BE DISTURBED AT A CONTOUR INTERVAL OF NOT MORE THAN TWO FEET. CONTOURS SHALL BE SHOWN FOR A DISTANCE 50 FEET BEYOND THE LIMITS OF THE PROPOSED DISTURBED AREA.

- (8) THE PROPOSED FINAL CONTOURS AT A MAXIMUM CONTOUR INTERVAL OF TWO FEET.
- (9) THE LOCATION AND PRESENT STATUS OF ANY PREVIOUS OPERATIONS OF THE TYPE CONTEMPLATED BY THIS LOCAL LAW OF THE PROPERTY WITHIN THE PRECEDING YEAR.
- (10) THE DETAILS OF ANY DRAINAGE SYSTEM PROPOSED TO BE INSTALLED AND MAINTAINED BY THE APPLICANT, DESIGNED TO PROVIDE FOR PROPER SURFACE DRAINAGE OF THE LAND, BOTH DURING THE PERFORMANCE OF THE WORK APPLIED FOR, AND AFTER THE COMPLETION THEREOF.
- (11) IF A PROPOSED EXCAVATION IS FOR THE PURPOSE OF MAKING A LAKE OR POND, THE DETAILS OF THE PROPOSED CONSTRUCTION OF THE DAM OR OTHER STRUCTURE OR EMBANKMENT INTENDED TO IMPOUND THE WATER, TOGETHER WITH THE DETAILS AND LOCATION OF PROPOSED DISCHARGE AND OF A VALVED OUTLET FOR DRAINAGE PURPOSES.
- (12) THE REHABILITATION PROPOSED, AND THE ESTIMATE OF THE COST OF SUCH WORK IN ACCORDANCE WITH THE STANDARDS IN THIS SECTION.

**FEE**

**\$100** FOR FIRST 1,000 SQUARE FEET OF AFFECTED AREA, PLUS **\$50** FOR EACH ADDITIONAL 1,000 SQUARE FEET OF AFFECTED AREA AS DETERMINED BY VILLAGE ENGINEER.

AMOUNT OF FEE:: \_\_\_\_\_

THE UNDERSIGNED APPLICANT AGREES TO ABIDE BY THE CONDITIONS OF LOCAL LAW NO. 17 OF 1984 OF THE VILLAGE OF WESLEY HILLS

\_\_\_\_\_  
Corporate Seal (If Applicable)

Shimmy's Enterprise Inc  
Company Name (If Applicable)

  
SIGNATURE

5/15/2026  
DATE

Manager  
TITLE (If Applicable)

CONDITIONS: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

APPROVED BY: \_\_\_\_\_ TITLE \_\_\_\_\_

DATE: \_\_\_\_\_ **Submit (2) Originals + 12 Copies of Application**



February 27, 2026

Village of Wesley Hills  
432 Route 305  
Wesley Hills, New York 10952

Re: 21 Astor Place  
Monsey, NY 10952  
Tax Lot 41.10-1-3

We have run cut and fill calculations using Carlson software. The results of the analysis are attached. The analysis shows a cut volume of approximately 73.5 CY and a fill volume of approximately 4,403 CY for a net fill volume of approximately 4,329.5 CY.

The amount of fill required is the reason this application need to proceed to the Planning Board. Other than that, it is a standard single family residence with accessory uses.

Please contact me at (845) 547-2241 or by email at [rbarese@civil-tec.com](mailto:rbarese@civil-tec.com) with any questions or concerns you may have.

Sincerely,

A handwritten signature in black ink that reads "Rachel Barese".

Rachel Barese, P.E.  
President

Volumes by Triangulation (Prisms)

Tue, Feb 17 2026 4:56:10 PM

Existing Surface: C:\Civil-Tec Dropbox\CIVIL TEC PROJECT FILES\4331- 21 Astor P1\DATA

Final Surface: C:\Civil-Tec Dropbox\CIVIL TEC PROJECT FILES\4331- 21 Astor P1\DATA\

Cut volume: 1,985.6 C.F., 73.54 C.Y.

Fill volume: 118,888.3 C.F., 4,403.27 C.Y.

Area in Cut : 3,235.2 S.F., 0.07 Acres

Area in Fill: 30,831.1 S.F., 0.71 Acres

Total inclusion area: 34,066.3 S.F., 0.78 Acres

Average Cut Depth: 0.61 feet

Average Fill Depth: 3.86 feet

Cut to Fill ratio: 0.02

Import Volume: 4,329.7 C.Y.

Elevation Change To Reach Balance: -3.432

Volume Change Per .1 ft: 126.2 C.Y.

Cut (C.Y.) / Area (ac): 94.04

Fill (C.Y.) / Area (ac): 5630.39

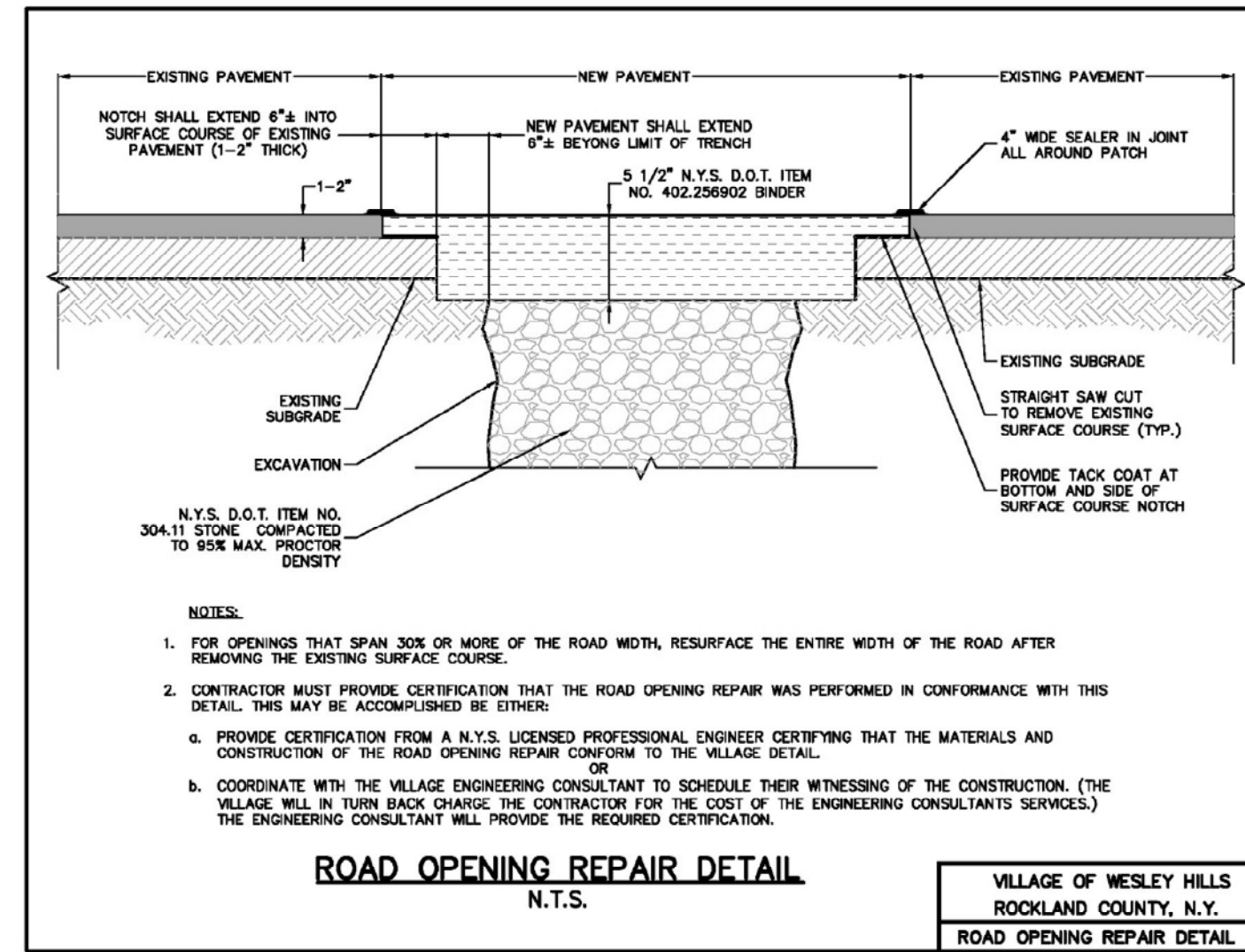
Max Cut: 4.280 at 5295.127,5377.706

Max Fill: 13.205 at 5141.278,5387.512

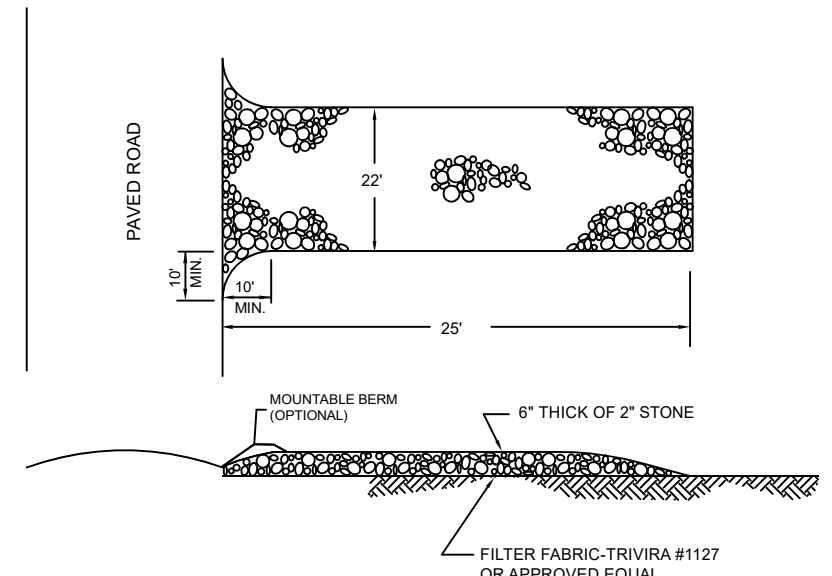


230 Attachment 2.18

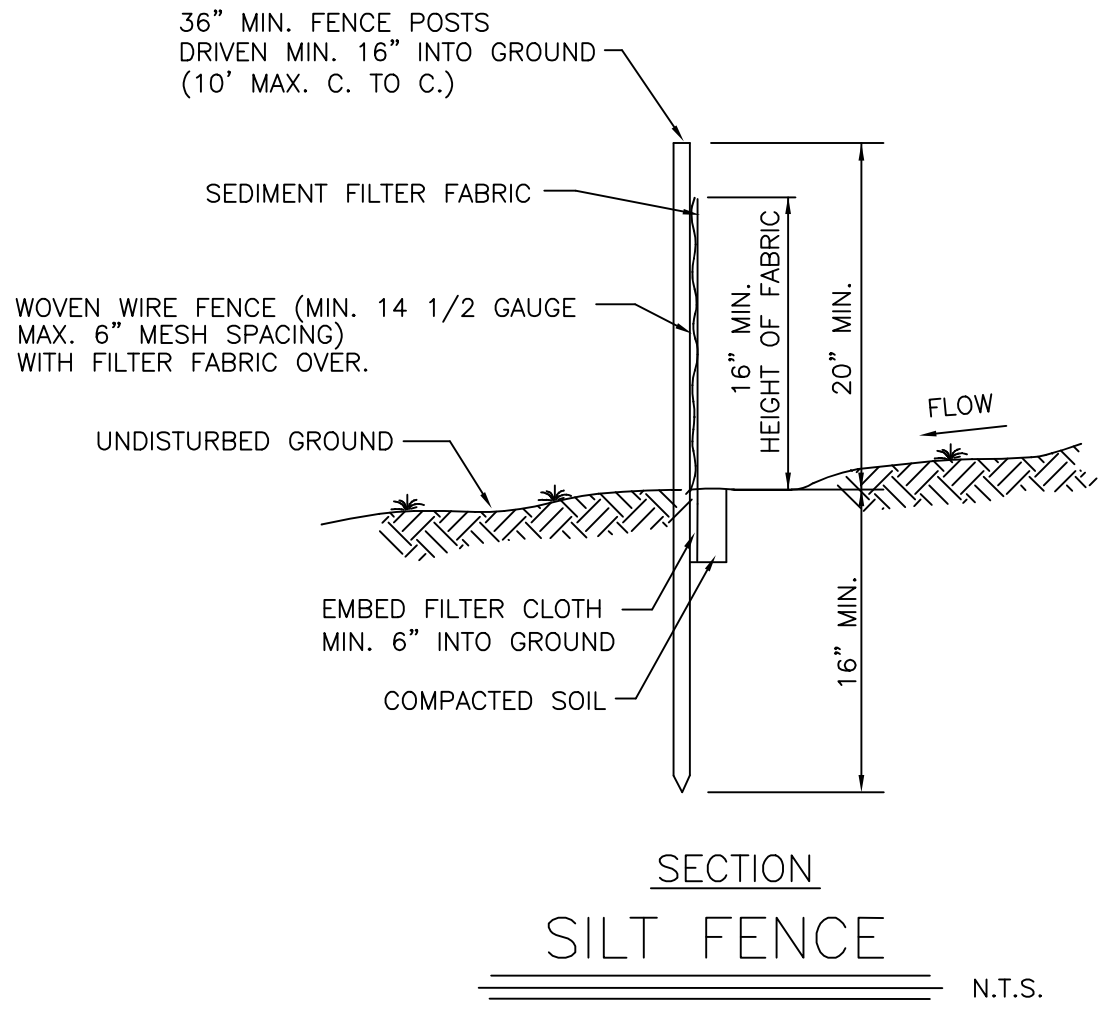
Sheet 8, Sep 2024



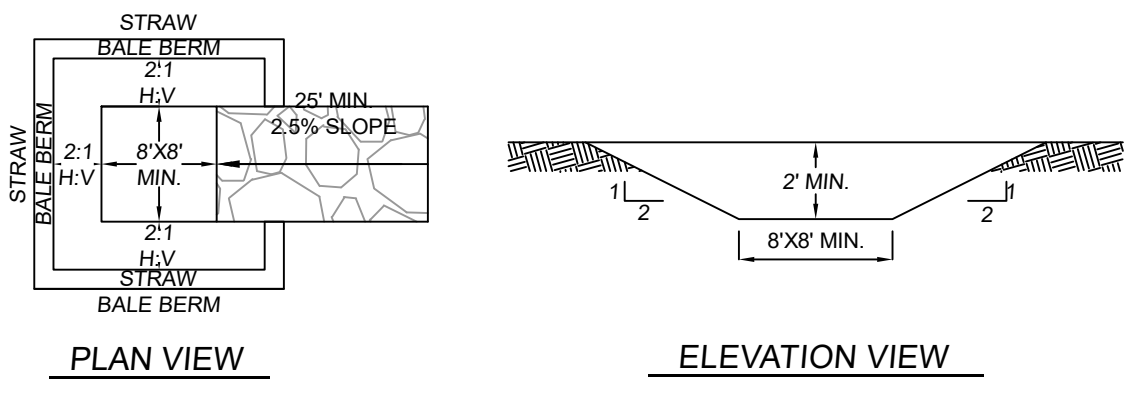
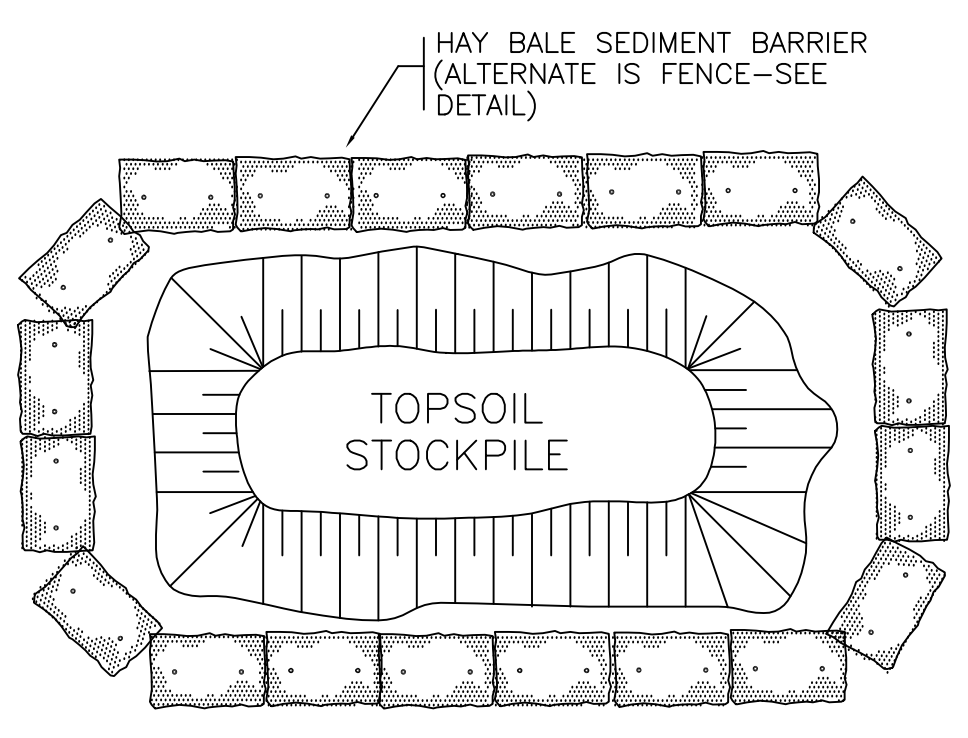
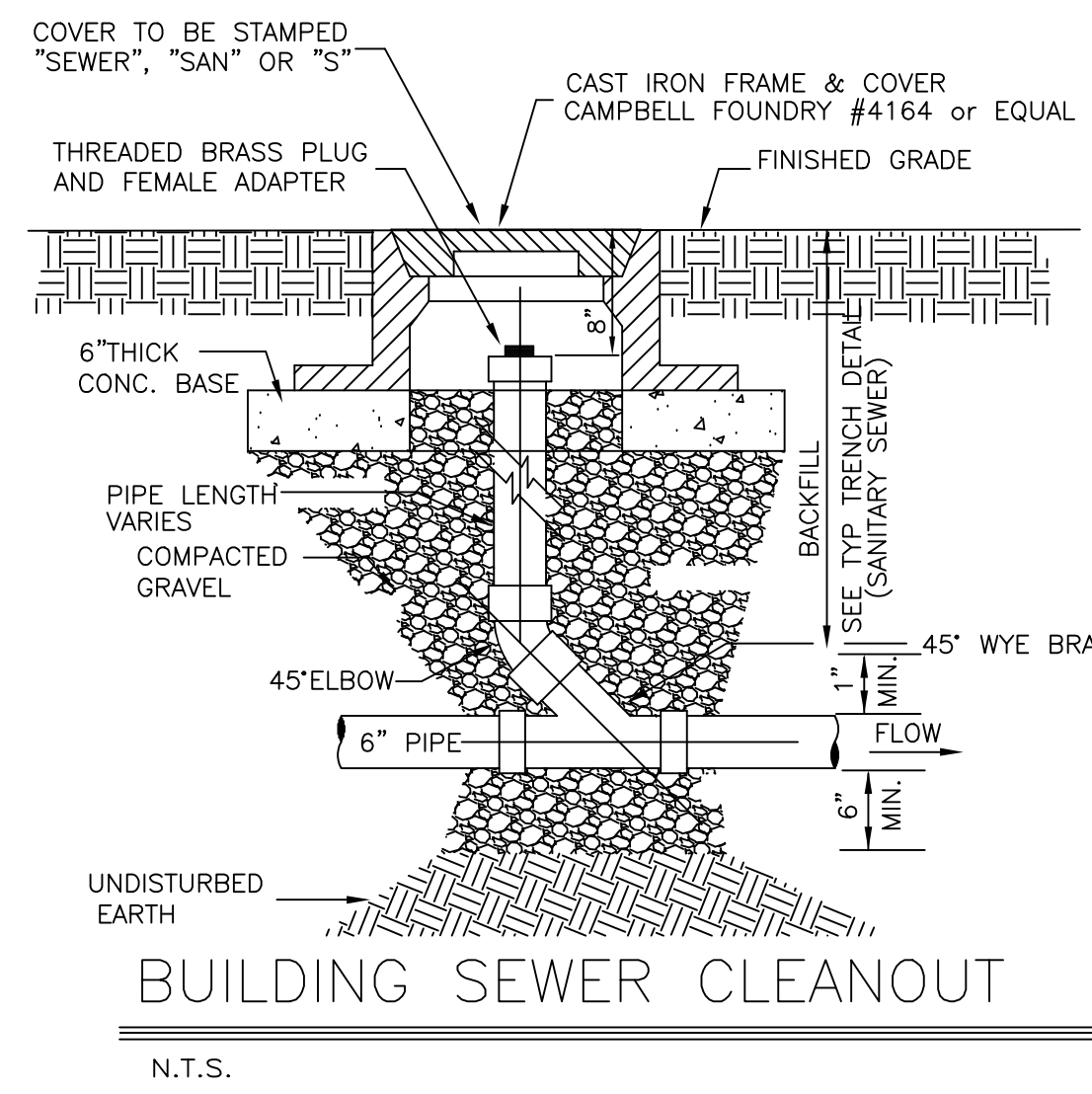
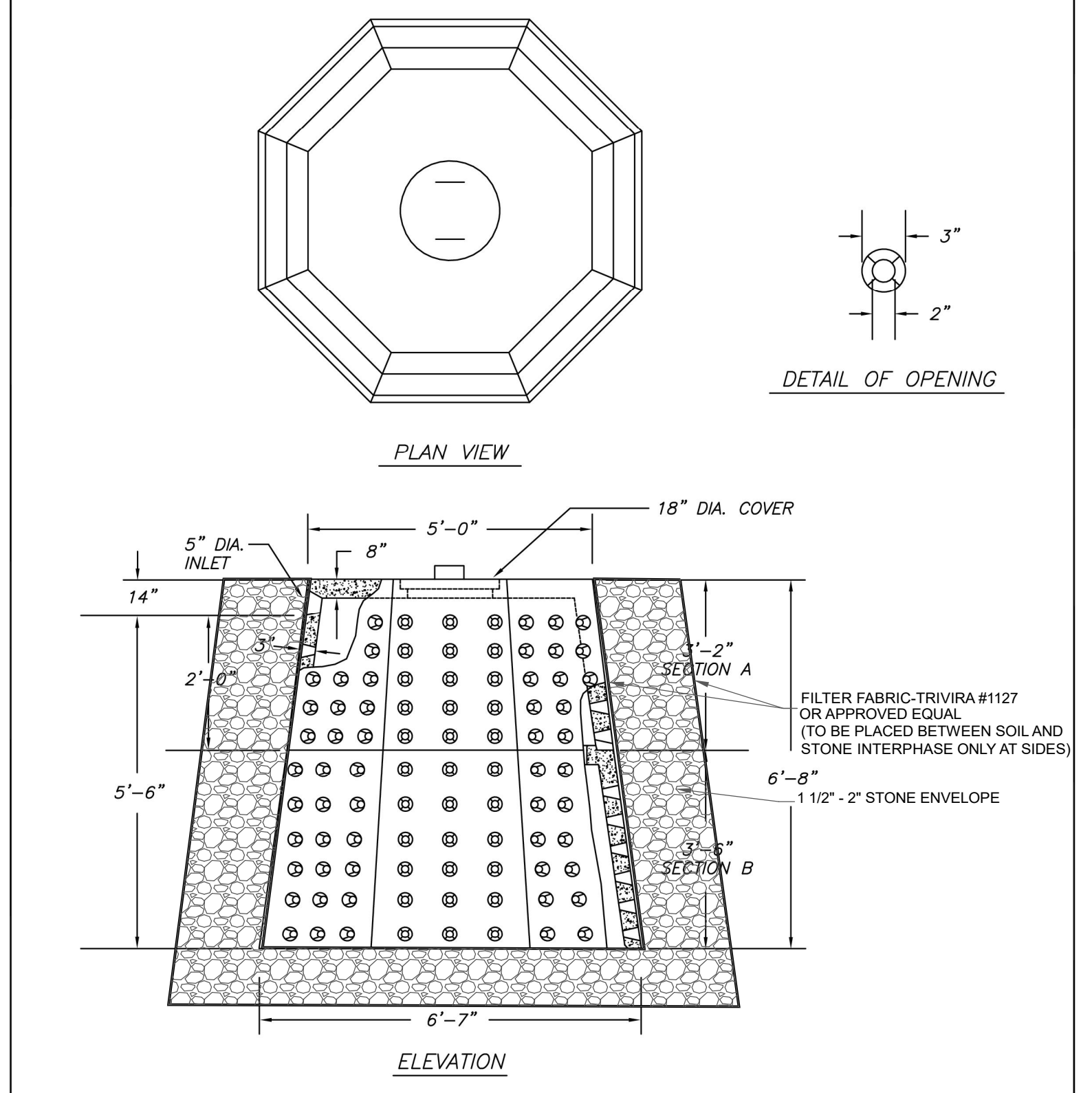
WESLEY HILLS CODE



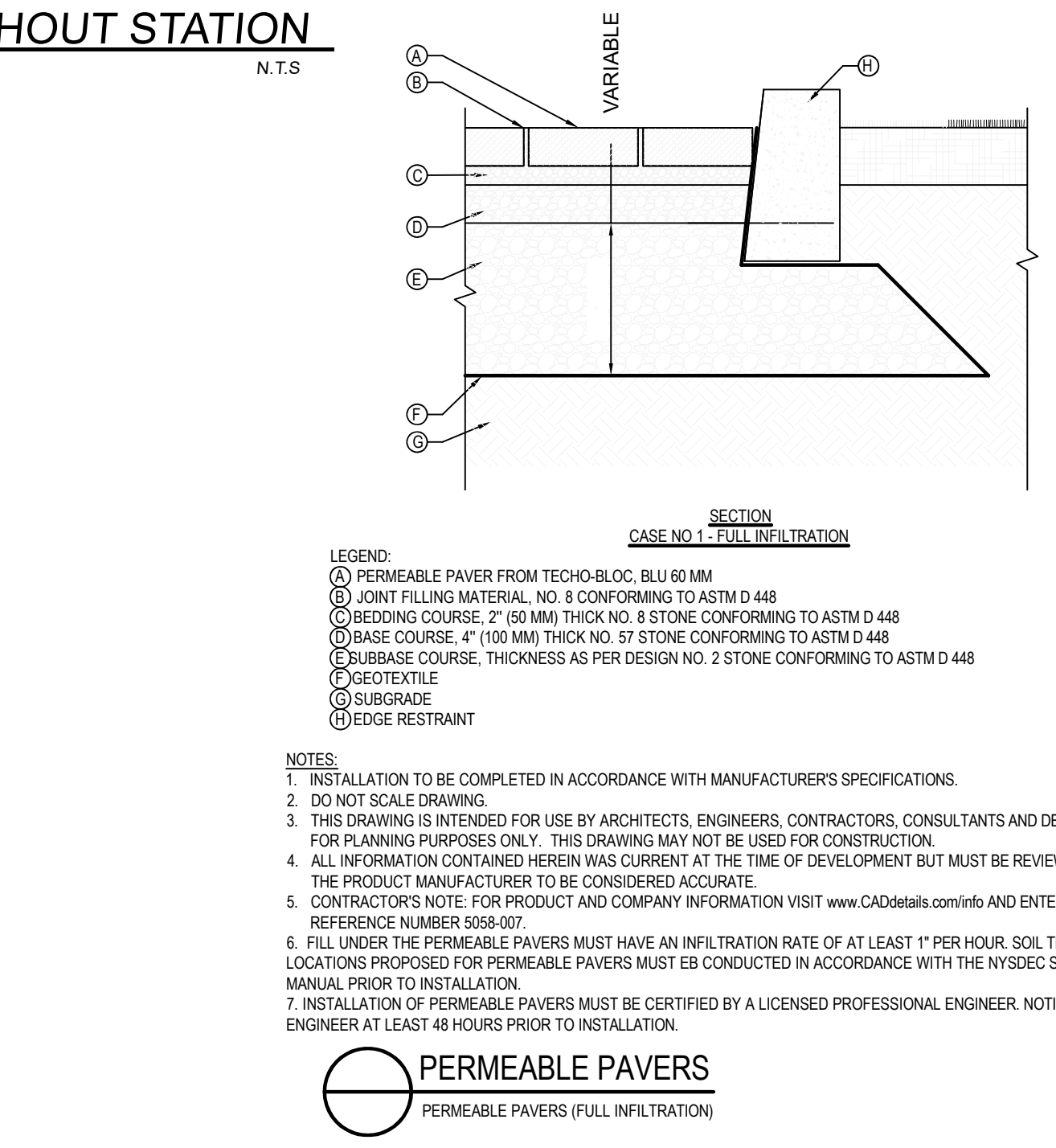
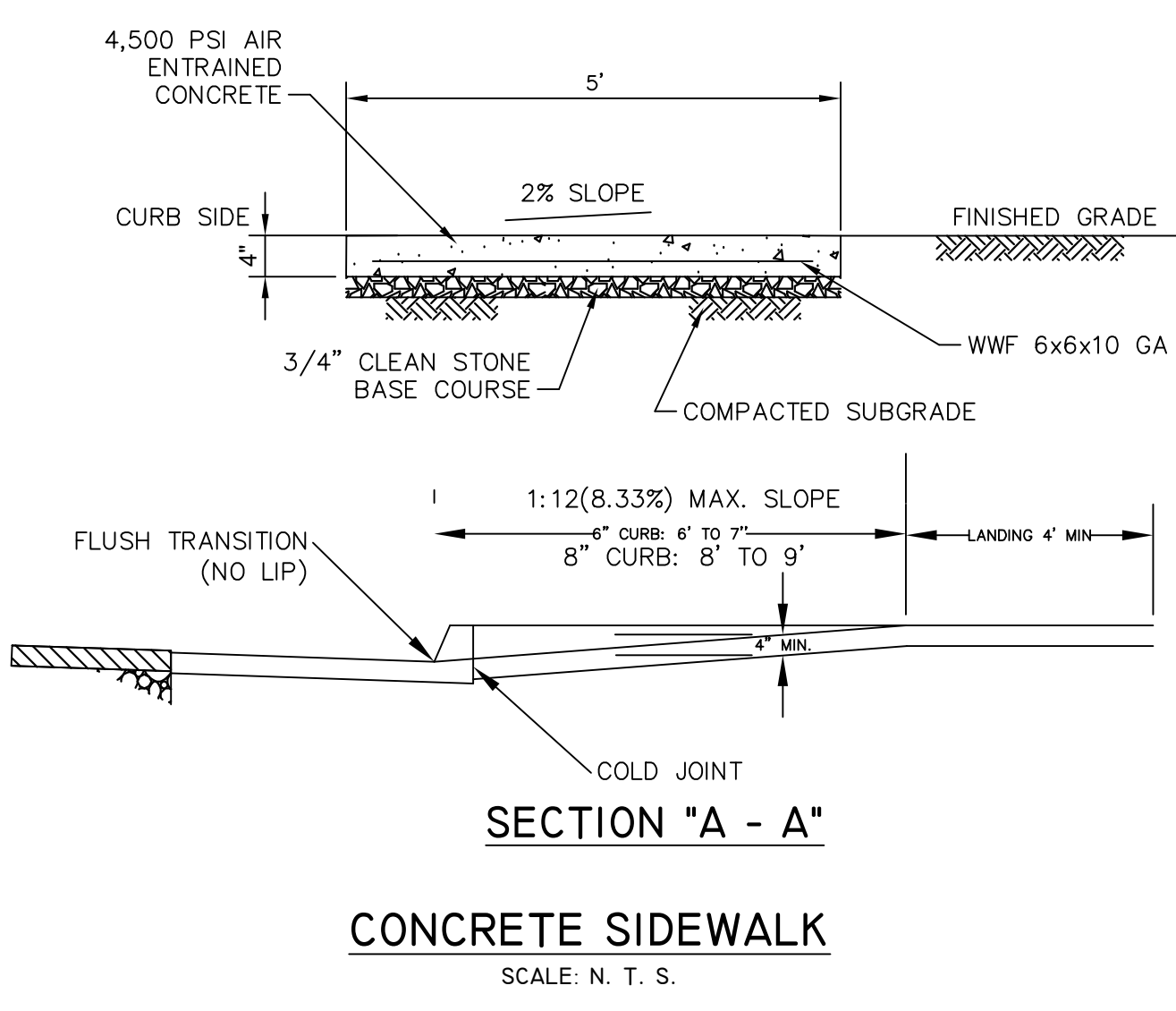
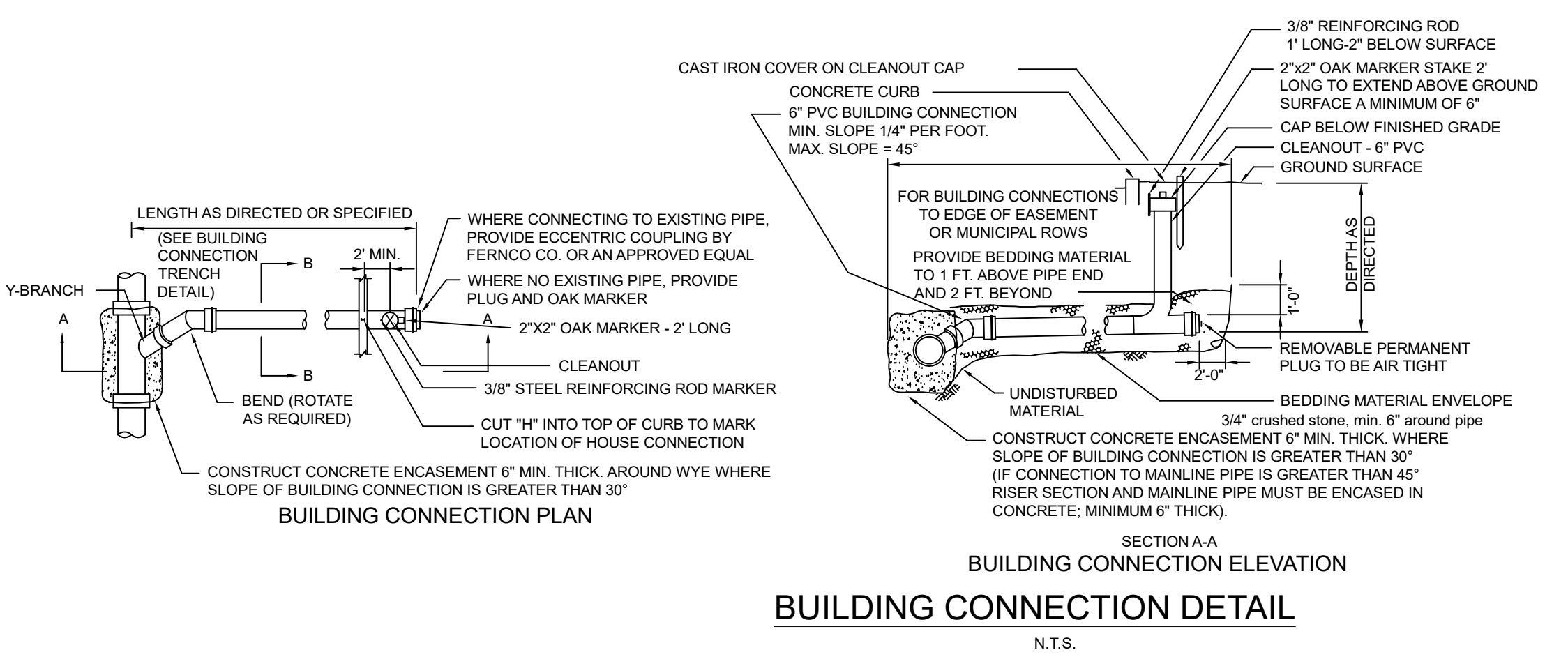
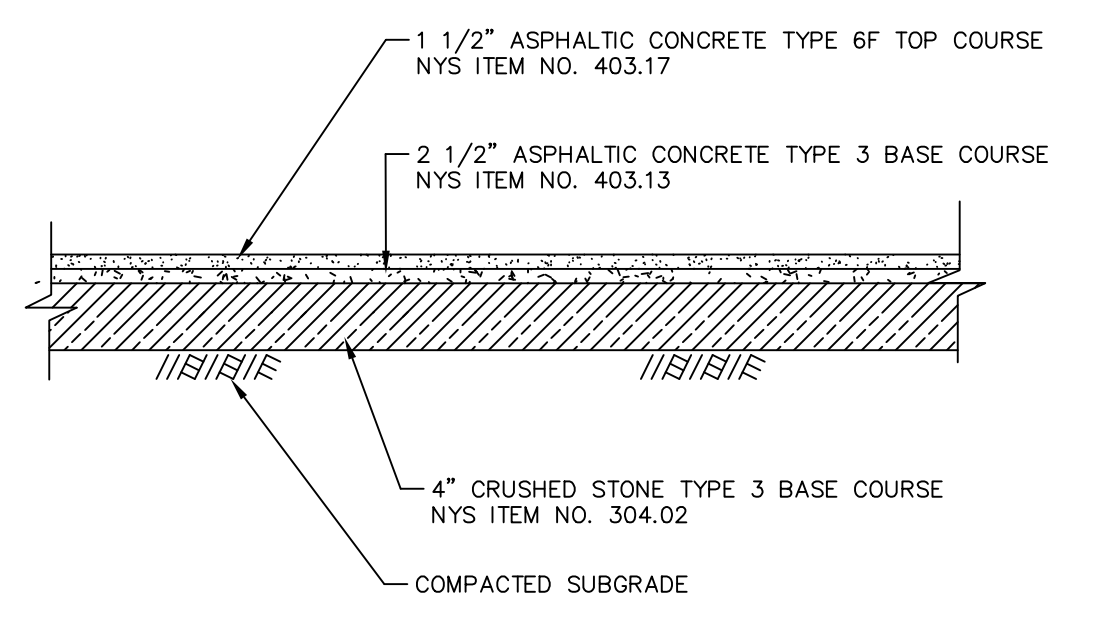
- CONSTRUCTION SPECIFICATIONS**
- STONE SIZE - USE 2 INCHES STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  - LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 25 FOOT MINIMUM LENGTH WOULD APPLY).
  - THICKNESS - NOT LESS THAN 6 INCHES.
  - WIDTH - 12 FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY FOUR FEET IF SINGLE ENTRANCE TO SITE.
  - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
  - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING.
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
  - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN BULGES DEVELOP IN THE SILT FENCE.
  - POST TO BE STEEL EITHER "T" OR "U" TYPE OR 2" HARWOOD.
  - FILTER CLOTH TO BE MIRAFI 100X STABILINKA T140N OR APPROVED EQUAL.
  - PREFABRICATED UNIT - GEOFAB, ENVIROFENCE OR APPROVED EQUAL.



- Locate the facility a minimum of 100 feet from drainage swales, storm drain inlets, wetlands, streams and other surface waters. Prevent surface water from entering the structure except for the access road. Provide appropriate access with a gravel access road sloped down to the structure. Signs shall be placed to direct drivers to the facility after their load is discharged.
- All washout facilities will be lined to prevent leaching of liquids into the ground. The liner shall be plastic sheeting with a minimum thickness of 10 mils with no holes or tears, and anchored beyond the top of the pit with an earthen berm, sand bags, stone, or other structural appurtenance except at the access point. If pre-fabricated washouts are used they must ensure the capture and containment of the concrete wash and be sized based on the expected frequency of concrete pours. They shall be sited as noted in the location criteria.
- All concrete washout facilities shall be inspected daily. Damaged or leaking facilities shall be deactivated and repaired or replaced immediately. Excess rainwater that has accumulated over hardened concrete should be pumped to a stabilized area, such as a grass filter strip.
- Accumulated hardened material shall be removed when 75% of the storage capacity of the structure is filled. Any excess wash water shall be pumped into a containment vessel and properly disposed of off site.
- Dispose of the hardened material off-site in a construction/demolition landfill.
- The plastic liner shall be replaced with each cleaning of the washout facility.
- Inspect the project site frequently to ensure that no concrete discharges are taking place in non-designated areas.
- Perimeter berm shall have a minimum height of 1'.



MAY 11, 2026	REV 8	REV PER VILLAGE ENGINEER'S COMMENTS
APRIL 15, 2026	REV 7	REV PER VILLAGE ENGINEER'S COMMENTS
MARCH 12, 2026	REV 6	ADD GENERATOR AND HVAC PADS
FEBRUARY 17, 2026	REV 5	REV PER VILLAGE ENGINEER'S COMMENTS
DECEMBER 24, 2025	REV 4	REV PER LANDSCAPE ARCHITECT
APRIL 7, 2025	REV 3	REV PER VILLAGE ENGINEER'S COMMENTS
MARCH 4, 2025	REV 2	REV DRYWELLS
FEBRUARY 26, 2025	REV 1	REV PER VILLAGE ENGINEER'S COMMENTS

S.B.L. 41.10 - 1-53

**DETAILS FOR 21 ASTOR PLACE**

VILLAGE OF WESLEY HILLS - ROCKLAND COUNTY - NEW YORK

**CIVIL TEC Engineering & Surveying PC**

139 Lafayette Avenue, 2nd Fl. Suffern, NY 10901  
P 845.547.2241 - F 845.547.2243

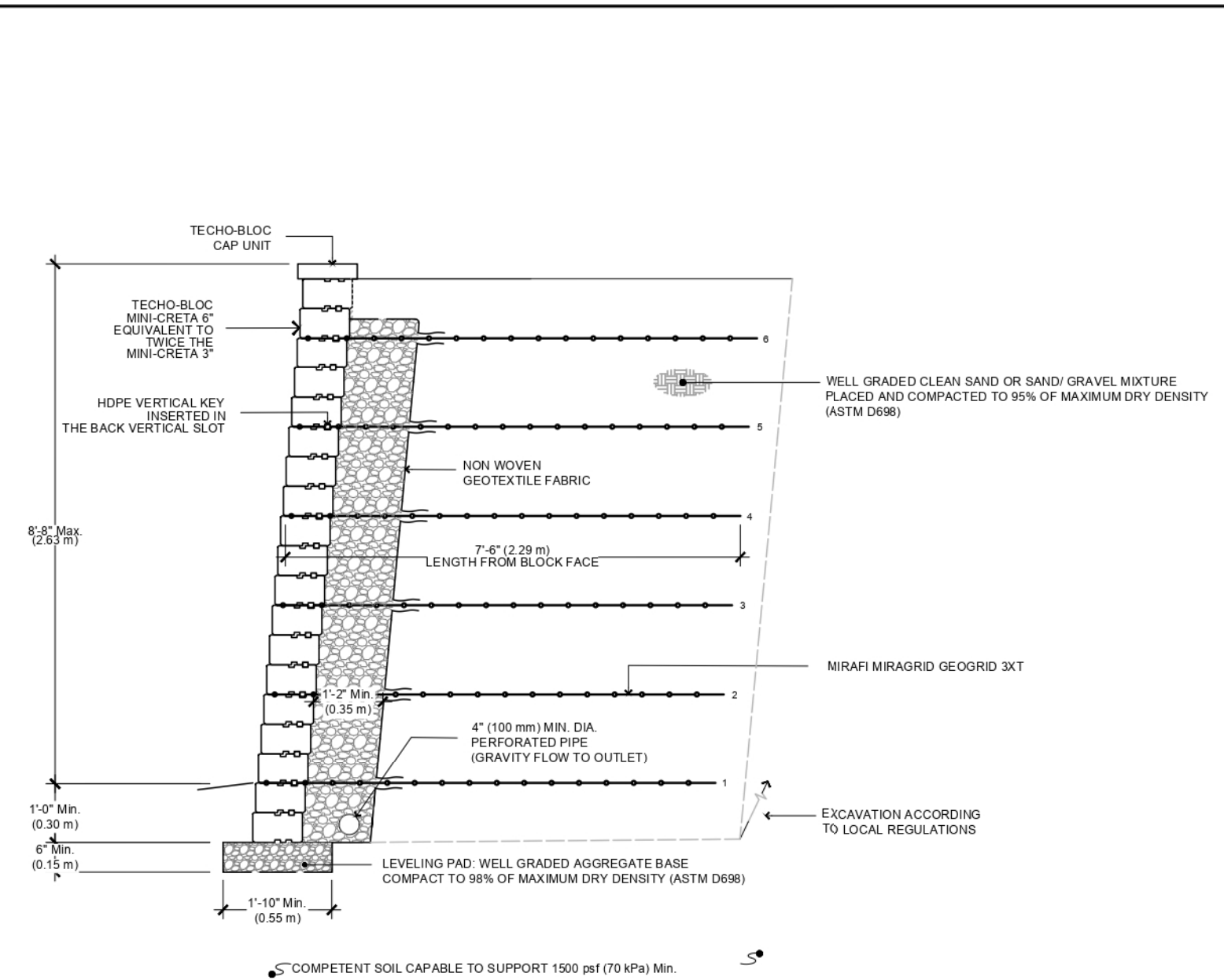
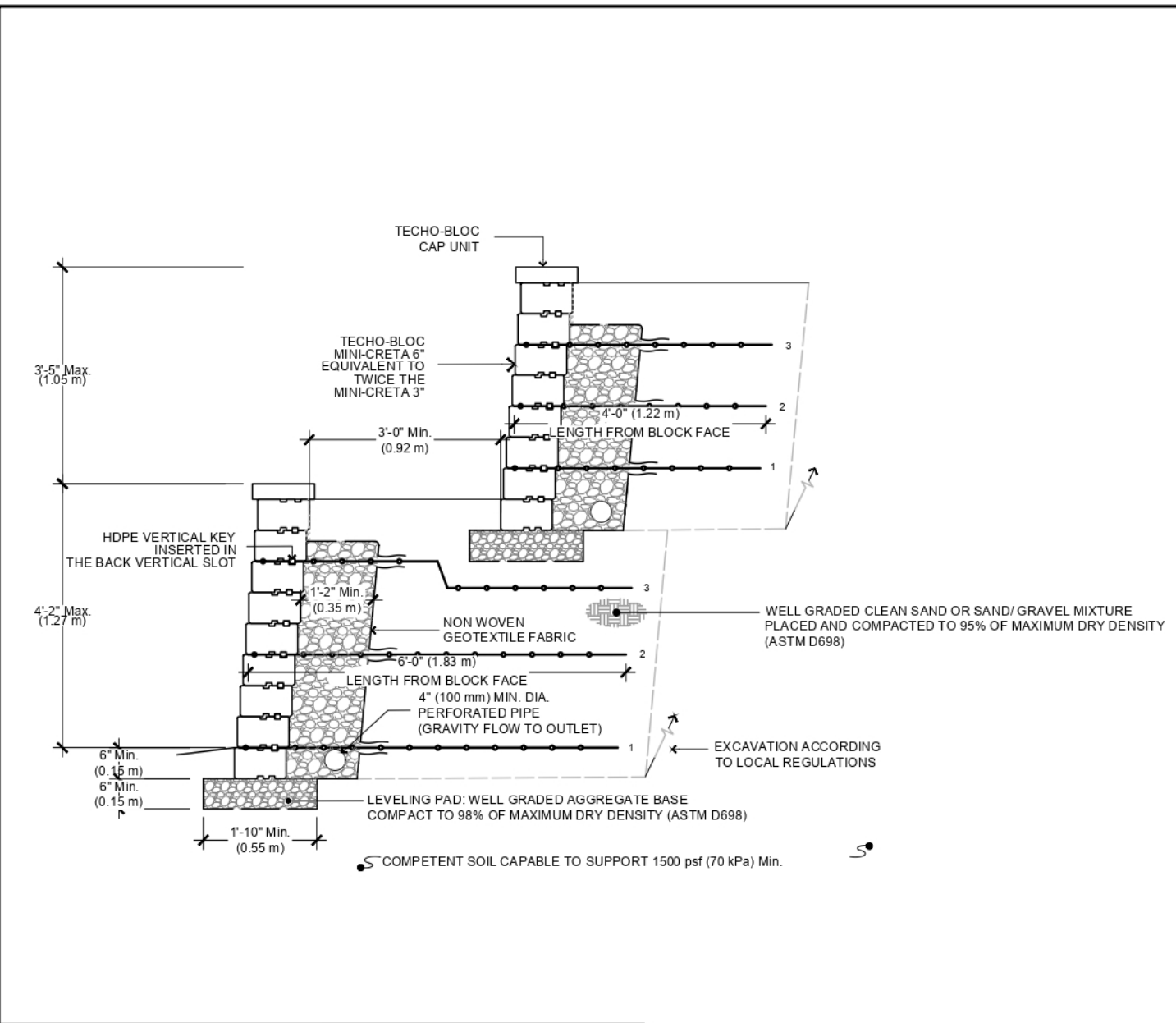
111 Main Street Chester, NY 10918  
845.610.3621

Civil Engineering & Land Surveying Services that Build C  
[www.Civil-Tec.com](http://www.Civil-Tec.com)

DATE: 9/10/24  
DRAWN BY: DC  
CHKD BY: RB/LT  
JOB No.: 4331  
SCALE: 1"=20'  
DWG No.: 2 OF 3

*Rachel B. Barese*  
Rachel B. Barese, P.E.  
N.Y. Lic. No. 90143

STATE OF NEW YORK  
RACHEL B. BARESE  
LICENSED PROFESSIONAL ENGINEER  
090143



- NOTES:**
1. THE ANALYSIS WAS PERFORMED TO SATISFY THE DESIGN REQUIREMENTS OF THE NCMAS DESIGN MANUAL FOR SEGMENTAL RETAINING WALLS, 3RD EDITION.
  2. NO ANALYSIS HAS BEEN PERFORMED ON GLOBAL STABILITY, TOTAL OR DIFFERENTIAL SETTLEMENT OR SEISMIC DESIGN.
  3. THESE GRAPHICAL REPRESENTATIONS ARE INTENDED FOR PRELIMINARY DESIGN PURPOSES ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION.
  4. FINAL DESIGN SHOULD BE APPROVED BY A QUALIFIED, LICENSED PROFESSIONAL ENGINEER.
  5. THE FOLLOWING SOIL PARAMETERS WERE CONSIDERED:

SOIL DATA			
SOIL REGION	REINFORCED	RETAINED	FOUNDATION
INTERNAL FRICTION ANGLE	30° Min.	28°	28°
MOIST UNIT WEIGHT	120 pcf	120 pcf	120 pcf
EFFECTIVE COHESION	(18.85 kN/m <sup>2</sup> )	(18.85 kN/m <sup>2</sup> )	(18.85 kN/m <sup>2</sup> )

**TECHO—BLOC**  
1-877-832-4625  
www.techo-bloc.com

PROJECT: 21 ASTOR PLACE RETAINING WALL  
SHEET TITLE: MINI-CRETA RETAINING WALL  
DESIGNED BY: F.S.  
DRAWN BY: Z.K.  
CHECKED BY: F.S.  
DATE: 2025-03-28  
SCALE: 1:30  
PROJECT NO: TS-PR-0895-01.dwg  
SHEET NO: 1/1

DATE	ISSUE	DESCRIPTION	REVISIONS
MAY 11, 2026	REV 3	REV TO ADD WALL/FENCE HTS	
APRIL 15, 2026	REV 2	REV POOL PATIO	
MARCH 12, 2026	REV 1	ADD GENERATOR AND HVAC PADS	

S.B.L. 41.10 - 1 - 53  
**DETAILS FOR 21 ASTOR PLACE**  
VILLAGE OF WESLEY HILLS - ROCKLAND COUNTY - NEW YORK

**CIVIL TEC Engineering & Surveying PC**  
139 Lafayette Avenue, 2nd Fl. Suffern, NY 10901  
P 845.547.2241 - F 845.547.2243  
www.Civil-Tec.com

111 Main Street  
Chester, NY 10918  
845.610.3621

Civil Engineering & Land Surveying Services that Build C  
www.Civil-Tec.com

Rachel B. Barese, P.E.  
N.Y. Lic. No. 90143

STATE OF NEW YORK  
RACHEL BETH BARESE  
090143  
LICENSED PROFESSIONAL ENGINEER

DATE:	2/17/26
DRAWN BY:	DC
CHKD BY:	RB/LT
JOB No.	4331
SCALE:	1"=20'
DWG No.	3 OF 3

15 Lyncrest Drive  
Monsey, N.Y. 10952  
T: (845) 354-0001

January 17, 2022

**Zoning Board of Appeals**  
Village of Wesley Hills  
432 Route 306  
Wesley Hills, NY 10952

Re: 3 Kentor Lane  
Wesley Hills, New York  
SBL #: 41.11-2-23

To the Zoning Board of Appeals:

The property 3 Kentor Lane, resides adjacent to Brownswell Park subdivision which is located on Earl Court and Kentor Lane. The subdivided properties zoning was based on an average density bulk table. This divided the lots into areas of 18,000 SF+, and required a front yard setback of 35 feet, side yard setback of 15 feet, side yard aggregate of 40 feet and rear yard setback of 35 feet.

Currently the property at 3 Kentor has a lot area of 35,007 SF and the house is built to the western side of the property. We are requesting to subdivide the property down the center to create two lots of similar size.

The western property that the house would remain on would be 17,503 SF, and the house would be within the setbacks Brownswell Park has created. The eastern property would be 17,504 SF. With the Brownswell Park setbacks there would be ample room to build a new house on the property.

The house located at 3 Kentor currently does not meet the front and rear yard setbacks, but does reside within the side yard setbacks. These conditions will not change with the subdivision, as the house will still be within the side yard setbacks.

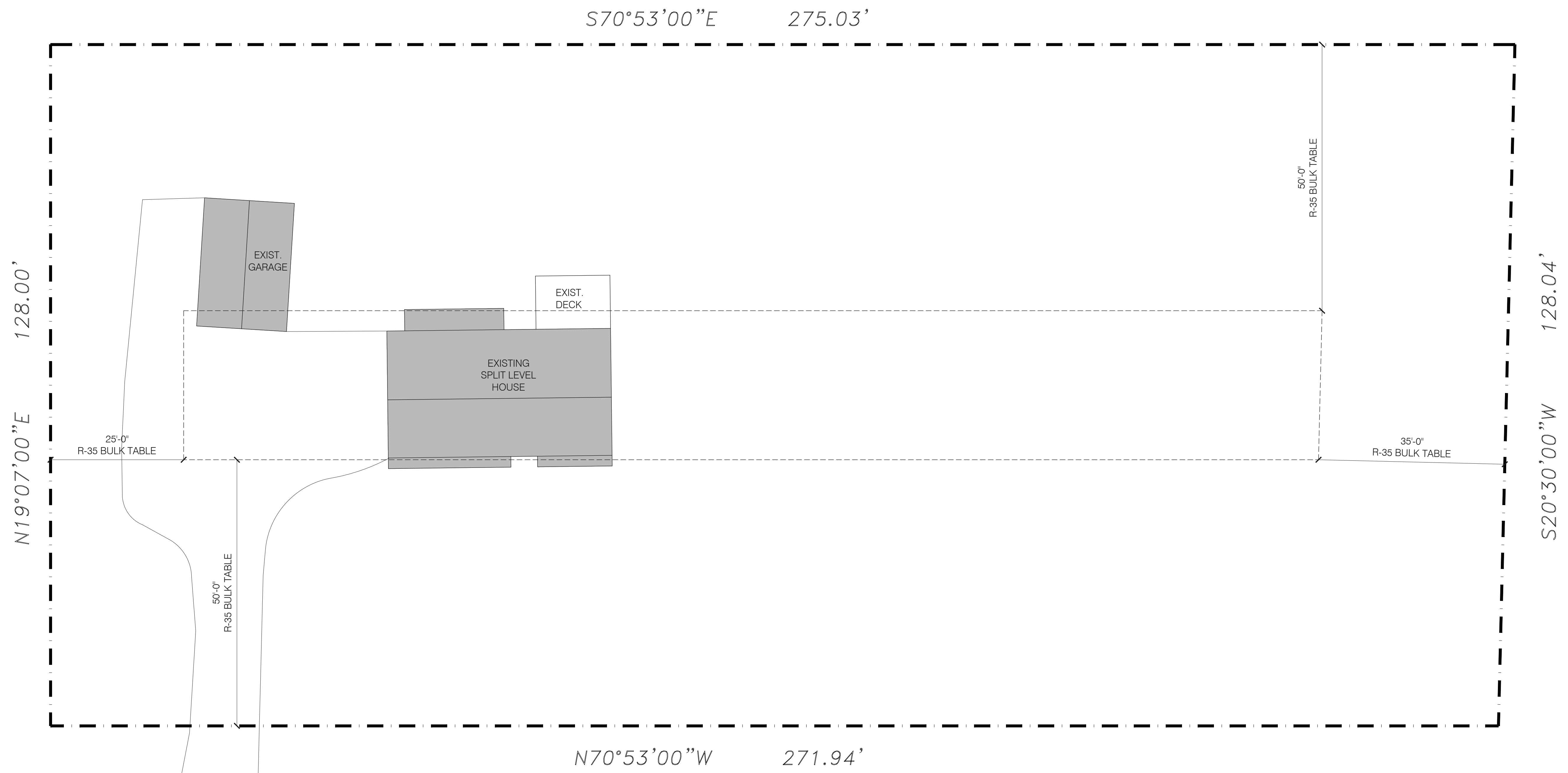
This subdivision would not change or worsen the character of the neighborhood as it would blend into the Brownswell Park neighborhood directly to the East.

The Brownswell Park subdivision plan has been attached to this application for your reference.

If you have any questions, please don't hesitate to contact me.

Stanley Mayerfeld





# KENTOR LANE

AVERAGE DENSITY BULK TABLE	
MINIMUM PLOT WIDTH	100'-0"
FRONT SETBACK	35'-0"
REAR SETBACK	35'-0"
SIDE YARD SETBACK	15'-0"
TOTAL SIDE YARD	40'-0"
MINIMUM PLOT AREA	18,000 SF

R-35 BULK TABLE	
MINIMUM PLOT WIDTH	125'-0"
FRONT SETBACK	50'-0"
REAR SETBACK	50'-0"
SIDE YARD SETBACK	25'-0"
TOTAL SIDE YARD	60'-0"
MINIMUM PLOT AREA	35,000 SF

NOTES:

PROJECT TITLE:  
**RESIDENCE AT  
 3 KENTOR LANE  
 VILLAGE OF WESLEY HILLS**

DWG. TITLE:  
**EXISTING SITE PLAN**

**Mayerfeld**  
 ARCHITECTURE PLLC

1.5 Lyncrest Drive, Monsey N.Y. 10952  
 T (845) 354-0001 F (845) 362-3272



SEAL:

DWG No:  
**A-1**

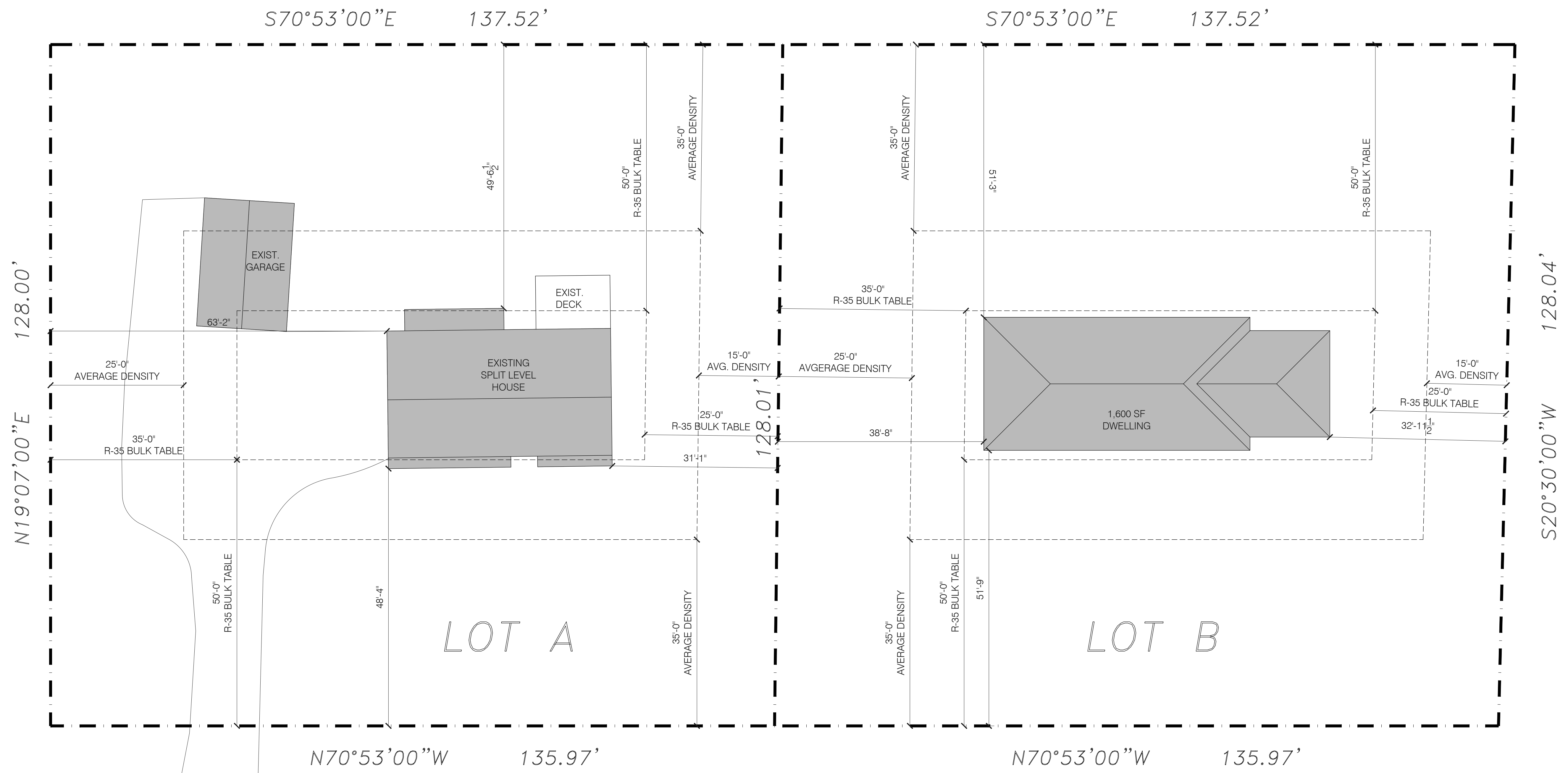
SHEET No:  
 1 OF 10

SCALE: 3/32" = 1'-0"

DATE: 12/23/20

JOB No:  
**2038**

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## KENTOR LANE

AVERAGE DENSITY BULK TABLE	
MINIMUM PLOT WIDTH	100'-0"
FRONT SETBACK	35'-0"
REAR SETBACK	35'-0"
SIDE YARD SETBACK	15'-0"
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MINIMUM PLOT WIDTH	125'-0"
FRONT SETBACK	50'-0"
REAR SETBACK	50'-0"
SIDE YARD SETBACK	25'-0"
TOTAL SIDE YARD	60'-0"
MINIMUM PLOT AREA	35,000 SF

PROPOSED LOT A	
PLOT WIDTH	135.97'
FRONT SETBACK	48'-4"
REAR SETBACK	49'-6.5"
SIDE YARD SETBACK	31'-1"
TOTAL SIDE YARD	94'-3"
PLOT AREA	17,503 SF

PROPOSED LOT B	
PLOT WIDTH	135.97'
FRONT SETBACK	51'-9"
REAR SETBACK	51'-3"
SIDE YARD SETBACK	32'-11.5"
TOTAL SIDE YARD	71'-7.5"
PLOT AREA	17,503 SF

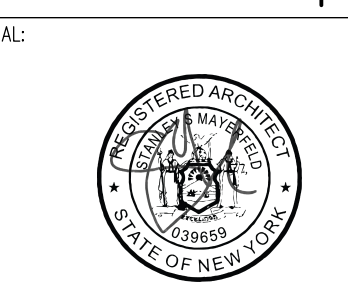
NOTES:

PROJECT TITLE:  
**RESIDENCE AT  
 3 KENTOR LANE  
 VILLAGE OF WESLEY HILLS**

DWG. TITLE:  
**PROPOSED SUBDIVISION**

**Mayerfeld**  
 ARCHITECTURE PLLC

15 Lyncrest Drive, Monsey N.Y. 10952  
 T (845) 354-0001 F (845) 362-3272



DWG. No:  
**A-2**

SHEET No:  
 2 OF 10

SCALE: 3/32" = 1'-0"

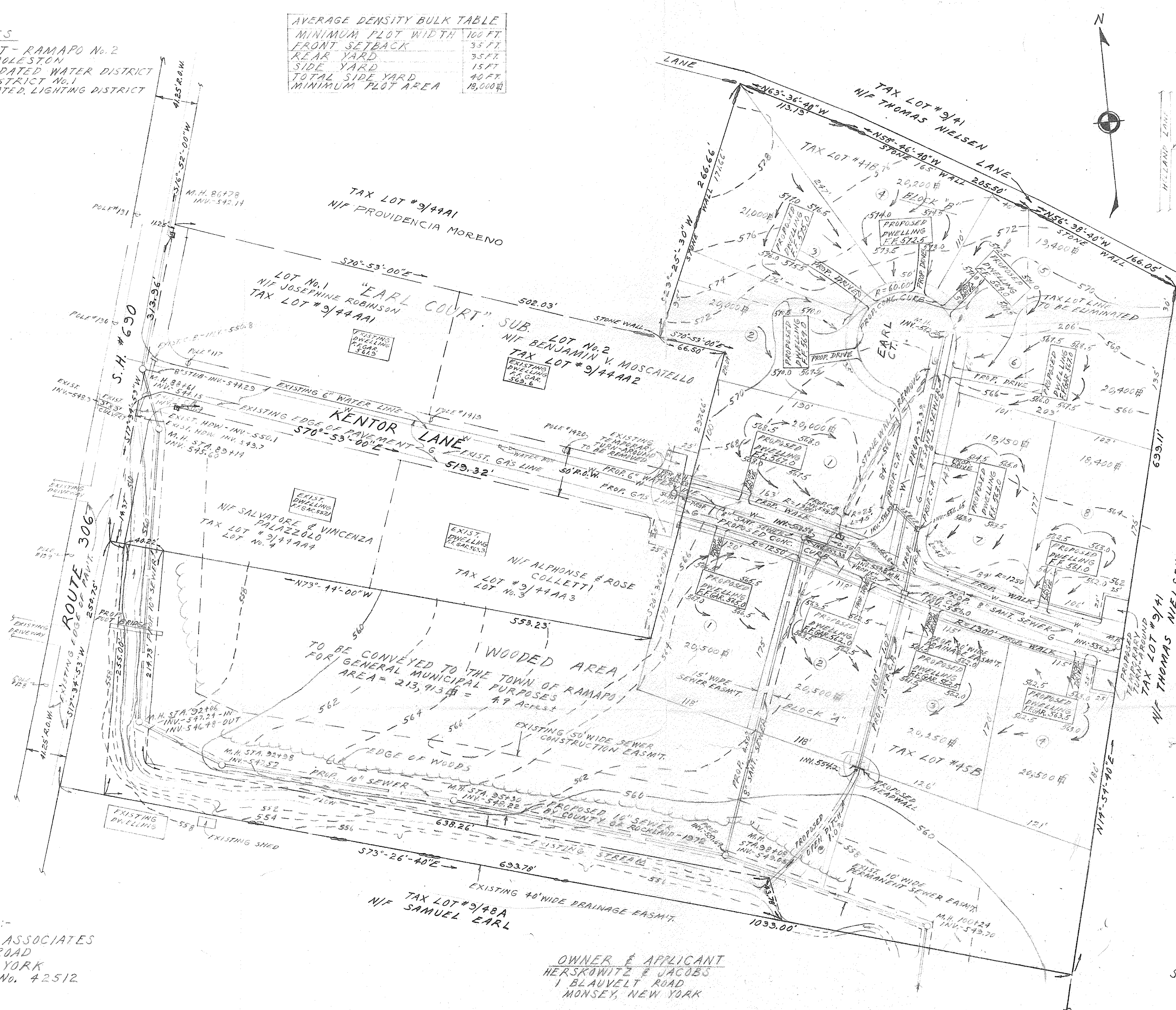
DATE: 12/23/20

JOB No:  
**2038**

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DISTRICTS  
 SCHOOL DISTRICT - RAMAPO No. 2  
 FIRE DISTRICT - MOLESTON  
 RAMAPO CONSOLIDATED WATER DISTRICT  
 RAMAPO SEWER DISTRICT No. 1  
 RAMAPO CONSOLIDATED LIGHTING DISTRICT

AVERAGE DENSITY BULK TABLE	
MINIMUM PLOT WIDTH	100 FT.
FRONT SETBACK	35 FT.
REAR YARD	35 FT.
SIDE YARD	15 FT.
TOTAL SIDE YARD	40 FT.
MINIMUM PLOT AREA	18,000 sq. ft.



- NOTES
1. DATUM IS U.S.G.S.
  2. THIS SUBDIVISION APPEARS AS PARCELS 44B & 45F ON SECTION No. 3 OF THE RAMAPO TAX MAP.
  3. AVERAGE DENSITY FOR THIS SUBDIVISION WAS GRANTED BY THE RAMAPO TOWN BOARD.
  4. WATER TO BE SUPPLIED BY SPRING VALLEY WATER COMPANY.
  5. GAS & ELECTRIC TO BE SUPPLIED BY ORANGE & ROCKLAND UTILITIES INC.
  6. ALL NEW UTILITY INSTALLATIONS TO BE PLACED UNDERGROUND.
  7. "W" DESIGNATES WATER LINE
  8. "G" DESIGNATES GAS LINE
  9. ALL LOTS TO BE SERVED BY SANITARY SEWER WITH DWELLING SERVICE LINES TO BE GRAVITY FLOW AT A MINIMUM 1/4" PER FOOT OF SLOPE.
  10. MAXIMUM INFILTRATION TO BE 100 GAL. PER DAY PER INCH PIPE DIAMETER PER MILE OF PIPE.
  11. ALL COMPLETED SANITARY SEWER LINES ARE TO BE TESTED FOR EXFILTRATION & INFILTRATION BY A PROFESSIONAL ENGINEER LICENSED IN N.Y. STATE. TEST RESULTS ARE TO BE SUBMITTED TO THE ROCKLAND COUNTY HEALTH DEPT. & THE RAMAPO TOWN ENGINEER FOR APPROVAL PRIOR TO ACTIVATION.
  12. BUILDING PERMITS WILL NOT BE ISSUED ON 10% OF LOTS UNTIL ALL PUBLIC IMPROVEMENTS ARE COMPLETED.
  13. HOUSE SEWER & WATER SERVICE LINES SHALL BE LAID IN SEPARATE TRENCHES WITH A MINIMUM SEPARATION OF 10 FEET.
  14. 562.5 - DESIGNATES PROPOSED GRADE.
  15. CONCRETE SIDEWALKS TO BE CONSTRUCTED ONLY ALONG KENTOR LANE ON BOTH SIDES OF THE STREET AS SHOWN ON PLAN.

SITE PLAN  
 "BROWNSELL PARK"  
 LOCATED AT  
 MONSEY, TOWN OF RAMAPO  
 ROCKLAND COUNTY, NEW YORK  
 SCALE: 1"=50' AREA= 11.46 ACRES, 12 LOTS  
 DEC. 1, 1972

PREPARED BY:-  
 EDWIN F LOCH ASSOCIATES  
 # PINEBROOK ROAD  
 MONSEY, NEW YORK  
 N.Y. LICENSE No. 42512

OWNER & APPLICANT  
 HERSKOWITZ & JACOBS  
 1 BLAUVELT ROAD  
 MONSEY, NEW YORK

RECEIVED  
 DEC 13 1972  
 TOWN OF RAMAPO  
 BOARDS & COMMISSIONS



# Proposal for Utilizing KBY of Wesley Hills as a School

KBY of Wesley Hills

23 Lime Kiln Road

Meoros Rav Hirsch respectfully submits this proposal requesting approval to utilize KBY of Wesley Hills as a girls high school educational facility. The proposed school is intentionally small, structured, supervised, and community-oriented. The request is specifically to utilize the existing shul building and its already-existing infrastructure of classrooms and educational rooms without the need for major construction or redevelopment.

Category	Details
School Type	Girls High School
Maximum Classrooms	4
Maximum Students Per Classroom	15
Approximate Maximum Enrollment	60 Students
School Hours	8:30 AM – 4:30 PM
Faculty & Teacher Vehicles	Approximately 12–18 Vehicles
Parking	Existing parking lot already available on site
Construction	No major construction proposed. Existing building and room infrastru

## Who We Are

Meoros Rav Hirsch is a structured and community-built girls high school focused on education, responsibility, leadership, and long-term student development. The school was established to provide a serious educational environment rooted in strong values, clear expectations, and individualized attention. With intentionally small class sizes and a highly supervised environment, the school emphasizes stability, accountability, and partnership with families and the broader community. The proposed use at KBY of

Wesley Hills allows the school to utilize an existing shul building that already contains classroom-style rooms and educational infrastructure appropriate for organized school operations.

## Governance, Leadership & Oversight

Meoros Rav Hirsch operates with a layered leadership and oversight structure designed to ensure educational excellence, operational accountability, and long-term institutional stability.

<b>Rabbinical Board</b>	<ul style="list-style-type: none"> <li>▣ Rabbi Simcha Bunim Berger</li> <li>▣ Rabbi Sruli Neiman</li> <li>▣ Rabbi Ari Senter</li> </ul>
<b>Community Board</b>	<ul style="list-style-type: none"> <li>▣ Menny Schwab</li> <li>▣ Uri Kirschner</li> <li>▣ Naftali Zelman</li> <li>▣ Lazer Schwartz</li> <li>▣ Chaim Greenfield</li> </ul>
<b>Educational Leadership Team</b>	<ul style="list-style-type: none"> <li>▣ Rebbetzin Bracha Cohen – Principal</li> <li>▣ Chaya Wulliger – Head Mechaneches</li> <li>▣ Tzirel Fine – Academic Director</li> <li>▣ Rabbi Lior Rogofsky – Dean</li> <li>▣ Rabbi Jordan Most – Executive Leadership</li> </ul>
<b>Operations &amp; Administration</b>	<ul style="list-style-type: none"> <li>▣ Rabbi Aaron Dovid Metzger – Executive Director</li> </ul>

## Existing Building Suitability

KBY of Wesley Hills is currently a shul building that already contains infrastructure of rooms and spaces capable of supporting educational activity. Importantly, no major construction is proposed as part of this request. The building will be utilized substantially as-is, making this a straightforward and lower-impact proposal from both an operational and site-planning perspective. Because the building already contains appropriate rooms and educational-style infrastructure, the proposed use can operate efficiently without major modifications or redevelopment.

## Operations, Traffic & Parking

The proposed school is intentionally limited in size and designed to minimize neighborhood impact. The operation is not a large campus-style school. It is a small, structured educational environment with approximately sixty students maximum and a faculty vehicle count of approximately 12–18 vehicles. The KBY of Wesley Hills location already includes an existing parking lot, eliminating the need for additional parking requests or major site modifications.

## Frequently Asked Questions

### What is being requested?

Approval to utilize the existing KBY of Wesley Hills shul building as a girls high school educational facility.

**Will this be a large school?**

No. The proposed school is intentionally limited to approximately 60 students.

**How many classrooms are proposed?**

The proposal is limited to four classrooms with a maximum of fifteen students per classroom.

**What are the school hours?**

The proposed operating hours are 8:30 AM – 4:30 PM.

**Is major construction proposed?**

No. The building will be utilized substantially as-is without major construction or redevelopment.

**Is KBY of Wesley Hills already a school?**

No. It is currently a shul building. However, the building already contains rooms and infrastructure capable of supporting educational activity.

**Does the site already have parking?**

Yes. KBY of Wesley Hills already includes an existing parking lot on site.

**Why is this considered a lower-impact proposal?**

Because the request utilizes an existing building and existing room infrastructure without major construction or site redevelopment.

**Will the school be supervised?**

Yes. The school operates with structured supervision, defined leadership, and clear accountability.

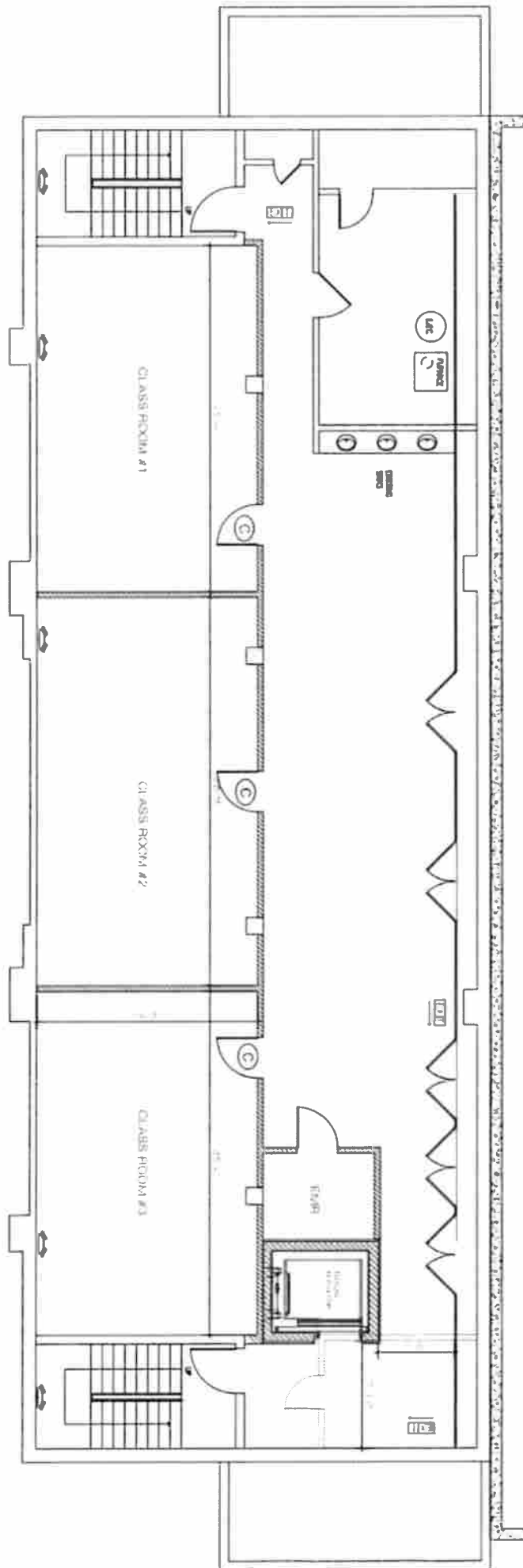
**Who oversees the school?**

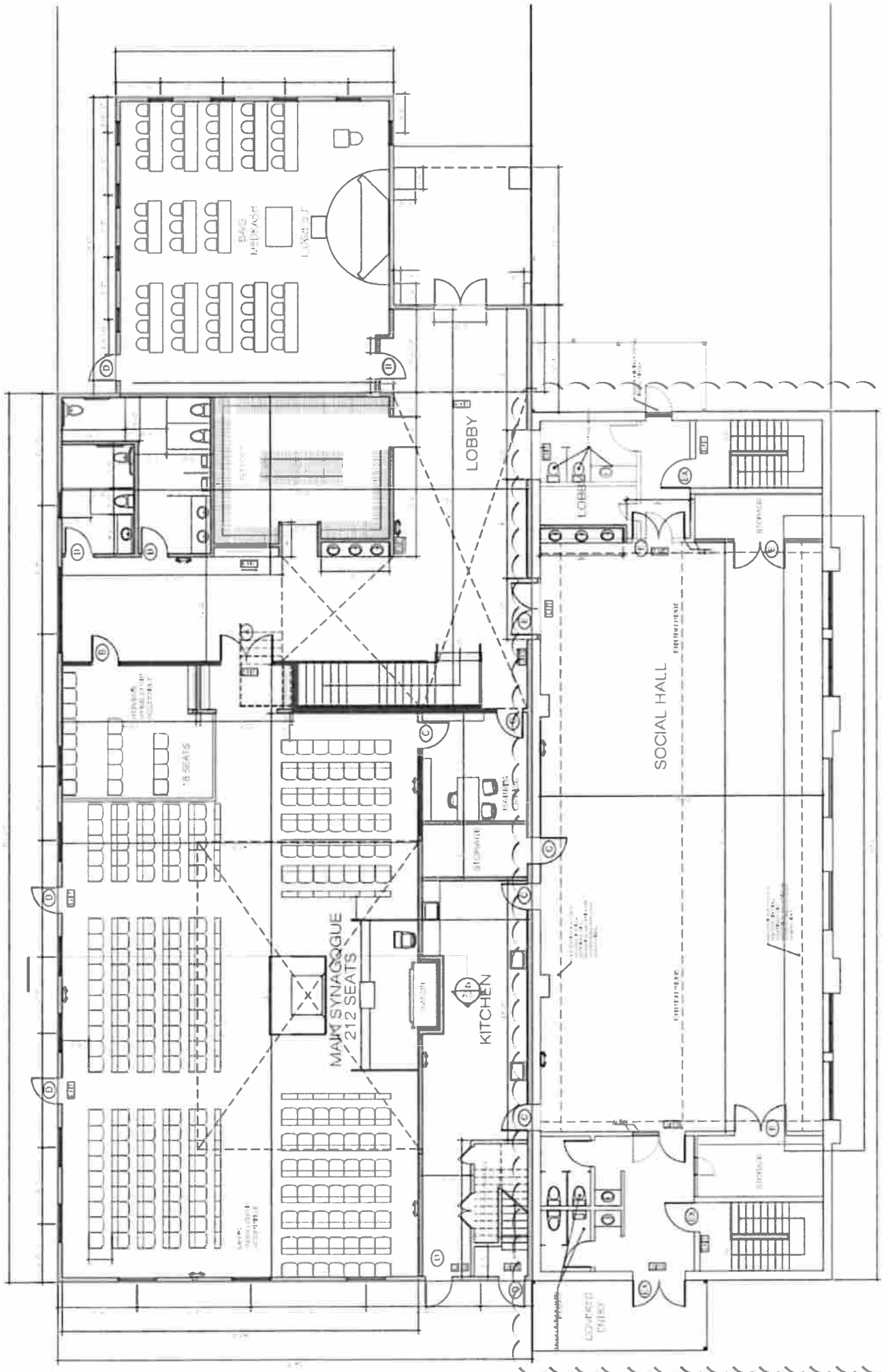
The school is overseen by educational leadership, executive administration, a rabbinical board, and a community board.

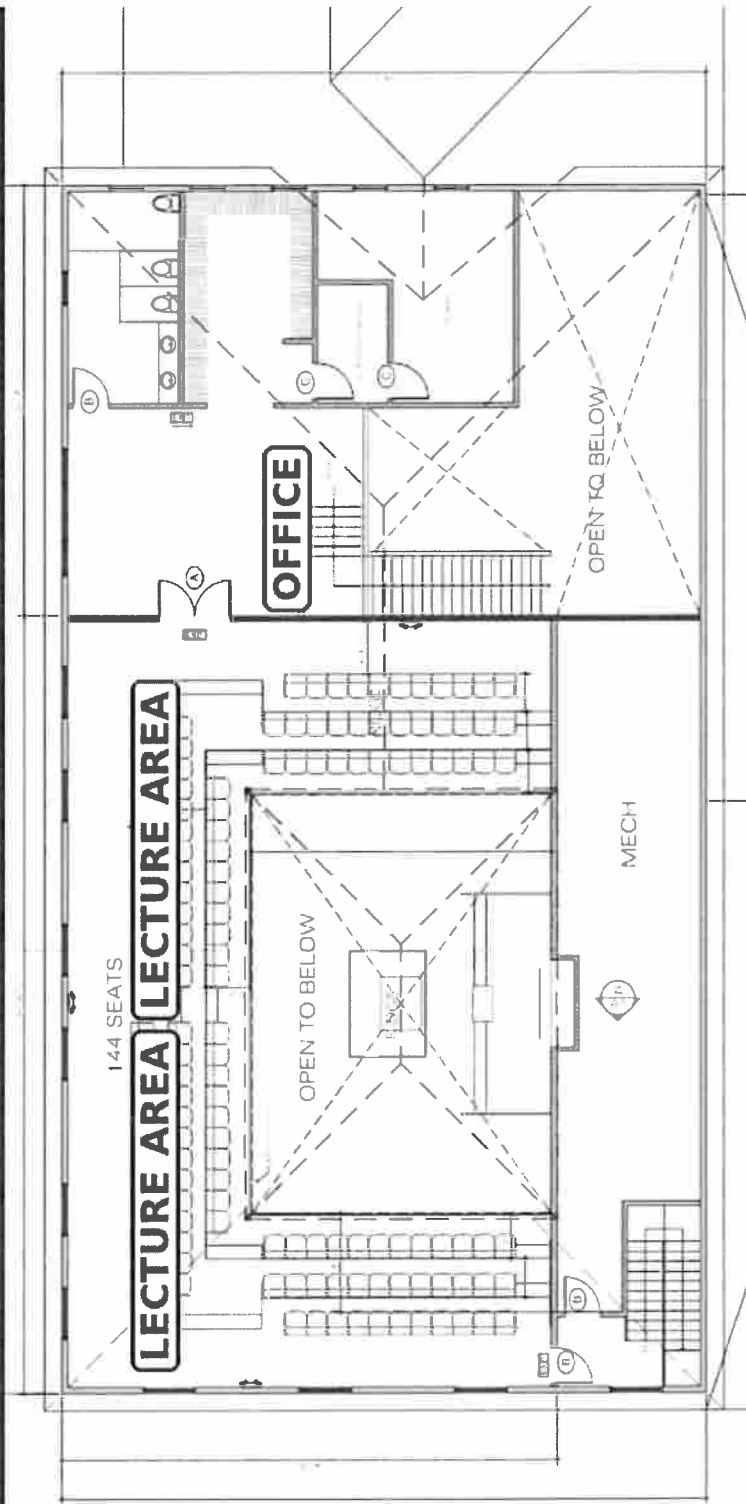
**Conclusion**

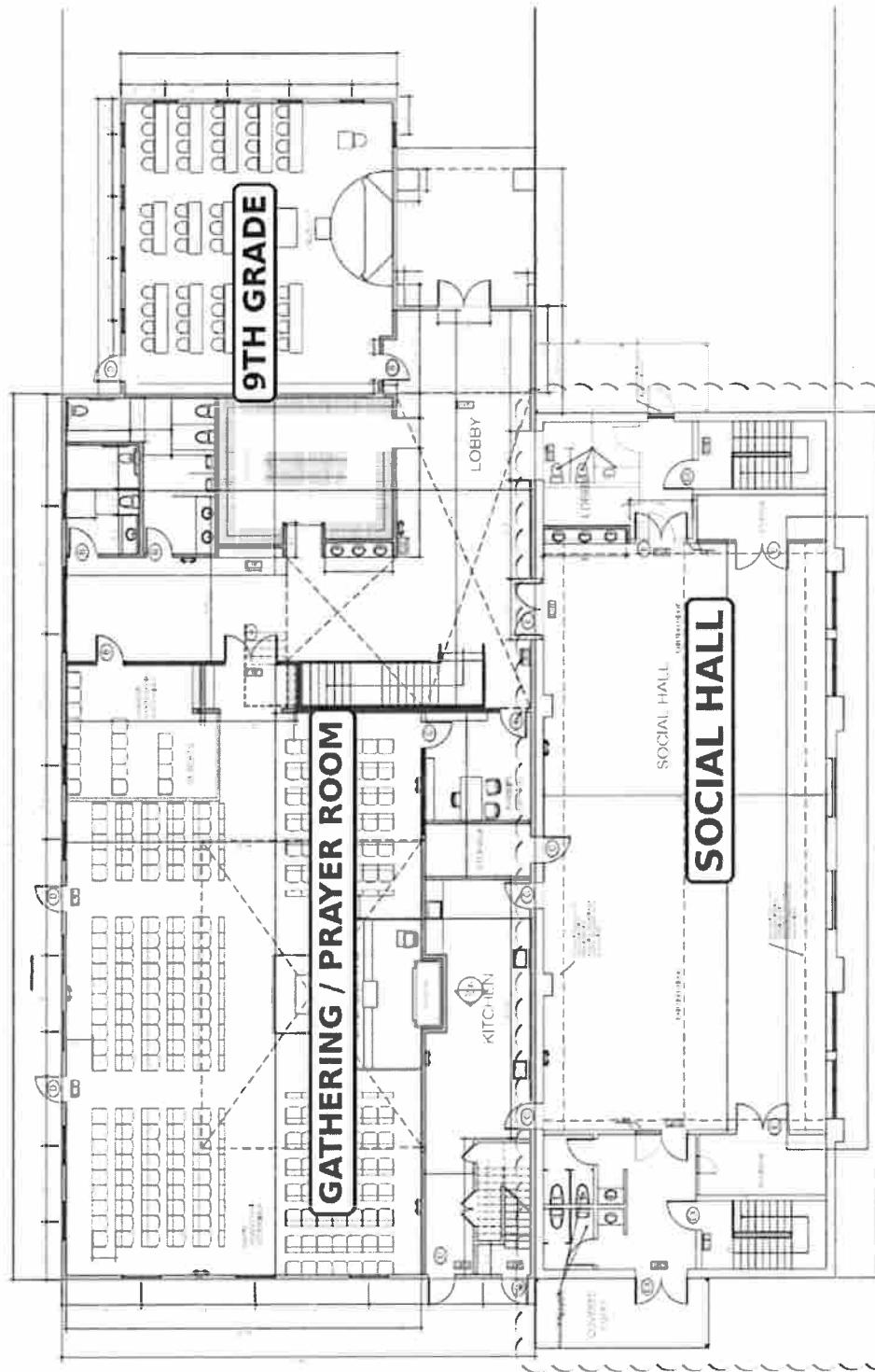
Meoros Rav Hirsch respectfully requests approval to utilize KBY of Wesley Hills, located at 23 Lime Kiln Road, as a girls high school educational facility. We believe this proposal represents a responsible, appropriately scaled, and community-oriented educational use utilizing an existing building and room infrastructure without the need for major construction or redevelopment. The school is committed to operating in a safe, supervised, and organized manner while maintaining a respectful and collaborative relationship with the Village and surrounding community.

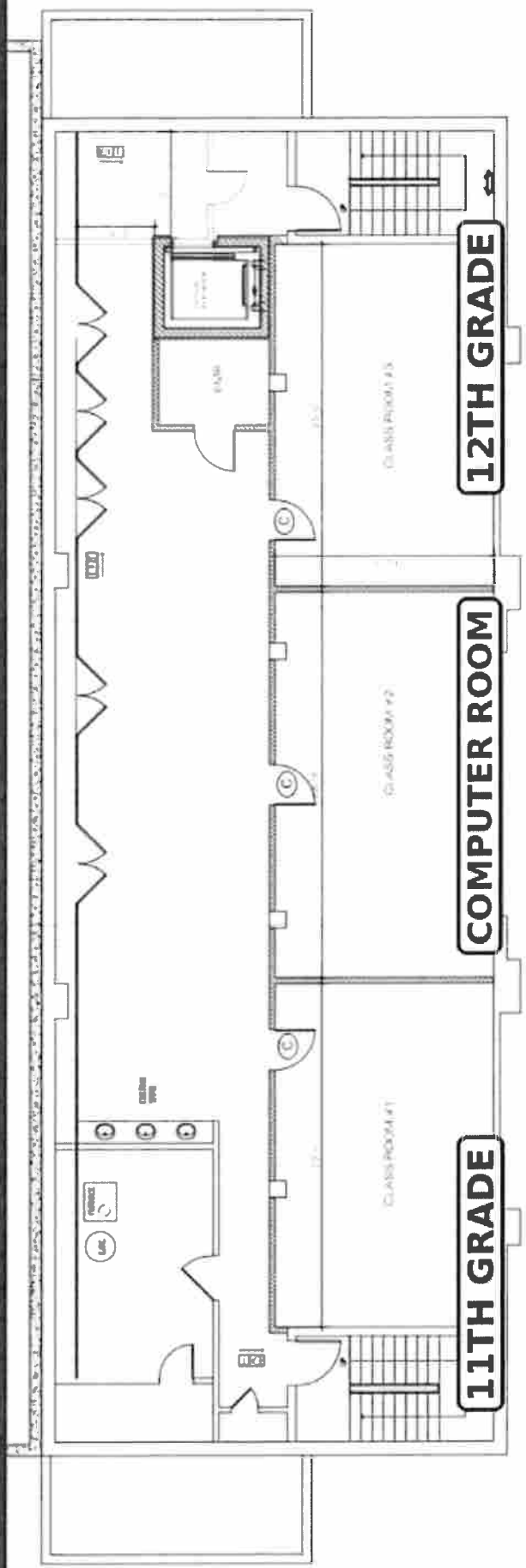












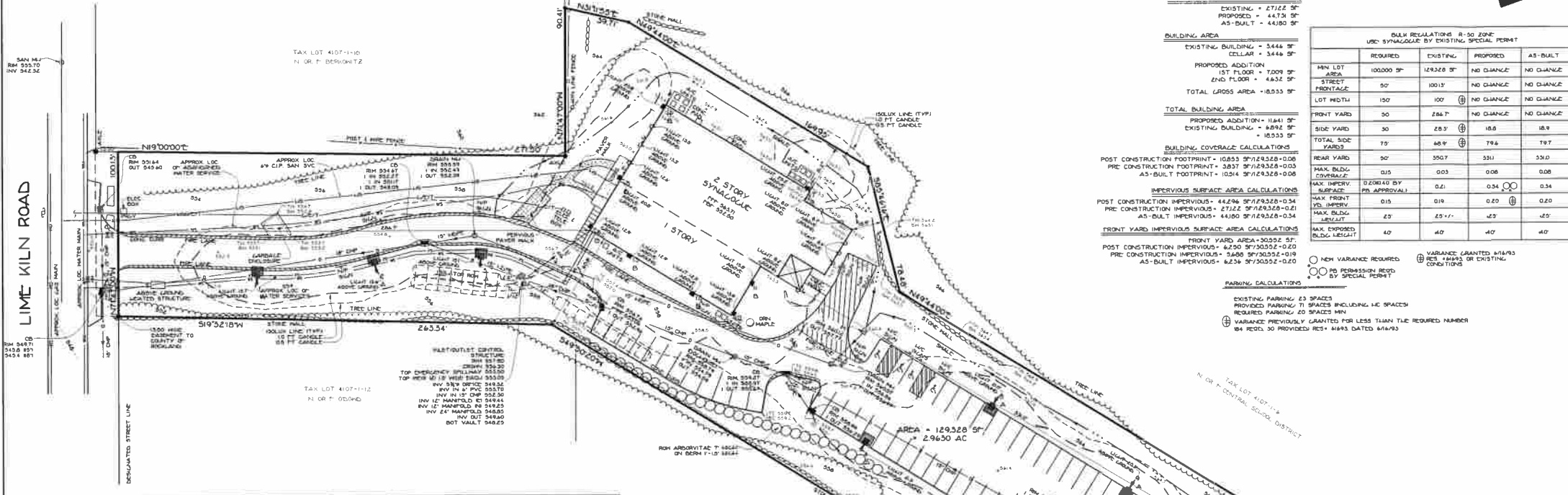
**12TH GRADE**

**COMPUTER ROOM**

**11TH GRADE**

TAX LOT: SECTION 4107, BLOCK 1, LOT 11

NOTE:  
BOUNDARY LINE HERE SHOWN ON THIS  
MAP IS BASED ON A SURVEY PREPARED BY  
JAY A. GREENWELL, PLS, LLC DATED 1/23/2014



**IMPERVIOUS SURFACE**  
EXISTING = 27122 SF  
PROPOSED = 44734 SF  
AS-BUILT = 44893 SF

**BUILDING AREA**  
EXISTING BUILDING = 3446 SF  
CELLAR = 3446 SF  
PROPOSED ADDITION  
1ST FLOOR = 7009 SF  
2ND FLOOR = 4632 SF  
TOTAL GROSS AREA = 10533 SF

**TOTAL BUILDING AREA**  
PROPOSED ADDITION = 11641 SF  
EXISTING BUILDING = 6592 SF  
= 10533 SF

**BUILDING COVERAGE CALCULATIONS**  
POST CONSTRUCTION FOOTPRINT = 10653 SF/29,328+0.08  
PRE CONSTRUCTION FOOTPRINT = 3837 SF/12,9328-0.03  
AS-BUILT FOOTPRINT = 10316 SF/29,328-0.08

**IMPERVIOUS SURFACE AREA CALCULATIONS**  
POST CONSTRUCTION IMPERVIOUS = 44294 SF/12,9328-0.34  
PRE CONSTRUCTION IMPERVIOUS = 27122 SF/12,9328-0.21  
AS-BUILT IMPERVIOUS = 44893 SF/29,328-0.34

**FRONT YARD IMPERVIOUS SURFACE AREA CALCULATIONS**  
FRONT YARD AREA = 30252 SF  
POST CONSTRUCTION IMPERVIOUS = 4250 SF/30252-0.23  
PRE CONSTRUCTION IMPERVIOUS = 2600 SF/30252-0.19  
AS-BUILT IMPERVIOUS = 4236 SF/30252-0.20

**PARKING CALCULATIONS**  
EXISTING PARKING: 63 SPACES  
PROVIDED PARKING: 71 SPACES INCLUDING 14C SPACES  
REQUIRED PARKING: 20 SPACES MIN  
VARIANCE PREVIOUSLY GRANTED FOR LESS THAN THE REQUIRED NUMBER  
84 REEL 30 PROVIDED REC # 41493 DATED 6/14/93

BULK REGULATIONS R-50 ZONE				
USE: SYNAGOGUE BY EXISTING SPECIAL PERMIT				
MIN LOT AREA	REQUIRED	EXISTING	PROPOSED	AS-BUILT
100,000 SF	129,328 SF			NO CHANGE
STREET FRONTAGE	50'	100.13'		NO CHANGE
LOT WIDTH	150'	100'		NO CHANGE
FRONT YARD	50'	286.7'		NO CHANGE
SIDE YARD	30'	28.5'	18.8'	18.8'
TOTAL SIDE YARDS	75'	48.9'	79.6'	79.7'
REAR YARD	50'	390.7'	331.0'	331.0'
MAX BLDG COVERAGE	0.15	0.03	0.08	0.08
MAX IMPERV. SURFACE	0.21	0.21	0.34	0.34
MAX FRONT YD IMPERV	0.15	0.19	0.20	0.20
MAX BLDG HEIGHT	25'	25'-1"	25'	25'
MAX EXPOSED BLDG HEIGHT	40'	40'	40'	40'

Symbol	Qty	Log	Label	Arrangement	Lum. Lumens	LLF	Description	Filename
9	1	A	ALED2178	SINGLE	17718	1.000	ALED2178 (TYPE II)	ALED2178 - Cool - TL793971E
18	8	B	PFLD39	SINGLE	14626	1.000	PFLD39	PFLD39 - Cool - TL793971E

Label	CalcType	Units	Description	Avg	Max	Min	Avg/Min	Max/Min
Site Plan	luminaire	fc	READING TAKEN AT 0'-0" AFG	0.40	1.1	0.0	N/A	N/A
Parking Lot	luminaire	fc	READING TAKEN AT 0'-0" AFG	1.48	4.1	1.0	N/A	N/A

Luminaire	Tag	X	Y	IT	MFG. HT.	Orient	Tilt
1	A	8104.207	-4353.486	13.7	66.961	U	0
2	A	8176.17	-4346.198	13.8	104.198	U	0
3	A	8240.882	-4343.071	15.1	85.232	U	0
4	A	8471.805	-4436.321	21.3	58.592	U	0
5	A	8533.732	-4307.329	21.5	36.592	U	0
6	A	8640.879	-4360.441	20.3	36.592	U	0
7	A	8689.72	-4371.538	20.3	36.592	U	0
8	A	8552.134	-4429.016	21	239.448	U	0
9	A	8634.373	-4480.47	20.3	239.448	U	0
10	B	8393.121	-4374.872	13.9	318.871	50	0
11	B	8404.208	-4356.296	13.8	340	50	0
12	B	8368.814	-4382.472	12.5	236.321	50	0
13	B	8330.844	-4339.223	14.9	236.321	50	0
14	B	8307.242	-4321.803	14.9	148.369	40	0
15	B	8325.127	-4282.184	20.8	148.369	40	0
16	B	8351.375	-4248.951	20.8	148.369	40	0
17	B	8438.418	-4298.333	20.2	58.521	30	0

LIGHTING FIXTURE SCHEDULE

MARK	MANUFACTURER	CATALOG NUMBER	ACCESSORIES / REMARKS	LAMP DATA		MOUNTING DATA		
				QUANTITY	TYPE	WATTS	LOCATION	TYPE
9	RAD LIGHTING	ALED2178	PARKING LOT AREA LIGHT WITH POLE	9	1824 OUTPUT LED	70	POLE	ARM
18	ACCESS LIGHTING	Z03896-082/018	TRIDENT 2 LIGHT OUTDOOR MALL IN BRONZE	8	OUTDOOR MALL LIGHT	75	MALL	FIXED
18	RAD LIGHTING	PFLD39	LED FLOOD LIGHT	8	ULTRA EFFICIENT LED	98	MALL	FIXED

NOTE:  
ISOLUX CURVES FOR EXISTING LIGHTING  
AS SHOWN ON THIS DRAWING ARE  
PROVIDED BY OTHERS.

UNAUTHORIZED ALTERATION OF ADDITION TO THIS  
PLAN IS A VIOLATION OF SECTION 2608 OF THE  
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WILLIAM D. YOUNGBLOOD, L.S. # 50466

AS-BUILT SURVEY  
OF  
THE WESLEY HILLS SYNAGOGUE  
LOCATED IN  
VILLAGE OF WESLEY HILLS  
TOWN OF RAMAPO  
ROCKLAND COUNTY, NEW YORK

REV: UPDATE SURVEY - 6/6/16  
REV: UPDATE SURVEY - 4/14/16  
REV: UPDATE SURVEY - 11/8/15

**SPARACO & YOUNGBLOOD PLLC**  
CIVIL ENGINEERING • LAND SURVEYING  
SITE PLANNING

18 NORTH MAIN STREET  
PO BOX 68  
LAWRENCE, NY 10428  
TEL: 845.752.8843  
FAX: 845.742.5903  
WWW.SYB.COM

SY-1041  
AUG. 14, 2015  
1" = 50'

ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM  
AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE  
LOCAL UNDERGROUND FACILITIES SERVICE TO DETERMINE  
THE LOCATION OF ALL UTILITIES SHOWN IN THE FIELD.  
PRIOR TO ANY CLEARING OR ANY CONSTRUCTION THE  
CONTRACTOR SHALL ALSO VERIFY THE LOCATION, DEPTH AND  
DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION AND  
UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN BY THE  
SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.

DO NOT FORGET TO  
VERIFY ALL UTILITIES  
NEW YORK  
1-800-862-7982