



PLANNING BOARD MEETING AGENDA

February 25, 2026 at 7:30 PM
432 Route 306, Wesley Hills, NY 10952
Phone: 845-354-0400 | Fax: 845-354-4097

CALL TO ORDER

ROLL CALL

PUBLIC HEARING

1. Public Hearing to consider the application submitted by Mendel Kirsh. The Applicant is seeking a Special Permit for a Home Business.

The subject property is commonly known as 1 Pearl Drive, Wesley Hills, NY. The property is situated on the southeast corner of Pearl Drive and Route 306. The property is designated on the Town of Ramapo Tax Map as Parcel ID # 41.7-1-38 and is located in a R-35 zoning district.

2. Public Hearing to consider the application of Congregation Trisk Tolna. The Applicant is seeking a Special Permit and Site Plan approval for the use of the existing structure as a Neighborhood Gathering.

The subject property is commonly known as 33 Glenbrook Road, Wesley Hills, NY. The property is situated on the north side of Glenbrook Road, 400 feet West of Moccasin Place. The property is designated on the Town of Ramapo Tax Map as Parcel ID # 41.10-2-24 and is located in an R-35 zoning district.

3. Public Hearing to consider the application of Abraham Schwartz/25 Onderdonk LLC, 14 Scenic Drive, Suffern, NY 10901. The Applicant are seeking a Wetlands Permit and Site Plan Approval [*Wetland relocation to build a single-family home*].

The subject Property is commonly known as 25 Onderdonk Road, Suffern, NY. The Property is situated on the west side of Onderdonk Road, 380 feet from the intersection of Cains Road. The property is designated on the Town of Ramapo Tax Map as Parcel ID # 32.19-1-1 and is located in an R-35 zoning district.

DISCUSSIONS

4. Local Law Amending the Code of the Village of Wesley Hills Allowing the Use of Catering Facilities in the Village of Wesley Hills.

APPROVAL OF MINUTES

5. January 25, 2026

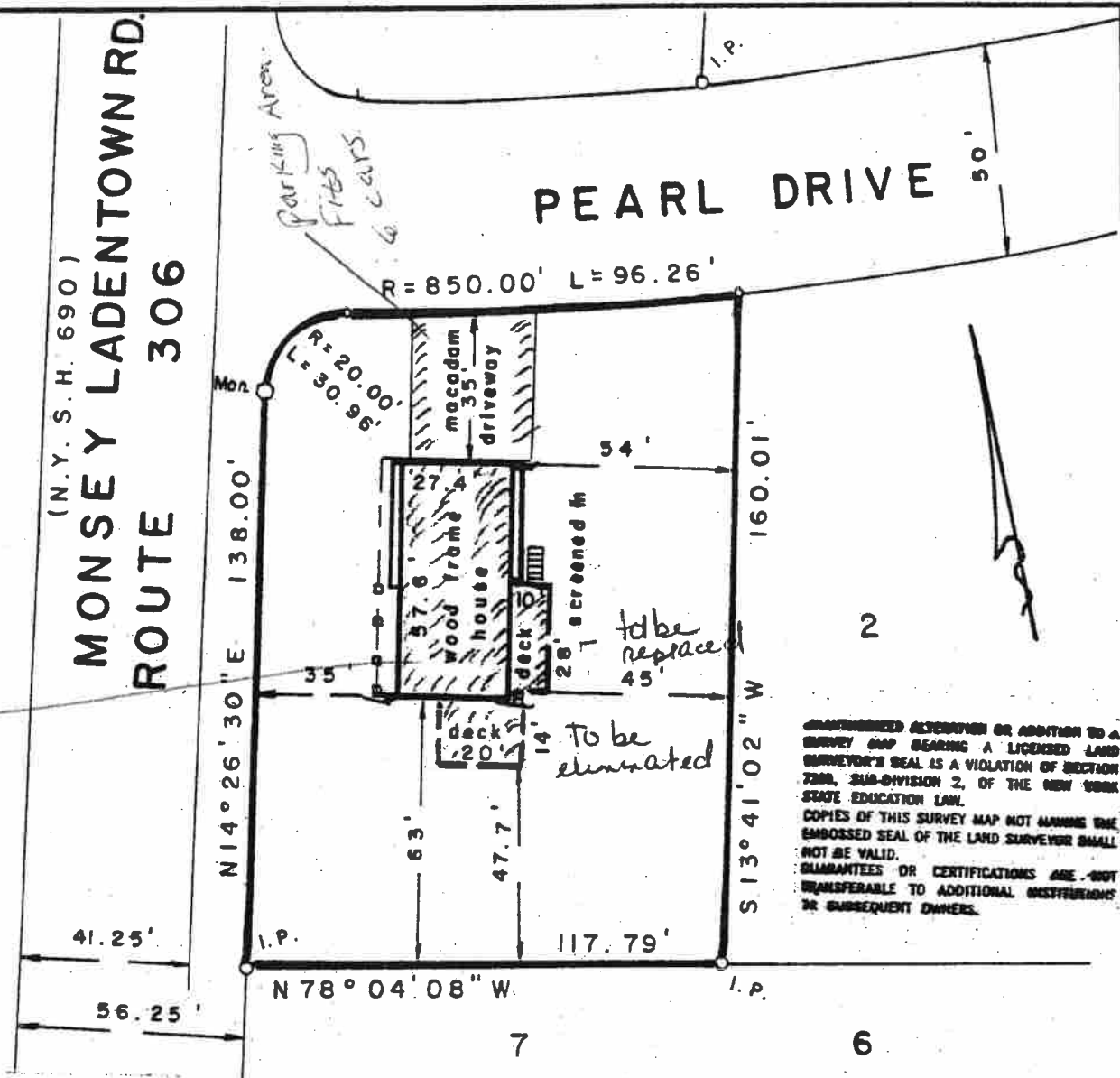
ADJOURNMENT

Total Home sq ft 3156 Using 500 sq ft

MIRACLES

(N.Y. S. H. 690)
**MONSEY LADENTOWN RD.
ROUTE 306**

PEARL DRIVE



UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7000, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BARING THE EMBOSSED SEAL OF THE LAND SURVEYOR SHALL NOT BE VALID. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL DISTURBANCES OR SUBSEQUENT OWNERS.

Survey of Property for
HARRY SPIEGEL

WESLEY HILLS, N.Y.
SCALE: 1" = 40'

ROCKLAND COUNTY
APRIL 22, 1986

REFERENCE: BEING LOT NO. 1, BLOCK "C" ON A MAP ENTITLED "DEVELOPMENT MAP OF PEARL ACRES, PROPERTY OF PEARL TOBIAS" FILED SEPTEMBER 11, 1958 IN BK. 59, PG. 29 AS MAP NO. 2594.

CERTIFIED AS ACCURATE & CORRECT TO:

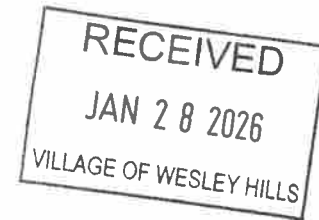
1. HARRY SPIEGEL.
2. TITLE USA INSURANCE CORPORATION OF NEW YORK.
3. DIME SAVINGS BANK OF NEW YORK, F. S. B. SUCCESSORS AND OR ASSIGNS.
4. GREATER METRO FINANCIAL SERVICES

Thomas A. Donovan
THOMAS A. DONOVAN, P.L.S.
WEST NYACK, N.Y.
N.Y.S. LIC. NO. 49046

TAX MAP DESIGNATION: SEC. 8, LOT 24-C-1

January 23, 2026

Planning Board
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952



Re: *Congregation Trisk Tolna, 33 Glenbrook Road, Wesley Hills, NY*

To the Wesley Hills Planning Board,

Congregation Trisk Tolna, is requesting a special use permit, including site plan approval, for a neighborhood gathering. The existing building is multi-use with a religious gathering space, a ritual mikvah bath house, and a single-family residence for the Congregation's Rabbi and family.

The congregation was established in 1976 and has continuously served the local Jewish community since its founding. The property has been in continuous use as both a synagogue and the Rabbi's residence since 1976, with no interruption in religious use.

Religious services initially began in the basement of the residence and were conducted on a small, neighborhood scale. As the congregation grew over time, the synagogue space was expanded to better accommodate regular prayer services and community needs. The expansion of the synagogue began in approximately December 2021 and was completed in May 2022, while maintaining the residential character of the property.

In further support of the congregation's religious needs, construction of a mikvah commenced in approximately June 2023 and was completed in May 2024. The mikvah serves the congregation and the immediate neighborhood and operates during limited, scheduled hours consistent with religious requirements. The building continues to function as a small, neighborhood-based place of worship, and residence for its rabbi.

In making its determination, the Planning Board should consider the following factors:

- A) *The existing building containing the neighborhood gathering shall comply with all requirements of all applicable building codes of New York State.*

The Congregation will comply with this requirement.

- B) *The maximum number of persons using the neighborhood gathering shall be the maximum number that can comply with the building codes of New York State, as applied to the building containing the neighborhood gathering.*

The Congregation will comply with this requirement. It should be noted that the Religious Gathering's main space has 63 men's seats and 30 women's seats. On average, the men's mikvah is used by 8-10 men per day and the women's mikvah is used by 1-2 woman on a typical Friday or Holiday evening. Please see the facilities' weekly schedule attached to this narrative letter.

- C) *The neighborhood gathering shall be located on a lot which contains at least the minimum front yard, side yard, and rear yard required for one-family detached dwellings in the district in which it is located and which*

complies with the maximum building height, impervious surface ratio, and front yard impervious surface ratio requirements for one-family detached dwellings in the district in which it is located.

This property is located within the Glenbrook Knolls subdivision, which was approved by the Town of Ramapo prior to the Village of Wesley Hills' incorporation. The subdivision map clearly allowed lot widths of 100' and lot areas of 28,000 square feet. Furthermore, there are numerous original 1960's houses and brand-new houses in this neighborhood with setbacks similar to those provided by the Congregation's existing structure.

As illustrated in the attached site plan Bulk Table, the project requires several variances all due to its location on an existing undersized and under width lot. The variances include Minimum Lot Area, Minimum Lot Width, Minimum Effective Square, Front Yard Setback, Side Yard Setback, and Total Side Yard Setback as stated in Section 230 and the Village's Table of Dimensional Requirements.

While this property is undersized for the typical R35 lot within the Village, it is not undersized for the typical lot within this (Glenwood Knolls) neighborhood. The Congregation, upon referral by the Planning Board to the Village's Zoning Board of Appeals, will apply for the required variances.

- D) Notwithstanding anything contained to the contrary in § 230-17 of this chapter, the maximum building coverage for a lot on which a neighborhood gathering is located shall be 0.15.*

The existing building coverage is compliant at 0.149 (where 0.15 is allowed).

- E) In its review of applications for certain neighborhood gatherings, the Planning Board may increase the maximum building height (feet) by a factor not exceeding 25%.*

The existing building's maximum height is compliant at 24.4' (where 25' is allowed) and therefore no increase is required.

- F) The Planning Board may require the provision of parking spaces in excess of the minimum number specified in § 230-31 if it determines that such additional spaces are necessary for the neighborhood gathering to be able to operate in a manner that is consistent with public safety and neighborhood character.*

The Congregation believes that due to its long-standing existence at this location, the fact that its congregants all live within close walking distance to the property, and that the building does not contain a dedicated social hall, the proposed number of 19 parking spaces (where 15 minimum are required) is sufficient.

- G) All required parking spaces must be provided on the lot on which the neighborhood gathering is located. Unless the neighborhood gathering has frontage and practical access exclusively on a major road, an application may be made to the Planning Board for relief from this requirement. Upon such application, the Planning Board may determine to allow parking in any of the following locations to count towards satisfaction of the parking requirement if it determines that it would be consistent with public safety and neighborhood character to do so:*

Per exception G) 4, the Congregation is proposing parking on other lots within the Village of Wesley Hills and within 100 yards of the periphery of the lot on which the neighborhood gathering is located, with the permission of the owners of such lots. Please see the proposed parking map included in the application submission.

- H) The Planning Board may impose such additional restrictions and conditions on the location of parking spaces, landscaping and/or fencing to screen the neighborhood gathering from adjacent residential properties, outdoor lighting, and other conditions of use of the neighborhood gathering as, in the judgment of the Board, are necessary for the neighborhood gathering to be able to operate in a manner that is consistent with public safety and neighborhood character.*

The Congregation will comply with any reasonable restrictions and conditions.

H.1) One nonilluminated sign showing the name and address of the neighborhood gathering shall be allowed. Such sign may not exceed five square feet in area if such sign is located on a wall of the building. Such sign may not exceed one square foot if such sign is located on a post set in the ground.

The Congregation will comply with this requirement.

H.2) The lot shall be required to comply with the maximum impervious surface ratio set forth in § 230-17 of this chapter, unless the applicant shall also obtain a special permit for increased impervious surface pursuant to Subsection L of this section.

The proposed maximum impervious ratio is compliant at 0.22 (where 0.25 is allowed).

H.3) For a neighborhood gathering located in a building that also contains a single-family residence, the Planning Board may waive the requirement that one indoor parking space shall be provided for the residence.

The building does contain a single-family residence and therefore the Congregation is requesting that the Planning Board waive the requirement for one indoor parking space. One outdoor parking space has been provided instead.

Thank you for your attention to this matter.

Sincerely,



PART I

Name of Municipality VILLAGE OF WESLEY HILLS

Date 1/23/26

Please check all that apply:

<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Municipal Board
<input type="checkbox"/> Zoning Board of Appeals* (Fill out Part II of this form.)	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Architectural Review
<input checked="" type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-preliminary/Sketch
<input checked="" type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input checked="" type="checkbox"/> Special Permit	<input type="checkbox"/> Final
<input type="checkbox"/> Zoning Code Amendment	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Variance	<input type="checkbox"/> Zone Change

Applicant: CONGREGATION TRISIC TOLWA Phone # _____

Address: 33 GLENBROOK RD MONSEY NY 10952
Street Name & Number (Post Office)

Project Name: CONG. TRISIC TOLWA NEIGHBORHOOD GATHERING + MIKVAH.

Tax Map Lot No. 41.10-2-24 Map Date _____

Current Zoning R-35

Location: On the NORTH side of GLENBROOK ROAD,
400 feet WEST of MOCCASIN PLACE in the
town of RAMAPO hamlet/village of WESLEY HILLS

Acreage of Parcel 28,631 SF Zoning District R-35

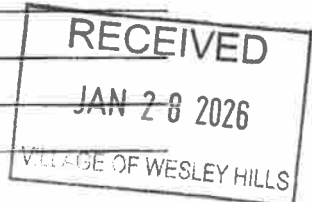
School District EAST RAMAPO Postal District MONSEY

Fire District MONSEY Ambulance District SPRING HILL EMS

Water District VEDLIA Sewer District RCSD # 5

Project Description: (If additional space required, please attach a narrative summary.)

SEE ATTACHED NARRATIVE LETTER



If subdivision: NA

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ___ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Total size of building(s) in square feet 4,275 SF
- 2) Proposed addition _____
- 3) Number of dwelling units 1

If special permit, list special permit use and what the property will be used for.

NEIGHBORHOOD GATHERING - SLAVUE FAMILY DWELLING
HOUSE OF WORSHIP - MIKVAH

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area. _____

Are there streams on the site? If yes, please provide the names. _____

Are there wetlands on the site? If yes, please provide the names and type. _____

Project History: Has this project ever been reviewed before? YES

If so, provide a narrative, including the list case number, name, date, and the board you appeared before. PLANNING BOARD 2023

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

NONE

Property Owner: CDMG TRISTE TOLHA, INC. Phone # _____
 Address 33 GLENBROOK ROAD MORSEY NY 10952
Street Name & Number (Post Office) State Zip code

Engineer/Architect/Surveyor: PAUL GDANSKI Phone # 917-418-0999
 Address 3512 WHITTIER CT. MAHWATA NJ 07430
Street Name & Number (Post Office) State Zip code

Attorney: _____ Phone # _____
 Address _____
Street Name & Number (Post Office) State Zip code

Contact Person: TODD ROSENBLUM Phone # 845-364-0337
 Address 221 QUAKER RD POMONA NY 10970
Street Name & Number (Post Office) State Zip code

VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

AFFIDAVIT OF OWNERSHIP

STATE OF NEW YORK }
COUNTY OF ROCKLAND } SS:
VILLAGE OF WESLEY HILLS }

BENA GROSS BERGER being duly sworn, deposes and

says that he/she resides at _____

CONG. TRISK TOLNA INC IS THE

in the County of Rockland, State of New York; that he/she is the owner in

fee of all that certain lot, piece or parcel of land situated, lying and being

in the Village of Wesley Hills, and designated on the Town of Ramapo

Map as Section No. 41.10-2-24 Lot No. _____ and that he/she hereby

authorizes the attached application to be submitted in his/her behalf and

that the statements of fact contained in said application are true.

The applicant is the (owner) (contract vendee) of the said property.

AGENT OF
Owner: BENA GROSS BERGER

Address: 33 GLENBROOK RD

MONSIEY NY 10952

X [Signature]

Sworn to before me this

22 day of January 2026

[Signature]
Notary Public

BENJAMIN KOHN
Notary Public, State of New Jersey
My Commission Expires May 30, 2029

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 K, L, M, AND N.

- | | |
|--|---|
| <input type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> County/State Land or Right-of-Way | <input type="checkbox"/> County Stream |
| <input type="checkbox"/> Municipal Boundary | <input type="checkbox"/> County Facility |

NONE

List name(s) of facility checked above. _____

Location of Parcel(s) _____

Referral Agencies: (Please check with the Village Office to make sure that the appropriate agencies, as needed, receive copies of your application and plans for their review.)

- | | |
|--|--|
| <input type="checkbox"/> RC Highway Department | <input type="checkbox"/> Town of Ramapo Dept. of Public Works |
| <input type="checkbox"/> RC Drainage Agency | <input type="checkbox"/> RC Dept. of Planning |
| <input type="checkbox"/> RC Soil and Water Cons. Dist. | <input type="checkbox"/> RC Dept. of Environmental Health |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> RC Sewer District #1 | <input type="checkbox"/> Town of Ramapo Building Dept. |
| <input type="checkbox"/> Rockland County 911 | |

Adjacent Municipality _____

(AS APPLICABLE)

TO ALL APPLICANTS - YOU MUST SEND A COPY OF APPLICATIONS AND PLANS TO:

Regional Manager
Orange and Rockland
75 West Route 59
Spring Valley, NY 10977

I have informed the above checked agencies and Orange and Rockland on _____.

BEN GROSS BERGER X

Signature

Date

Applicant's Signature and Certification

State of New York)
County of Rockland) SS.:
Town/Village of WESLEY HILLS)

I, BEN GROSSBERGER, hereby depose and say that all the above statements contained in the papers submitted herewith are true.

Mailing Address

BEN GROSSBERGER
COUG TRISK TOLMA
33 GLENBROOK RD
MORSEY WAY 10952

X [Signature]

SWORN to before this
_____ day of _____, 20_____

Notary Public

Owner/Applicant's Consent Form to Visit Property

I, BEN GROSSBERGER, owner/applicant of the property described in application submitted to the town/village board, planning board, zoning board of appeals, and/or supporting staff, do hereby give permission to members of said boards and/or supporting staff to visit the property in question for the purposes incidental to the within application at a reasonable time during the day and upon reasonable notice to the owner or tenant in possession.

X [Signature]

Owner/Applicant

SWORN to before this
22 day of January, 2026

[Signature]
Notary Public



Affidavit of Ownership/Owner's Consent

State of New York)
County of Rockland) SS.: WESLEY HILLS
Town/Village of _____

I, BEN GROSSBERGER being duly sworn, hereby
depose and say that I reside at: COMG. TRISK TOLWA

in the county of ROCKLAND in the state of NEW YORK

I am the (* AGENT - OPERATIONS MANAGER) owner in fee simple of premises located at:
33 GLENBROOK RD

described in a certain deed of said premises recorded in the Rockland County Clerk's
Office in Liber _____ of conveyances, page _____.

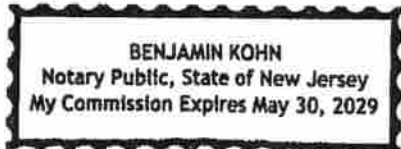
Said premises have been in my/its possession since _____. Said premises are
also known and designated on the Town of RAMAPO

Tax Map Lot - No. 41.10-2-24 Map Date _____
Current Zoning R-35

I hereby authorize the within application on my behalf, and that the statements of fact
contained in said application are true, and agree to be bound by the determination of the
board. Also, I do hereby give permission to the Village of Wesley Hills, its agents,
servants and employees to enter upon the above described property solely for the
purposes incidental to the within application at reasonable times upon reasonable notice
to the owner or tenant in possession.

Owner BEN GROSSBERGER
Mailing Address COMG. TRISK TOLWA
33 GLENBROOK RD
MONSIEY, NY 10952
X. [Signature]

SWORN to before this
22 day of January, 2026
[Signature]
Notary Public



* If owner is a corporation, fill in the office held by deponent and name of corporation,
and provide a list of all directors, officers and stockholders owning more than 5% of
any class of stock.

Affidavit Pursuant to Section 809 of the General Municipal Law

State of New York)
County of Rockland) SS.: WESLEY HILLS
Town/Village of _____

I, BEN GROSSBERGER, being duly sworn, hereby depose and say that all the following statements and the statements contained in the papers submitted herewith are true and that the nature and extent of any interests set forth are disclosed to the extent that they are known to the applicant.

1. Print or type full name and post office address

BEN GROSSBERGER
COTY TRISK TOLNA
33 GLENBROOK RD
MORSEY, NY 10952

certifies that he is owner or agent of all that certain lot, piece or parcel of land and/or building described in this application and if not the owner that he has been duly and properly authorized to make this application and to assume responsibility for the owner in connection with this application for the relief below set forth:

2. To the PLANNING BOARD of the Town/Village of
WESLEY HILLS (Board, Commission or Agency), Rockland County, New York:

Application, petition or request is hereby submitted for:

- Variance or modification from the requirement of Section 230 ATTACHMENT #1;
- Special permit per the requirements of Section 230-26;
- Review and approval of proposed subdivision plat;
- Exemption from a plat or official map;
- An order to issue a certificate, permit or license;
- An amendment to the Zoning Ordinance or Official Map or change thereof;
- Other (explain) _____;

To permit construction, maintenance and use of A NEIGHBORHOOD GATHERING WITH SINGLE FAMILY DWELLING AND MIKVAH

3. Premises affected are in a R-35 zone and from the town of RAMAPO tax map, the property is know as:

Tax Map Lot - No. 41.10-2-24

4. There is no state officer, Rockland County Officer or employee or town/village officer or employee nor his or her spouse, brother, sister, parent, child or grandchild, or a spouse of any of these relatives who is the applicant or who has an interest in the person, partnership or association making this application, petition or request, or is an officer, director, partner or employee of the applicant, or that such officer or employee, if this applicant is a corporation, legally or beneficially owns or controls any stock of the applicant in excess of 5% of the total of the corporation if its stock is listed on the New York or American Stock Exchanges; or is a member or partner of the applicant, if the applicant is an association or a partnership; nor that such town/village officer or employee nor any member of his family in any of the foregoing classes is a party to an agreement with the applicant, express or implied, whereby such officer or employee may receive any payment or other benefit, whether or not for service rendered, which is dependent or contingent upon the favorable approval of this application, petition or request.

5. That to the extent that the same is known to your applicant, and to the owner of the subject premises there is disclosed herewith the interest of the following officer or employee of the State of New York or the County of Rockland or of the Town/Village of WESLEY HILLS in the petition, request or application or in the property or subject matter to which it relates:
(if none, so state)

- a. Name and address of officer or employee NONE
- b. Nature of interest _____
- c. If stockholder, number of shares _____
- d. If officer or partner, nature of office and name of partnership _____
- e. If a spouse or brother, sister, parent, child, grandchild or the spouse of any of these blood relatives of such state, county or town/village officer or employee, state name and address of such relative and nature of relationship to officer and employee and nature and extent of office, interest or participation or association having an interest in such ownership or in any business entity sharing in such ownership. _____

f. In the event of corporate ownership: A list of all directors, officers and stockholders of each corporation owning more than five (5%) percent of any class of stock, must be attached, if any of these are officers or employees of the State of New York, or of the County of Rockland, or of the Town/Village of WESLEY HILLS.

I, BEA GROSSBERNER, do hereby depose and say that all the above statements and statements contained in the papers submitted herewith are true, knowing that a person who knowingly and intentionally violates this section is guilty of a misdemeanor.

Mailing Address

BEA GROSSBERNER
COLLEGE TRUST TOWN
33 GLENBROOK RD
MORSEY WAY 10952

SWORN to before this

22 day of JANUARY, 20 25

Benjamin Kohn

Notary Public

BENJAMIN KOHN
Notary Public, State of New Jersey

DISCLAIMER

APPLICANT TAKES FULL RESPONSIBILITY FOR RESEARCHING THE TAX MAP FOR THE LIST OF NAMES OF PROPERTY OWNERS ON THE ENCLOSED ***AFFIDAVIT OF MAILING LIST***, AND SUPPLYING THE NECESSARY AMOUNT OF LABELED STAMPED ENVELOPES.

THE APPLICANT'S ENVELOPES MUST COINCIDE WITH THE LIST. THE CLERK'S RESPONSIBILITY IS LIMITED TO CHECKING NAMES ON THE ENVELOPES AGAINST THE AFOREMENTIONED AFFIDAVIT BEFORE MAILING THEM.

RECEIPT OF THIS DISCLAIMER IS ACKNOWLEDGED

X 

APPLICANT

DATED

AFFIDAVIT

State of New York)
County of Rockland) SS.: WESTLEY HILLS
Town/Village of _____)

I, BEN GROSSBERGER being duly sworn deposes and says that
he is the applicant, agent or attorney for applicant, in the matter of the petition before the
_____ (board) in the town/village
of WESTLEY HILLS affecting property located at
33 GUENSBROOK RD, Rockland County, New York.

That the following are all of the owners of property 150 feet (distance) from the
premises as to which this application is being taken.

SECTION/BLOCK/LOT NAME ADDRESS

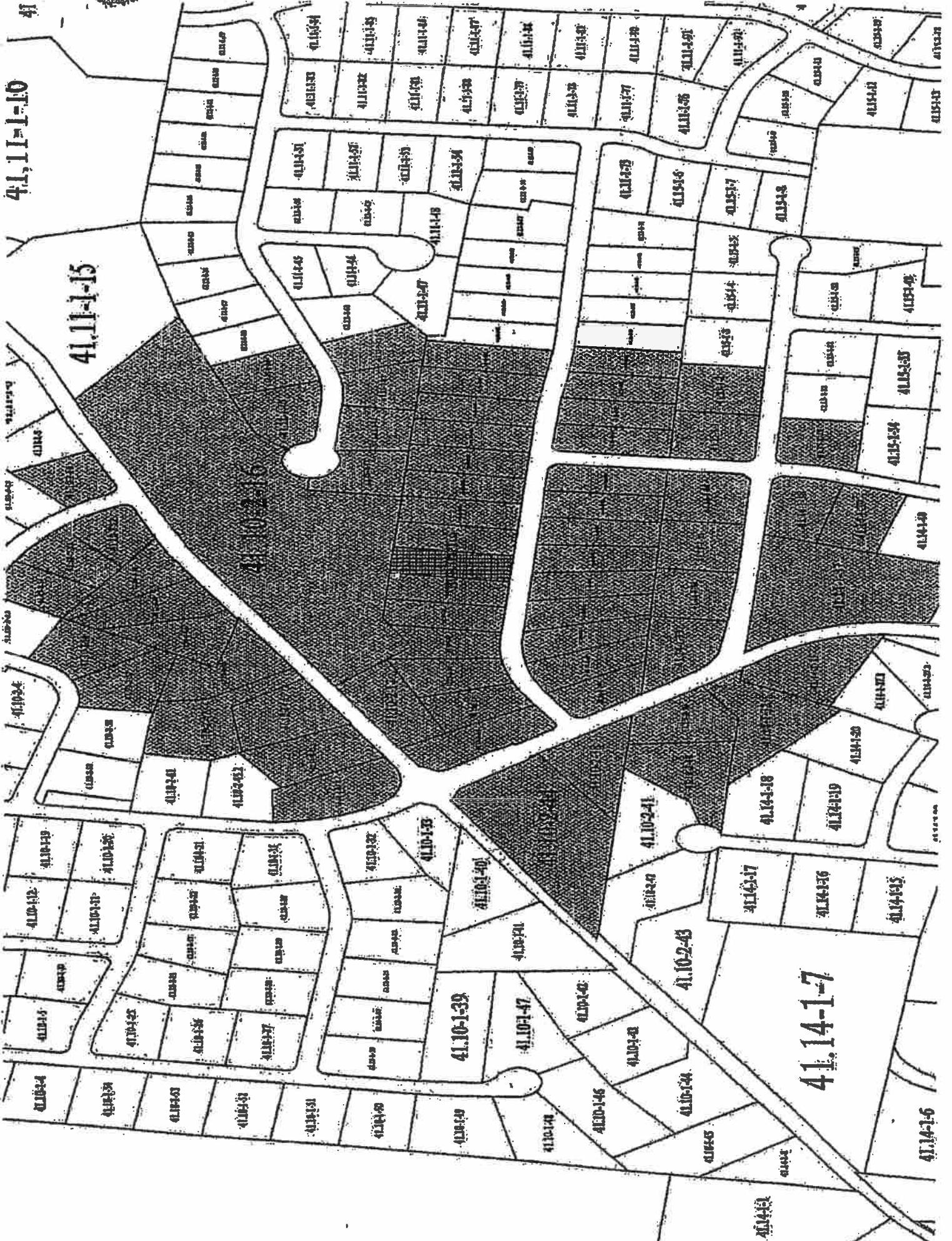
SEE ATTACHED LIST

SWORN to before this
22 day of January, 2026

Ben Kohn
Notary Public

X [Signature]

BENJAMIN KOHN
Notary Public, State of New Jersey
My Commission Expires May 30, 2029



11/41.11-1-69
NULMAN JEFFREY B & NINA S
14 GLENBROOK RD
MONSEY, NY 10952

11/41.11-1-65
REIFER IRA & MINDY
23 GLENBROOK RD
MONSEY, NY 10952

11/41.15-1-53
BERKOWITZ ALAN &
GROHMAN CHERYL RENA
7 HASTINGS RD
MONSEY, NY 10952

11/41.14-1-31
PRM MONSEY LLC
C/O RIEDER TZVI
5 SUHL LANE
MONSEY, NY 10952

11/41.15-1-1
EISENBERGER JEFFREY &
LAUREN
10 HASTINGS RD
MONSEY, NY 10952

11/41.14-1-34
LICHTENSTEIN DANIEL &
MELOHN ELKY
4 HASTINGS RD
MONSEY, NY 10952

11/41.10-2-40
GLENBROOK ROAD ASSOCIATES
LLC
#1
1985 CEDAR BRIDGE AVE
LAKEWOOD, NJ 08701

11/41.10-2-29
EINHORN MURIEL L/E
24 GLENBROOK RD
MONSEY, NY 10952

11/41.10-2-31
SCHUBERT SHAYA &
POLLAK DEBORAH
28 GLENBROOK RD
MONSEY, NY 10952

11/41.10-2-19
MONGZYK YEHOShUA
43 GLENBROOK RD
MONSEY, NY 10952

11/41.11-1-68
16GBBH LLC
16 GLENBROOK ROAD
MONSEY, NY 10952

11/41.10-2-28
GROSS NATHAN & HADINA
25 GLENBROOK RD
MONSEY, NY 10952

11/41.14-1-38
KRULL MISHPACHA TRUST
5 HASTINGS RD
MONSEY, NY 10952

11/41.14-1-32
FEDER ZEV & ELISHEVA
119 FORSHAY ROAD
MONSEY, NY 10952

11/41.14-1-36
SCHWEBEL AVROHOM M
8 HASTINGS RD
MONSEY, NY 10952

11/41.14-1-33
JACKSON DIANE
2 HASTINGS RD
MONSEY, NY 10952

11/41.11-1-66
KATZ ISRAEL & DASYA
20 GLENBROOK RD
MONSEY, NY 10952

11/41.10-2-30
SCHUBERT YM IRREVOCABLE
TRUST
1245 E 22ND ST
BROOKLYN, NY 11210

11/41.10-2-32
ABRAMOFF BARUCH &
BROCHA
30 GLENBROOK
WESLEY HILLS, NY 10952

11/41.11-1-63
VILINSKY RAPHAEL &
AHUVA
19 GLENBROOK RD
MONSEY, NY 10952

11/41.11-1-67
18 GBH LLC
581 N FRANKLIN TPK
RAMSEY, NJ 07446

11/41.14-1-39
COHEN EPHRAIM & RENA
5 MOCCASIN PL
MONSEY, NY 10952

11/41.14-1-37
ZAKARIN HERBERT &
HANNA
8 POWDER HORN DR
SUFFERN, NY 10901

11/41.15-1-2
GOLD ANDREW & SPIEGEL
MINDY
12 HASTINGS RD
MONSEY, NY 10952

11/41.14-1-35
ORZEL AVROHOM & MALKY
6 HASTINGS RD
MONSEY, NY 10952

11/41.10-2-39
SG FAMILY TRUST
121 FORSHAY RD
MONSEY, NY 10952

11/41.10-2-37
KLIBONOFF MARVIN & LEAH
TRUSTEES KLIBONOFF FAMILY
122 FORSHAY RD
MONSEY, NY 10952

11/41.10-2-38
123FM LLC
SUITE 107
21 GROVE STREET
SPRING VALLEY, NY 10977

11/41.11-1-62
EDELSTEIN ASHER &
SHARON STURM
17 GLENBROOK RD
MONSEY, NY 10952

11/41.11-1-64
YUROWITZ SAM T &
SHELLY
21 GLENBROOK RD
MONSEY, NY 10952

11/41.10-2-33
MORSEL AVI &
LICHTENSTEIN SARA
32 GLENBROOK ROAD
MONSEY, NY 10952

11/41.10-2-35
KRANZ CHAIM ZEV &
KAPPEL SUSAN
36 GLENBROOK RD
MONSEY, NY 10952

11/41.10-2-18
FRIEDMAN LASZLO
LEGACY TRUST
124 FORSHAY RD
MONSEY, NY 10952

11/41.10-2-25
ORZEL AVROHOM & MALKA
31 GLENBROOK RD
MONSEY, NY 10952

11/41.10-2-21
KARASH JOSEPH & AVIGAIL
39 GLENBROOK RD
MONSEY, NY 10952

11/41.11-1-42
RAUSMAN ROBERT & ADINA
RACHEL
22 AMSTERDAM AV
WESLEY HILLS, NY 10952

11/41.11-1-43
TEAA FSB
3637 SENTARA WAY
VIRGINA BEACH, VA 23452

11/41.10-2-45.3
ONE HUNDRED FIFTY SIX
WILLOW TREE ROAD LLC
2 WILDER ROAD
MONSEY, NY 10952

11/41.11-1-39
FRUCHTHANDLER BARUCH D.
& CHERYL
23 AMSTERDAM AVENUE
MONSEY, NY 10952

11/41.10-2-50
SPIRA ZEV
124 WILLOW TREE RD
MONSEY, NY 10952

11/41.10-2-36
MILSTEIN AARON & SARAH
38 GLENBROOK RD
MONSEY, NY 10952

11/41.10-2-44
SUEZ WATER NY
461 FROM RD
PARAMUS, NJ 07652

11/41.10-2-76
FRIEDMAN MEIR & YOCHAVED
29 GLENBROOK RD
MONSEY, NY 10952

11/41.10-2-24
CONGREGATION TRISK
TOLNA INC
33 GLENBROOK RD
MONSEY, NY 10952

11/41.10-2-23
CZEGLEDI RUTH & ANDRASI
72-37 136TH ST
FLUSHING, NY 11367

11/41.11-1-41
GOLDMAN ARON & NECHAMA
24 AMSTERDAM AVENUE
WESLEY HILLS, NY 10952

11/41.10-2-15
ZARETZKY HARVEY E +
GLORIA R
26 AMSTERDAM AV
MONSEY, NY 10952

11/41.10-2-46
156 WILLOW TREE ROAD LLC
2 WILDER ROAD
MONSEY, NY 10952

11/41.10-2-16
RAMAPO TOWN OF
35-406**
237 RT 59
SUFFERN, NY 10901

11/41.10-2-51
SALKIN STUART D + SHEILA
D
120 WILLOW TREE RD
MONSEY, NY 10952

11/41.10-2-34
MENASSE ENRIQUE & ELISSA
34 GLENBROOK RD
MONSEY, NY 10952

11/41.10-2-27
RAUSMAN NORMAN
20 HERSCHEL TERRACE
MONSEY, NY 10952

11/41.10-2-49
156 WILLOW TREE ROAD LLC
156 WILLOW TREE RD
WESLEY HILLS, NY 10952

11/41.10-2-20
JACOBS HERBERT LOUIS
& ELAINE
41 GLENBROOK RD
WESLEY HILLS, NY 10952

11/41.10-2-22
HIRSHFELD LEGACY TRUST
37 GLENBROOK RD
MONSEY, NY 10952

11/41.10-2-17
MONCZYK YEHOSHUA
43 GLENBROOK RD
MONSEY, NY 10952

11/41.10-2-45.1
LEVINSON SAM & MICHELLE
2 WILDER ROAD
MONSEY, NY 10952

11/41.11-1-40
MEIR MOSHE
25 AMSTERDAM AV
MONSEY, NY 10952

11/41.10-2-57
156 WILLOW TREE ROAD LLC
80 PARK PLAZA
NEWARK, NJ 07102

11/41.10-2-52
WESLEY HILLS ESTATE TRUST
1 DIKE DR
MONSEY, NY 10952

11/41.10-2-48
MOENCH FAMILY
IRREVOCABLE TRUST
C/O DIANE R HELLRIEGEL
229 GRAND STREET
NEW MILFORD, NJ 07646

11/41.10-2-53
BERKOWITZ STEVEN & SYLVIA
3 DIKE DR
MONSEY, NY 10952

11/41.10-2-47
GOLD CHANA
146A WILLOW TREE ROAD
WESLEY HILLS, NY 10952

11/41.10-2-14
GINSBERG MOSES & DIANE
2 DIKE DRIVE
MONSEY, NY 10952

11/41.10-2-56
CHAPMAN DAVID & STEPHANIE
7 CARTER LA
MONSEY, NY 10952

11/41.10-2-54
HERZKA MARK R &
ELIZABETH N
5 DIKE DR
MONSEY, NY 10952

Short Environmental Assessment Form

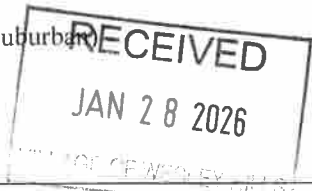
Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Congregation Trisk Tolna			
Project Location (describe, and attach a location map): 33 Glenbrook Road, Monsey, New York 10952			
Brief Description of Proposed Action: Applications to the Planning Board and Zoning Board of Appeals for a Neighborhood Gathering Special Use Permit, Site Plan approval, and Variances as illustrated in the submitted site plan dated 1/9/26.			
Name of Applicant or Sponsor: Todd Rosenblum		Telephone: 845-364-0337 E-Mail: todd@adaparch.com	
Address: 221 Quaker Road			
City/PO: Pomona		State: NY	Zip Code: 10970
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Planning Board and Zoning Board of Appeals Village of Wesley Hills		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		28,631 SF acres	
b. Total acreage to be physically disturbed?		2,500 SF acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		28,631 SF acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input checked="" type="checkbox"/> Parkland			



5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe:		
Existing on-site underground detention system located within the rear yard, existing catch basins on Glenbrook Road		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>Todd Rosenblum</u> Date: <u>1/23/26</u> Signature: _____ Title: <u>Architect</u>		

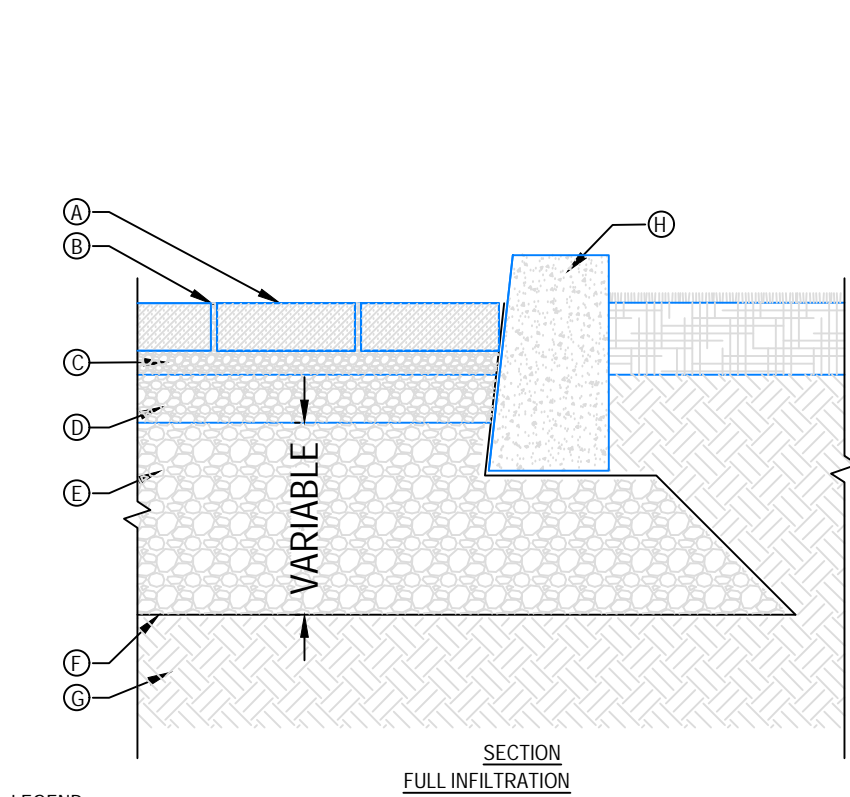
TAX LOT: SECTION 41.0, BLOCK 2, LOT 24

REFERENCES:

- ALL BOUNDARY & TOPOGRAPHY INFORMATION IS REFERENCED FROM A SURVEY PREPARED BY ANTHONY CELENTANO, P.L.S., DATED DECEMBER 1, 2024.

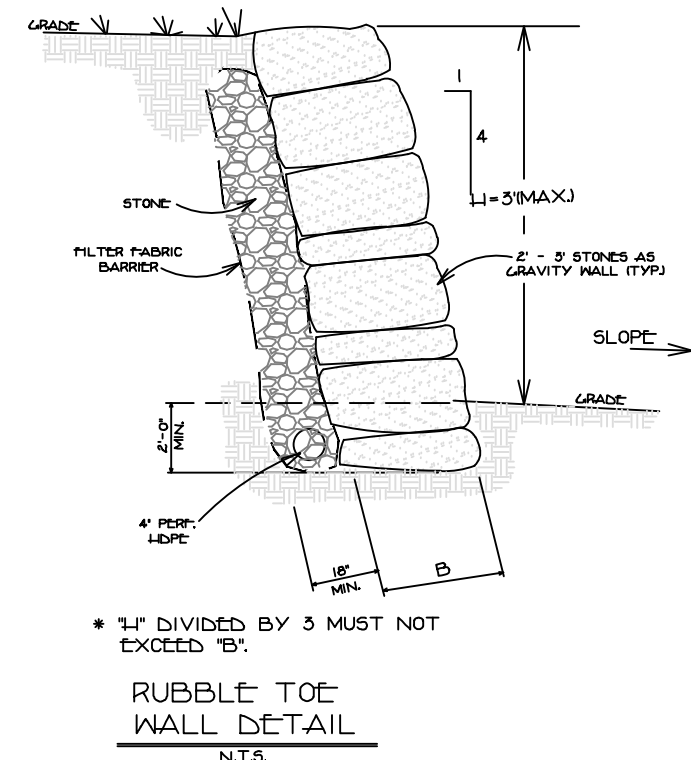
LEGEND

- EXISTING PROPERTY LINE
- SILT FENCE
- ELECTRIC
- GAS
- WATER
- UTILITY POLE
- SEWER MANHOLE
- SEWER MAIN
- SANITARY CLEANOUT
- CATCH BASIN
- DRAINAGE PIPE
- TREE

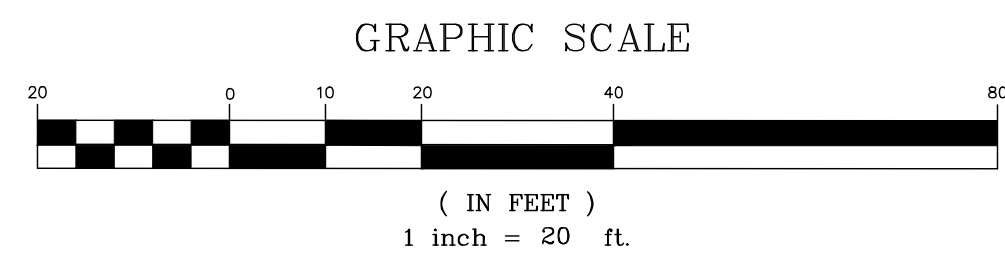


- LEGEND**
- PERMEABLE PAVEMENT FROM TECO-BLOC, 2.38" TO 3.1516" (60 TO 100 MM) THICK INFLO, BLU 60, MISTA RANDOM, PURE, VICTORIEN PERMEABLE, VILLAGIO OR VILLAGIO GRANDE CONFORMING TO ASTM C 936
 - JOINT FILLING MATERIAL NO. 8 (FOR INFLO, PURE AND VILLAGIO) OR NO. 9 STONE (FOR MISTA RANDOM, VICTORIEN PERMEABLE AND VILLAGIO GRANDE) CONFORMING TO ASTM D 448
 - BEDDING COURSE, 2" (50 MM) THICK NO. 8 STONE CONFORMING TO ASTM D 448
 - BASE COURSE, 12" (100 MM) THICK NO. 57 STONE CONFORMING TO ASTM D 448
 - CURBS COURSE, 8" THICK NO. 2 STONE CONFORMING TO ASTM D 448 (DEPENDING ON SOIL CONDITIONS)
 - GEOTEXTILE FILTER FABRIC MIRA1 HP370
 - SUBGRADE
 - EDGE RESTRAINT
- NOTES**
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWING.
 3. SOILS: CHESHIRE "B"

PERMEABLE PAVERS
PERMEABLE PAVERS (FULL INFILTRATION)



BUILDING HT CALCS:
BUILDING HEIGHT
AVG. EXIST. GRADE = 514.6 + 5.20.0 = 1034.6 = 517.3
522.8 - 517.3 = 5.5 + 16.5 FT TO EAVES = 22.0'
EXPOSED HEIGHT =
AVG. FINISHED GRADE REAR = 517.0 + 517.0 - 1034.0 / 2 = 517.0
HEIGHT TO GRADE = 522.84 - 517.0 = 5.84'
EXPOSED HT = 5.84' + 24.2 FT TO HIGHEST = 30.04'



MAXIMUM LOT COVERAGE:
EXISTING
EX. BUILDING = 4025 SF
EX. FRONT PORCH = 100 SF
EX. SILEO = 50 SF
EX. DRIVEWAY & WALK = 1550 SF
EX. REAR WALK = 250 SF
TOTAL = 6375 SF
DEV. COV. = 6375 / 28631 = 22.2%

BUILDING COVERAGE:
TOTAL = 4225 SF = 100 SF
4275 SF / 28631 SF = 0.149

FRONT YARD IMPERVIOUS AREA:
FRONT YARD AREA = 3250 SF
DRIVEWAY & STAIRS = 617 SF
FYIA = 617 SF / 3250 SF = 0.190

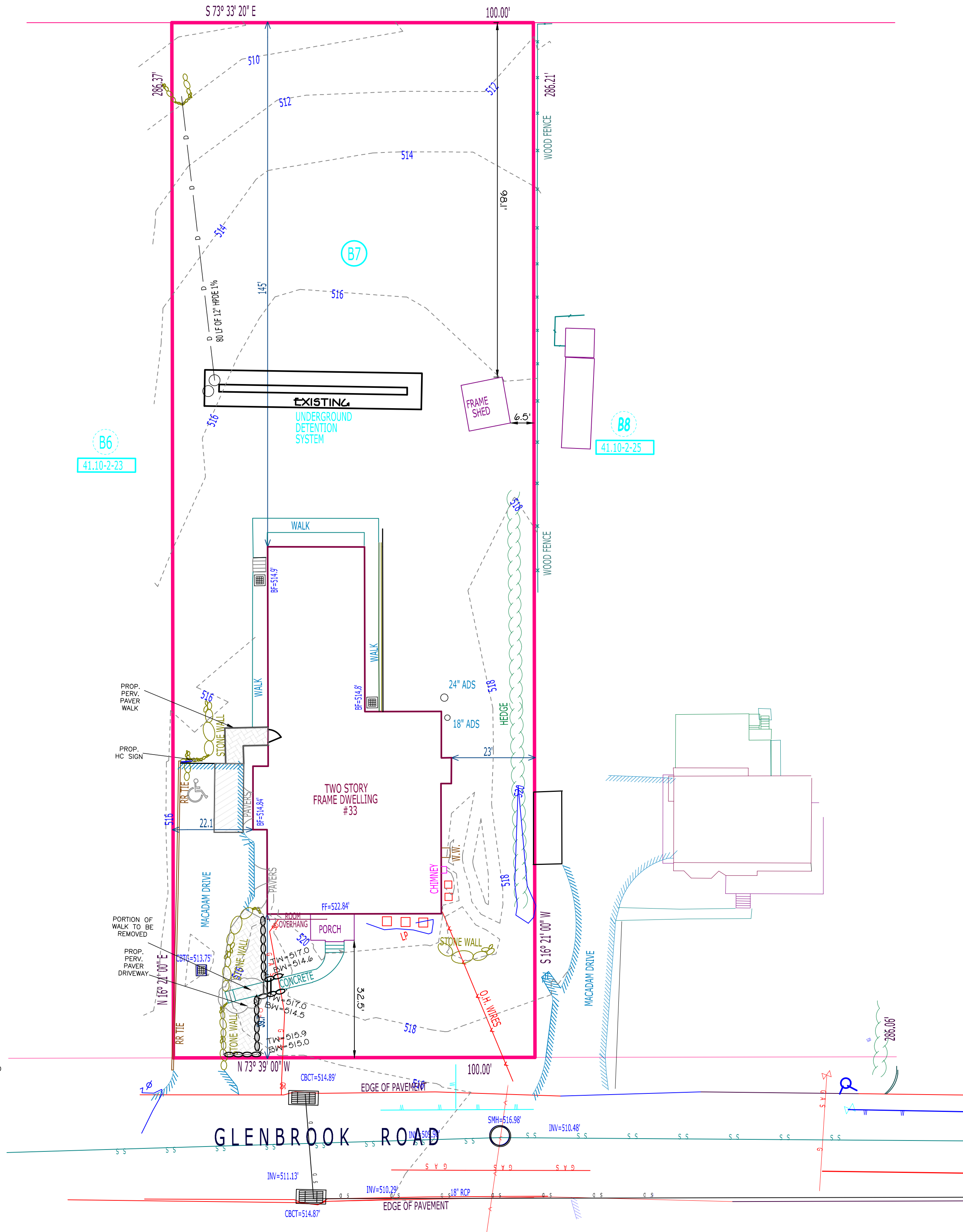
PARKING REQUIREMENTS:
NEIGHBORHOOD PLACE OF WORSHIP PARKING CALCULATION
REQUIRED 15 SPACES
PROVIDED 19

BULK REGULATIONS - ZONE R-35 NEIGHBORHOOD GATHERING PLACE

	MIN. LOT AREA (SF)	LOT FRONTAGE (FT)	LOT WIDTH (FT)	MIN. EFF. SQUARE SIDE	FRONT YARD (FT)	SIDE YARD (FT)	TOTAL SIDE YARD (FT)	REAR YARD (FT)	MAX. IMPERVIOUS SURFACE RATIO	MAX. FRONT YD. SURFACE RATIO	MAX. BLDG. COVERAGE	MAX. HEIGHT (FT)	MAX. EXPOSED BLDG. HT.	PARKING
REQUIRED	35,000	100	125	125	50	25	60	50	0.25	0.20	0.15	2.5/25	40	15
PROPOSED	28,631**	1000	100.0**	100.0**	32.5**	22.1**	45.1**	145.0	0.22	0.190	0.149	24.4	30.04'	19

** VARIANCE REQUIRED

WILLOW TREE PARK
TOWN OF RAMAPO
41.10-2-16



VICINITY MAP
SCALE = 1" = 500'

- NOTES:**
1. THIS IS MAP 410 BLOCK 2 LOT 24 AS SHOWN ON THE TOWN OF RAMAPO TAX MAP.
 2. AREA OF TRACT IN SQUARE FEET 28631 SQFT
 3. ZONE R-35
 4. PROPOSED USE: NEIGHBORHOOD GATHERING
 5. RECORD OWNER: CONGREGATION TRISK TOLNA INC. 33 GLENBROOK ROAD MONSEY, NY 10902
 6. APPLICANT: SAME
 7. FIRE DISTRICT: MONSEY FIRE DISTRICT
 8. SCHOOL DISTRICT: EAST RAMAPO CENTRAL SCHOOL DISTRICT
 9. WATER DISTRICT: VESLIE WATER
 10. WATER SUPPLY BY: VESLIE WATER
 11. SEWER DISTRICT: BENEFITTED AREA # 5
 12. DATUM: 1985 NAVD 83
 13. ALL UTILITIES SHALL BE UNDERGROUND. ELECTRIC SERVICE SHALL BE IN A CONDUIT OF NOT LESS THAN 2" DIAMETER.
 14. THERE ARE NO CONVEYANCES, EASEMENTS, RESTRICTIONS, EASEMENTS OR OTHER RESERVATIONS OF LAND RELATIVE TO THIS SITE, EXCEPT AS SHOWN ON SAID PLAN.
 15. NO SIGNS OTHER THAN THOSE SHOWN ON THIS DRAWING ARE PERMITTED WITH OUT PRIOR APPROVAL OF THE PLANNING BOARD. MEMBERS ARE TO BE ADVISED OF THIS CONDITION.
 16. NO BURNING OR BURIAL OF ANY MATERIALS PERMITTED ON SITE.
 17. PLANS ARE BASED ON FIELD ENGINEERING DATA AND CERTIFIED HERETO BY:

LICENSED PROFESSIONAL ENGINEER
DATE
18. THE UNDERGROUND OWNER AND/OR APPLICANT, AS A CONDITION OF APPROVAL OF THIS SITE PLAN, HEREBY AGREES TO COMPLETE THE WITHIN SITE PLAN AS DRAWN AND ALL IMPROVEMENTS SHOWN THEREON AS A CONDITION OF THE ISSUANCE OF A BUILDING PERMIT. THE APPLICANT/OWNER IS AWARE THAT NO CHANGES IN THIS PLAN MAY BE MADE UNLESS APPROVED BY THE PLANNING BOARD.

APPLICANT _____ DATE _____

OWNER _____ DATE _____
19. NO SIGNS OTHER THAN THOSE SHOWN ON THIS DRAWING ARE PERMITTED WITH OUT PRIOR APPROVAL OF THE PLANNING BOARD. MEMBERS ARE TO BE ADVISED OF THIS CONDITION.
20. WAIVER OF INDOOR PARKING REQUESTED FROM THE PLANNING BOARD.
21. WAIVER OF 25 FEET LANDSCAPE BUFFER REQUESTED FROM THE PLANNING BOARD.
22. BLINDS AND/OR SHADES WILL BE INSTALLED IN ALL WINDOWS ON THE EAST SIDE OF THE BUILDING.

DATE	REVISIONS
1/9/26	REVISE

PLANIMETRIC PLAN FOR PROPOSED NEIGHBORHOOD GATHERING CONGREGATION TRISK - TOLNA
33 GLENBROOK ROAD
41.10-2-24
LOCATED IN THE VILLAGE OF WESLEY HILLS ROCKLAND COUNTY, NEW YORK

PAUL GDANSKI P.E., PLLC
3512 WHITTIER COURT
MAHWAH, NEW JERSEY 07430
TEL: (917) 418-0999
EMAIL: PGSK@EARTH.LINK.NET

FILE # 33GLEN
DATE NOV. 16, 2025
SCALE 1" = 20'
SHEET 1 OF 1

UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS MAP NOT HAVING THE SEAL OF THE SURVEYOR OR ENGINEER SHALL NOT BE VALID.
CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
USE OF UNSEALED COPIES OF THIS DOCUMENT IN ANY COURT, FINANCIAL OR LAND TRANSACTION OR FILING WITH ANY AGENCY OR OFFICE IS AN UNAUTHORIZED ACT AND A VIOLATION OF FEDERAL COPYRIGHT LAW.

PAUL GDANSKI
REGISTERED PROFESSIONAL ENGINEER
07589 ©

UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND UTILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.



Glenn McCreedy, P.E., C.M.E.
Stuart Strow, P.E., C.F.M.

February 20, 2026

Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

Attn: Stephanie Caputo, Secretary to the Planning & Zoning Board

Re: 33 Glenbrook Road
Congregation Trisk-Tolna
Neighborhood Gathering
Tax Lot 41.10-2-24
CDW #WH25-609

Dear Ms. Caputo,

Our office has received and reviewed the submission to the Planning Board for the above referenced project:

- Planimetric Plan for Proposed Neighborhood Gathering Congregation Trisk-Tolna 33 Glenbrook Road, prepared by Paul Gdanski, PE, PLLC dated November 16, 2025, last revised on January 9, 2026.
- Proposed Neighborhood Gathering Parking Map for 33 Glenbrook Road, prepared by Paul Gdanski, PE, PLLC dated November 16, 2025, last revised on January 9, 2026.
- Narrative Summary prepared by Rosenblum Architecture, dated February 20, 2026.
- Short Environmental Assessment Form, signed by Todd Rosenblum, dated January 23, 2026.

The proposed project seeks Special Permit approval and site plan approval for the use of an existing structure as a Neighborhood Gathering. The use will include a residence, and it will also include small women's and men's mikvahs for use only by members of the congregation. The project proposes to provide parking on the existing driveways of other lots in the neighborhood that are within 300 feet of the project site. The parking provision is subject to approval by the Planning Board as part of the Special Permit application [§ 230-26-G-(1)-(g)].

The property is in the R-35 zone. Like other lots on Glenbrook Road, this lot is an existing non-conforming and undersized lot that was created as part of the Glenbrook Knolls Subdivision, before the incorporation of the Village of Wesley Hills. Thus, the yard and setback requirements for single family residences are generally reduced as compared to the current Village standards for the R-35 zone.

The Applicant is requesting a referral by the Planning Board to the Zoning Board of Appeals for the following variances:

- Minimum Lot Area (35,000 square feet is required, 28,631 square feet is provided)
- Minimum Lot Width (125' is required, 100' is provided)
- Minimum Effective Square, Side (125' is required, 100' is provided)
- Front Yard (50' is required, 32.5' is provided)
- Side Yard (25' is required, 22.1' is provided)
- Total Side Yard (60' is required, 45.1' is provided)

We have reviewed the plans and offer the following comments:

1. A notation to Section 230-26-G.(1)-(d) should be added to the bulk table to reference the allowable increase in maximum building coverage (0.15) for a lot on which a neighborhood gathering is located.
2. Maximum Building Height shown in the bulk table should be consistent with the Building Height calculations.
3. We note that this project requires site plan approval.

Please contact our office with any questions. We will continue our review upon receipt of updated/revised plan submissions and materials as noted above.

Sincerely,



Civil Design Works, LLC
Alena Guckian, P.E.
Project Engineer

W:\Projects\WH\2025\WH25-609 - 33 Glenbrook Drive\Correspondence\Review Letters\2026-2-20 - 33 Glenbrook.docx



Memorandum

To: Village of Wesley Hills Planning Board

From: William Brady, AICP, Principal Planner
Gerard Chesterman, Planner

Re: 33 Glenbrook Road – Special Permit and Site Plan
SBL# 41.10-2-24: R-35 Zoning District

Date: February 20, 2026

cc: Stephanie Caputo, Planning Board Secretary
Bruce Minsky, Esq., Planning Board Attorney
Eve Mancuso, P.E., Village Engineer
John Layne, Building Inspector
Todd Rosenblum, Architect for Applicant

Received and reviewed for this memorandum:

- Site Plan and Special Permit Application, Prepared and signed by Ben Grossberger, dated January 23, 2026
- Project Narrative, prepared and signed by Todd Rosenblum, dated January 23, 2026
- Short Environmental Assessment Form, prepared and signed by Todd Rosenblum, dated January 23, 2026
- Site Plan, prepared and signed by Paul Gdanski P.E., PLLC, dated November 16, 2025, last revised January 9, 2026
- Parking Plan, prepared and signed by Paul Gdanski P.E., PLLC, dated November 16, 2025, last revised January 9, 2026
-

Project Summary

The subject application is for a special permit and site plan approval for an existing neighborhood gathering place. The existing site currently includes a multi-use religious gathering space that contains a religious gathering space, a ritual mikvah bath house, and a single-family residence for the congregation's Rabbi and family.

The conversion of the previously existing residence to a minor neighborhood gathering house of worship was approved in September 2022. Following that approval, the addition for the mikvah space was completed in 2024. Special permit and site plan approval is required to legalize the mikvah space addition.

The application requires several variances from the ZBA including minimum lot area, lot width, minimum effective square side, front yard, side yard, and total side yard. The applicant notes that some or all of these variances are for pre-existing conditions as the original residence was constructed before the Village's incorporation.

The site is located at 33 Glenbrook Road, on SBL # 41.10-2-24, and is in the R-35 Zoning District.

Submission Comments

1. Per § 230-46, the following information was missing from the site plan and is required, please provide:
 - a. Plans drawn to scale at 1 inch = 30 feet or more, (submitted plans scaled at 1 inch = 20 feet)
 - b. A north arrow
 - c. Location and dimensions of wooded areas, and single trees with a diameter of eight inches or more measured three feet above the base of the trunk.
 - d. All significant existing features within 20 feet of all property lines shall also be shown.
 - e. Existing and proposed contours at a maximum vertical interval of two feet.
 - f. Detailed landscaping plan, including type, size and location of all materials used and plans for buffer screening and fencing.
 - g. Notes that specify prior variances or special permits obtained for the property.
2. Clearly state in the narrative and within the plans which elements of the proposal are pre-existing, such as the building, and proposed, such as driveway and pathway improvements.
3. § 230-46.G, Neighborhood Gatherings, the maximum number of persons using the neighborhood gathering space shall be the maximum number that can comply with the building codes of New York State, as applied to the building containing the neighborhood gathering. The application's narrative notes that the main gathering space has 63 men's seats and 30 women's seats, and that the mikvah is used on average by 8-10 men per day and 1-2 women on a typical Friday or Holiday evening. The Planning Board should consider whether to require floor plans of the existing gathering spaces for this current application.
4. Per Site Plan Approval §230-46.B.(11), a rendering and colored elevations showing the proposed existing structure are to be provided and should include specifications of the exterior materials to be used. As the building is already constructed, the Planning Board should determine if this is needed.

Zoning Comments

5. Per § 230-26 -G. (1) (g), the applicant has demonstrated that parking for the neighborhood gathering place will be available on 3 other lots with 100 yards of the project site. Per §230-29.A, please provide a satisfactory "legal instrument" from each neighbor, indicating their willingness to contribute parking and how many cars can each accommodate.
6. The application will require several variances from the ZBA. Such variances will include:
 - a. Minimum lot area, as the minimum requirement is 35,000 SF, and 28,631 SF is listed
 - b. Minimum lot width, as the minimum requirement is 125 FT, and 100 FT is listed

- c. Minimum effective square side, as the minimum requirement is 125 FT, and 100 FT is listed
 - d. Minimum front yard, as the minimum requirement is 50 FT, and 32.5 FT is listed
 - e. Minimum side yard, as the minimum requirement is 25 FT, and 22.1 FT is listed
 - f. Minimum total side yard, as the minimum requirement is 60 FT, and 45.1 FT is listed
7. There appears to be no setback along the existing and proposed driveway. The Planning Board should consider requiring the applicant offer to provide plantings on the adjoining neighbors lot to mitigate the use of the driveway for the neighborhood gathering.

Planning Comment

8. The applicant should discuss, and the Planning Board should consider, the existing and proposed parking arrangements on the nearby properties. The Parking Plan shows that cars may be stacked and blocked and be unable to move during emergency events. We defer to the Planning Board as to restrictions and conditions which need to be implemented to address this issue, and whether additional driveway areas are needed.

SEQRA/GML Comments

9. We recommend that the Planning Board classify this action as “Unlisted.” In a coordinated SEQRA review, the Zoning Board of Appeals cannot make any final decision on variance applications related to this project, until the Planning Board as Lead Agency makes a negative declaration of environmental significance.
10. With no County-owned facility within 500 FT of the site, this application is not required to be sent to Rockland County Planning Department for GML review.

Please let me know if you have any questions or comments regarding this review.

L.Y Contractor L.Y. Consulting Inc.

16 Squadron Blvd.

New City NY 10956

845-424-0244

December 18, 2025

Planning Board

Village of Wesley Hills

432 Route 306

Wesley Hills, NY 10952

Re: Schwartz Residence, 25 Onderdonk Road, Village of Wesley Hills, NY

Dear Planning Board Members,

I am the contractor for the above-referenced project and am currently in the process of obtaining the necessary permits to proceed. At this time, we are looking to move forward with wetlands relocation in preparation for the construction of a single-family residence.

We are writing to formally request Planning Board review and guidance as we proceed with the proposed wetlands relocation work, which is intended to be completed in advance of the future construction of the single-family home.

By way of background, the property was originally utilized as the "Pomona Heights Recreation Area" for the subdivision and included a community swimming pool, tennis court, and accessory structures. The property was later sold to Joshua Schwarz, who submitted applications and site plans to the Village of Wesley Hills Planning Board to modify the existing wetlands and construct a single-family residence, partially within the wetlands buffer. These applications were approved by the Planning Board under Resolution dated 06/24/2015 (prior owner approvals). Please see the attached documentation, which had an expiration period of 180 days.

Subsequently, under ownership by Abraham Schwartz, an application was submitted to the U.S. Army Corps of Engineers to perform the wetlands relocation work. The Army Corps confirmed that an individual permit was not required for this work (see attached correspondence).

At this time, the Schwartzes propose to proceed with the wetlands relocation work as a standalone project. This approach will allow the site to be properly prepared and help avoid delays once the residential construction phase begins.

We respectfully request the Planning Board's review of the property history and prior approvals and look forward to your guidance on proceeding with the wetlands relocation work consistent with those approvals.

Thank you for your time and consideration. We look forward to discussing this matter further.

Respectfully submitted,

A handwritten signature in black ink, appearing to be a stylized 'S' or similar character, enclosed within a large, irregular oval scribble.

VILLAGE OF WESLEY HILLS

432 Route 306

Wesley Hills, New York 10952

(845) 354-0400 Fax: (845) 354-4097

APPLICATION FOR WETLANDS PERMIT

NAME OF APPLICANT Abraham Schwartz (25 Onderdonk LLC) PHONE 347-415-1116

ADDRESS 14 Scenic Drive Suffern NY 10901

PROJECT NAME 25 Onderdonk Rd TAX LOT # 32.19-1-1

LOCATION 25 Onderdonk Road Suffern NY 10901

DESCRIBE THE SPECIFIC PURPOSE, NATURE AND SCOPE OF THE ACTIVITY PROPOSED.

Wetland Relocation in preparation to build a single-family home

(Attach a separate piece of paper if necessary)

"Permission is hereby granted to the Village of Wesley Hills, its agents, servants and employees to enter upon the above described property solely for the purposes incidental to the within application at reasonable times upon reasonable notice to the owner or tenant in possession."

SUBMIT THE FOLLOWING:

- 1) **A MAP SHOWING THE AREA OF WETLAND, WATER BODY OR WATERCOURSE DIRECTLY AFFECTED.**
- 2) **A TOPOGRAPHICAL AND PERIMETER SURVEY, HYDROLOGICAL COMPUTATION, ENGINEERING STUDIES AND OTHER FACTUAL OR SCIENTIFIC DATA AND REPORTS AS DEEMED NECESSARY BY THE PLANNING BOARD TO PERMIT IT TO ARRIVE AT A PROPER DETERMINATION.**
- 3) **FEE(S): \$100 for first 1,000 square feet of affected area, plus \$50 for each additional 1,000 square feet of affected area (as determined by Village Engineer), plus actual publication cost.**


SIGNATURE (APPLICANT OR AGENT)

11/7/25
DATE

PART I

Name of Municipality VILLAGE OF WESLEY HILLS Date 11/05/2027

Please check all that apply:

<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Municipal Board
<input type="checkbox"/> Zoning Board of Appeals* (Fill out Part II of this form.)	<input type="checkbox"/> Historical Board
	<input type="checkbox"/> Architectural Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Pre-preliminary/Sketch
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Final
<input checked="" type="checkbox"/> Special Permit	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Zoning Code Amendment	<input type="checkbox"/> Zone Change
<input type="checkbox"/> Variance	

Applicant: Abraha Schwartz (25 Onderdonk LLC) Phone # 347-415-1116

Address: 14 Scenic Drive Suffern NY 10901

Street Name & Number (Post Office)

Project Name: 25 Onderdonk Road

Tax Map Lot No. 32.19-1-1 Map Date 08/07/1992

Current Zoning R35

Location: On the West side of Onderdonk,
380 feet Intersection of Cains Road in the
town of Ramapo hamlet/village of Wesly Hills.

Acreage of Parcel 1.955 Zoning District R35

School District East Ramapo Postal District 10901

Fire District Hillcrest Ambulance District S. #1

Water District Veolia Water Sewer District Ramapo

Project Description: (If additional space required, please attach a narrative summary.)

We are seeking approval from the planning board for relocation of the wetland and then the eventual construction of a single family home within 100ft of the wetland

If subdivision:

- 1) Is any variance from the subdivision regulations required? N/A
- 2) Is any open space being offered? N/A If so, what amount? N/A
- 3) Is this a standard or average density subdivision? N/A

If site plan:

- 1) Total size of building(s) in square feet _____
- 2) Proposed addition _____
- 3) Number of dwelling units _____

If special permit, list special permit use and what the property will be used for.

Wetland Relocation and Creation

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area. N/A

Are there **streams** on the site? If yes, please provide the names. N/A

Are there **wetlands** on the site? If yes, please provide the names and type. Non-tidal wetlands.

Project History: Has this project ever been reviewed before? Yes

If so, provide a narrative, including the list case number, name, date, and the board you appeared before. Planning Board - 06-24-2015 Schwartz Wetland Permits Resolution 15-13

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

Property Owner: _____ Phone # _____

Address _____
Street Name & Number (Post Office) State Zip code

Engineer/Architect/Surveyor: _____ Phone # _____

Address _____
Street Name & Number (Post Office) State Zip code

Attorney: _____ Phone # _____

Address _____
Street Name & Number (Post Office) State Zip code

Contact Person: _____ Phone # _____

Address _____
Street Name & Number (Post Office) State Zip code

VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

AFFIDAVIT OF OWNERSHIP

STATE OF NEW YORK)
COUNTY OF ROCKLAND) SS:
VILLAGE OF WESLEY HILLS)

Abraham Schwartz (25 Onderdonk LLC) being duly sworn, deposes and
says that he/she resides at 14 Scenic Drive Suffern NY 10901

in the County of Rockland, State of New York; that he/she is the owner in
fee of all that certain lot, piece or parcel of land situated, lying and being
in the Village of Wesley Hills, and designated on the Town of Ramapo
Map as Section No. 32.19 Lot No. 1 and that he/she hereby
authorizes the attached application to be submitted in his/her behalf and
that the statements of fact contained in said application are true.

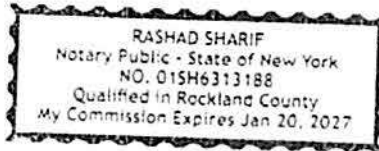
The applicant is the (owner) (contract vendee) of the said property.

Abraham Schwartz
x [Signature]

Owner: Abraham Schwartz (25 Onderdonk LLC)
Address: 25 Onderdonk Road
Wesley Hills NY 10901

Sworn to before me this

07 day of November 2025
Rashad Sharif
Notary Public



This property is within **500 feet** of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 K, L, M, AND N.

- | | |
|--|---|
| <input type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> County/State Land or Right-of-Way | <input type="checkbox"/> County Stream |
| <input checked="" type="checkbox"/> Municipal Boundary | <input type="checkbox"/> County Facility |

List name(s) of facility checked above. _____

Location of Parcel(s) _____

Referral Agencies: (Please check with the Village Office to make sure that the appropriate agencies, as needed, receive copies of your application and plans for their review.)

- | | |
|--|--|
| <input type="checkbox"/> RC Highway Department | <input type="checkbox"/> Town of Ramapo Dept. of Public Works |
| <input type="checkbox"/> RC Drainage Agency | <input type="checkbox"/> RC Dept. of Planning |
| <input type="checkbox"/> RC Soil and Water Cons. Dist. | <input type="checkbox"/> RC Dept. of Environmental Health |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> RC Sewer District #1 | <input type="checkbox"/> Town of Ramapo Building Dept. |
| <input type="checkbox"/> Rockland County 911 | |

Adjacent Municipality _____

(AS APPLICABLE)

TO ALL APPLICANTS - YOU MUST SEND A COPY OF APPLICATIONS AND PLANS TO:

Regional Manager
Orange and Rockland
75 West Route 59
Spring Valley, NY 10977

I have informed the above checked agencies and Orange and Rockland on _____



Signature

11/7/25

Date

Applicant's Signature and Certification

State of New York)
County of Rockland) SS.:
Town/Village of Wesley Hills)

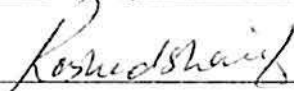
I, Abraham Schwartz (25 Onderdonk LLC), hereby depose and say that all the above statements contained in the papers submitted herewith are true.



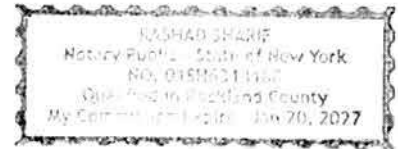
Mailing Address

14 Scenic Drive
Suffern NY
10901

SWORN to before this
07th day of November, 2025



Notary Public



Owner/Applicant's Consent Form to Visit Property

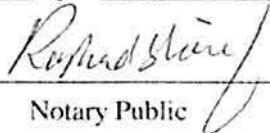
I, Abraham Schwartz (25 Onderdonk LLC), owner/applicant of the property described in application submitted to the town/village board, planning board, zoning board of appeals, and/or supporting staff, do hereby give permission to members of said boards and/or supporting staff to visit the property in question for the purposes incidental to the within application at a reasonable time during the day and upon reasonable notice to the owner or tenant in possession.



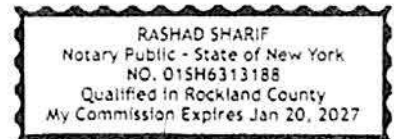
Abraham Schwartz (25 Onderdonk LLC)

Owner/Applicant

SWORN to before this
07 day of November, 2025



Notary Public



Affidavit Pursuant to Section 809 of the General Municipal Law

State of New York)
County of Rockland) SS.:
Town/Village of Wesley Hills)

I, Abraham Schwartz (25 Onderdonk LLC) _____, being duly sworn, hereby depose and say that all the following statements and the statements contained in the papers submitted herewith are true and that the nature and extent of any interests set forth are disclosed to the extent that they are known to the applicant.

1. Print or type full name and post office address

Abraham Schwartz (25 Onderdonk LLC) 14 Scenic Drive Suffern NY 10901

certifies that he is owner or agent of all that certain lot, piece or parcel of land and/or building described in this application and if not the owner that he has been duly and properly authorized to make this application and to assume responsibility for the owner in connection with this application for the relief below set forth:

2. To the Planning Board _____ of the Town/Village of
(Board, Commission or Agency)
Wesley Hills _____, Rockland County, New York;

Application, petition or request is hereby submitted for:

- () Variance or modification from the requirement of Section _____;
- () Special permit per the requirements of Section _____;
- () Review and approval of proposed subdivision plat;
- () Exemption from a plat or official map;
- () An order to issue a certificate, permit or license;
- () An amendment to the Zoning Ordinance or Official Map or change thereof;
- (x) Other (*explain*) _____;

To permit construction, maintenance and use of Wetland land relocatic _____
then the eventual construction of a single family home within 100ft of the wetland

3. Premises affected are in a R35 _____ zone and from the town of
Ramapo _____ tax map, the property is know as:

Tax Map Lot - No. 32.19-1-1 _____

4. There is no state officer, Rockland County Officer or employee or town/village officer or employee nor his or her spouse, brother, sister, parent, child or grandchild, or a spouse of any of these relatives who is the applicant or who has an interest in the person, partnership or association making this application, petition or request, or is an officer, director, partner or employee of the applicant, or that such officer or employee, if this applicant is a corporation, legally or beneficially owns or controls any stock of the applicant in excess of 5% of the total of the corporation if its stock is listed on the New York or American Stock Exchanges; or is a member or partner of the applicant, if the applicant is an association or a partnership; nor that such town/village officer or employee nor any member of his family in any of the foregoing classes is a party to an agreement with the applicant, express or implied, whereby such officer or employee may receive any payment or other benefit, whether or not for service rendered, which is dependent or contingent upon the favorable approval of this application, petition or request.

5. That to the extent that the same is known to your applicant, and to the owner of the subject premises **there is disclosed herewith** the interest of the following officer or employee of the State of New York or the County of Rockland or of the Town/Village of Wesley Hills in the petition, request or application or in the property or subject matter to which it relates:
(if none, so state)

- a. Name and address of officer or employee None
- b. Nature of interest None
- c. If stockholder, number of shares None
- d. If officer or partner, nature of office and name of partnership None
- e. If a spouse or brother, sister, parent, child, grandchild or the spouse of any of these blood relatives of such state, county or town/village officer or employee, state name and address of such relative and nature of relationship to officer and employee and nature and extent of office, interest or participation or association having an interest in such ownership or in any business entity sharing in such ownership. None

f. In the event of corporate ownership: A list of all directors, officers and stockholders of each corporation owning more than five (5%) percent of any class of stock, must be attached, if any of these are officers or employees of the State of New York, or of the County of Rockland, or of the Town/Village of Wesley Hills.

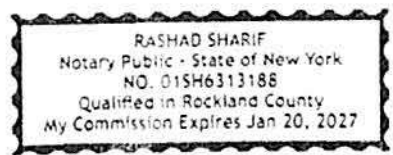
I, Abraham Schwartz (25 Onderdonk LLC), do hereby depose and say that all the above statements and statements contained in the papers submitted herewith are true, knowing that a person who knowingly and intentionally violates this section is guilty of a misdemeanor.

Mailing Address

Abraham Schwartz
14 Scenic Drive
Suffern NY 10901

SWORN to before this

07 day of November, 2025
Rashad Sharif
Notary Public



DISCLAIMER

APPLICANT TAKES FULL RESPONSIBILITY FOR RESEARCHING THE TAX MAP FOR THE LIST OF NAMES OF PROPERTY OWNERS ON THE ENCLOSED ***AFFIDAVIT OF MAILING LIST***, AND SUPPLYING THE NECESSARY AMOUNT OF LABELED STAMPED ENVELOPES.

THE APPLICANT'S ENVELOPES MUST COINCIDE WITH THE LIST. THE CLERK'S RESPONSIBILITY IS LIMITED TO CHECKING NAMES ON THE ENVELOPES AGAINST THE AFOREMENTIONED AFFIDAVIT BEFORE MAILING THEM.

RECEIPT OF THIS DISCLAIMER IS ACKNOWLEDGED


APPLICANT

11/2/25
DATED

AFFIDAVIT

State of New York)
County of Rockland) SS.:
Town/Village of Wesley Hills)

I, Abraham Schwartz (25 Onderdonk LLC) being duly sworn deposes and says that
he is the applicant, agent or attorney for applicant, in the matter of the petition before the
Planning Board (board) in the town/village
of Wesley Hills affecting property located at
25 Onderdonk Road Suffern NY 10901, Rockland County, New York.

That the following are all of the owners of property feet (distance) from the
premises as to which this application is being taken.

SECTION/BLOCK/LOT NAME ADDRESS

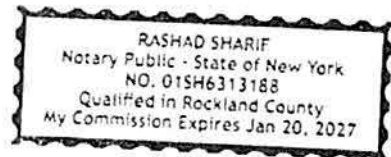
SEE ATTACHED LIST

Abraham Schwartz Clerk

SWORN to before this

07 day of November, 2025

Rashad Sharif
Notary Public



VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

AFFIDAVIT OF POSTING

STATE OF NEW YORK }
COUNTY OF ROCKLAND } SS:
VILLAGE OF WESLEY HILLS }

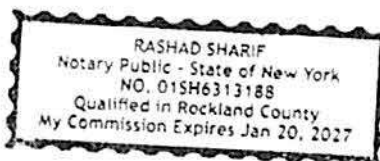
Abraham Schwartz (25 Onderdonk LLC) being duly sworn, deposes and says that he/she is the applicant in the matter of an application before the Village of Wesley Hills Planning Board affecting property located at 25 Onderdonk Road, Wesley Hills, Town of Ramapo, Rockland County, New York.

That on the 7th day of November 2025 he/she posted the posters provided by the Planning Board of the Village of Wesley Hills giving notice of the hearing on this application in a conspicuous place visible from every street along the frontage of the plot affected by this application.

Abraham Schwartz
Signature of Applicant

Sworn to before me this

07 day of November 2025
Rashad Sharif
Notary Public



AS APPLICABLE, COMPLETE THE FOLLOWING:

- 1) SHORT ENVIRONMENTAL ASSESSMENT FORM
- 2) FULL ENVIRONMENTAL ASSESSMENT FORM

For access to the above State Environmental Quality Review forms:

<http://www.dec.ny.gov/permits/6191.html>



432 Route 306
Wesley Hills, N.Y. 10952-1221
Phone 845-354-0400 FAX 845-354-4097 www.wesleyhills.org

Village of Wesley Hills Property Owner Registration Form

Property Address: 25 Onderdonk Road Suffern NY 10901

Property Corporation or Partnership Name: 25 Onderdonk LLC

Property Owner's Name: Abraham Schwartz

Property Owner's Address: 14 Scenic Drive Suffern NY 10901

Property Owner's Phone Number: 347-415-1116

Property Owner's Email Address: Mail@avischwartz.com

If there is an individual designated and authorized to act on behalf of the owner in matters concerning the management and operation of the property of the owner, please provide contact information below:

Please mail/fax or email this completed form to:

Village of Wesley Hills
432 Route 306
Wesley Hills, NY 10952
(845) 354-4097 fax
villageclerk@wesleyhills.org

Mayor: Marshall Katz Deputy Mayor: Milton Schwartz
Trustees: Yisroel Cherns, Joseph Mause, Tova Krull
Village Clerk-Treasurer: Camille Guido-Downey Village Attorney: Benjamin Selig, Bruce Minsky

Short Environmental Assessment Form


Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: 25 Onderdonk			
Project Location (describe, and attach a location map): 25 Onderdonk Road Suffern NY 10901			
Brief Description of Proposed Action: Relocation of wetland and single-family home construction			
Name of Applicant or Sponsor: Abraham Schwartz (25 Onderdonk LLC)		Telephone: 347-415-1116 E-Mail: Mail@Avischwartz.com	
Address: 14 Scenic Drive			
City/PO: Suffern		State: NY	Zip Code: 10901
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: 1) U.S. Army Corps of Engineers (USACE) 2) Village of Wesley Hills planning board. 3) NYDEC			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		1.955 acres	
b. Total acreage to be physically disturbed?		0.882 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.955 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): Wetland			
<input type="checkbox"/> Parkland			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input checked="" type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe: Roof leaders connect on site to the existing stream which drains to the existing CMP Under Beatrice Road		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>Abraham Schwartz (25 Onderdonk LLC)</u> Date: <u>11/09/2025</u> Signature: <u></u> Title: <u>Owner</u>		

11/32.19-2-53
 RATNER JOSHUA S & AMY R &
 RATNER ROBERT & CAMILLE
 48 POWDER HORN DR
 SUFFERN, NY 10901

09/32.15-1-26
 HOMES FOR THE EXCEPTIONAL
 II, INC
 C/O NYSARC
 210 ROUTE 303
 VALLEY COTTAGE, NY 10989

09/32.15-1-29
 TAPPER NISSON &
 RUBINSTEIN GOLDIE
 40 POWDER HORN DR
 SUFFERN, NY 10901

09/32.15-1-32
 SHEINKOPF ADINA & GOLOMB
 MICHAEL
 27 HIDDEN VALLEY DR
 SUFFERN, NY 10901

89/32.15-2-5
 SCENIC DRIVE QUALIFIED
 PERSONAL ESIDENCE TRUST
 30 SCENIC DR
 SUFFERN, NY 10901

09/32.15-1-37
 GILBERT DAVID S TRUST
 19 SCENIC DR
 SUFFERN, NY 10901

09/32.15-1-33
 POTASH MOSHE &
 EHRMAN CHANA
 25 HIDDEN VALLEY DR
 SUFFERN, NY 10901

11/32.19-2-52
 LIPOFF LAWRENCE & LAUREN
 46 POWDER HORN LN
 SUFFERN, NY 10901

09/32.15-1-27
 SPITZ JOEL M & MIRIAM
 18 SCENIC DRIVE
 SUFFERN, NY 10901

09/32.15-1-30
 DAHAN NEIL S &
 ALEXANDER-DAHAN HEDVA
 24 SCENIC DR
 SUFFERN, NY 10901

09/32.15-1-47
 FRIEDMAN MARK S &
 SCHNEEWIESS GITY
 16 HIDDEN VALLEY DR
 SUFFERN, NY 10901

09/32.15-1-38
 CYWIAK VIVIAN
 REVOCABLE TRUST
 1473 EAST 24TH ST
 BROOKLYN, NY 11210

09/32.15-1-36
 ROZNER PAULA & LESLIE
 21 SCENIC DR
 SUFFERN, NY 10901

09/32.15-1-48
 MASUD SAJID & PAULA
 18 HIDDEN VALLEY
 SUFFERN, NY 10901

11/32.19-2-51
 SHAPIRO HADASSAH
 44 POWDER HORN DR
 SUFFERN, NY 10901

09/32.15-1-28
 ERBLICH YOSEF & ESTHER
 KAGAN
 20 SCENIC DR
 SUFFERN, NY 10901

09/32.15-1-31
 SILVERBERG YEHOASHUA &
 DEBRA
 26 SCENIC DR
 SUFFERN, NY 10901

89/32.15-2-6
 MERMELSTEIN JOSHUA &
 BETH S
 28 SCENIC DR
 SUFFERN, NY 10901

09/32.15-1-35
 POLLACK ESTEE
 23 SCENIC DR
 SUFFERN, NY 10901

09/32.15-1-34
 HAZELEY HAROLD & NANETTE
 25 SCENIC DRIVE
 SUFFERN, NY 10901

09/32.15-1-49
HALPERT ZVI & SCHILLER
YOCHAVED
23 HIDDEN VALLEY DR
SUFFERN, NY 10901

11/32.19-1-49
HALPERT SHMUEL & AVIVA
2 CAINS RD
SUFFERN, NY 10901

11/32.19-1-41
MANN ELIEZER M &
BAKER ZEHAVA
14 BUENA VISTA ROAD
SUFFERN, NY 10901

11/32.19-1-44
ZOLDAN DAVID
65 CARTERET ST
WEST ORANGE, NJ 07052

11/32.19-1-47
WEG LEGACY TRUST
26 BUENA VISTA RD
SUFFERN, NY 10901

11/32.19-1-24
SOSOVER MOSHE
6654 SELFRIDGE ST
FOREST HILLS, NY 11375

11/32.19-1-22
WEISSBERG BELINDA
23 BUENA VISTA RD
SUFFERN, NY 10901

11/32.19-1-19
HEFFLER MARK & MARY
14 ONDERDONK RD
SUFFERN, NY 10901

11/32.19-2-56
HURWITZ CHAYA BRACHA
43 POWDERHORN DR
WESLEY HILLS, NY 10977

11/32.19-1-3
KAUFMAN ELIYAHU & BINA
19 ONDERDONK RD
SUFFERN, NY 10901

11/32.19-1-61
SANDOVAL PABLO & YESVELI
ROXANNA
5 CAINS RD
SUFFERN, NY 10901

11/32.19-1-48
ROZENBERG KENNETH
3 HUNTERS RUN
SUFFERN, NY 10901

11/32.19-1-42
SHTAYGRUD YEHUDAH &
FUCHS HINDY MIRIAM
1 CAINS RD
SUFFERN, NY 10901

11/32.19-1-45
KOHN SHOSHANA
22 BUENA VISTA RD
WESLEY HILLS, NY 10901

11/32.19-1-26
KAHANA PINCHAS & HALPERT
CHANA
15 BUENA VISTA RD
SUFFERN, NY 10901

11/32.19-1-23
YUNGEE LLC
22 BUENA VISTA RD
SUFFERN, NY 10901

11/32.19-1-18
OSEN JANET
12 ONDERDONK RD
SUFFERN, NY 10901

11/32.19-1-20
KERZNER JOSEPH A
& LICHTER RACHEL M
16 ONDERDONK RD
WESLEY HILLS, NY 10901

11/32.19-1-5
TANG KATHY &
ACOSTA HARRY
15 ONDERDONK RD
SUFFERN, NY 10901

11/32.19-1-2
ONDERDONK 21 LLC
C/O LAUFER ISSAC
120 STRAWBERRY LANE
NEWBURGH, NY 12550

11/32.19-1-62
ORLANSKY AVROHOM &
HOFFMAN SHIRA
7 CAINS RD
SUFFERN, NY 10901

11/32.19-2-4
DAHAN NEIL SHAI &
ALEXANDER HEDVA Y
24 SCENIC DR
SUFFERN, NY 10901

11/32.19-1-43
GOLDBERGER SHARON
18 BUENA VISTA RD
SUFFERN, NY 10901

11/32.19-1-66
GROSS FAIGY
1448 50TH ST
BROOKLYN, NY 11219

11/32.19-1-25
KLEIN JACK W & PAULINE
17 BUENA VISTA RD
SUFFERN, NY 10901

11/32.19-2-54
REICHMANN MARC & TOVAH
MIRYAM TZIPPORAH
47 POWDER HORN LN
SUFFERN, NY 10901

11/32.19-2-55
FLORANS MOSHE &
TSINMAN FEIGA
45 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-1-21
GUZELGUL MICHAEL &
TROPPEL NECHOMA GILA
53 EDISON COURT
MONSEY, NY 10952

11/32.19-1-4
BLISKO YAAKOV &
SPITZ ESTHER
17 ONDERDONK RD
SUFFERN, NY 10901

11/32.19-1-1
25 ONDERDONK LLC
527 MARCY AVE
BROOKLYN, NY 11206



LETTER OF NO JURISDICTION – FRESHWATER WETLANDS

01/27/2026

Abraham Schwartz

14 Scenic Dr, Suffern, NY, 10901, USA

Sent via email to: mail@avischwartz.com

Re: DEC Freshwater Wetlands Parcel Jurisdictional Determination for Parcel 39261132.19-1-1, Rockland County.

Dear Abraham Schwartz,

Based on the parcel(s) identified in your request, the New York State Department of Environmental Conservation (DEC) has determined that there are no DEC regulated freshwater wetlands and/or adjacent areas identified on the parcel(s) referenced above. Therefore, in accordance with Article 24 of the Environmental Conservation Law (ECL) and 6 NYCRR Part 663, no freshwater wetlands permit is required. Pursuant to ECL section 24-0703, this letter shall remain valid for a period of five years from the date it is issued (through 01/25/2031).

Please note that this determination pertains only to state-regulated, freshwater wetlands and regulated adjacent areas. DEC also regulates protected streams, tidal wetlands, coastal erosion hazard areas, and other important environmental resources. Work affecting those areas may also require DEC permits. More information on other DEC permit programs is available online at <https://dec.ny.gov/regulatory/permits-licenses/environmental-permits>.

In addition, please note that this letter does not relieve you of the responsibility of obtaining any other necessary permits or approvals from other local, state, or federal agencies.

If you have questions regarding this determination, please email FWWjurisdiction@dec.ny.gov.



February 11, 2026

Planning Board
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

Re: *Schwartz Residence, 25 Onderdonk Road, Village of Wesley Hills, NY*

Dear Planning Board Members,

My clients Avi and Ariella Schwartz are in the process of designing a new home including swimming pool and pool house for this property. Sparaco Engineering, who has a long history of working on this unique property, has been engaged to prepare the site plans for the project. Due to the existing wetlands on site, a Wetlands Permit and Site Plan Review by this board are required.

The property's original use was as the "Pomona Heights Recreation Area" for the Pomona Heights subdivision, containing the community swimming pool, tennis court, and accessory structures (all to be removed). Subsequently, the property was sold to Joshua Schwarz (no relation to current owner) who submitted site plans and applications to the Planning Board of Wesley Hills to modify the existing wetlands and construct a single-family home partially within the wetland's buffer. Mr. Schwarz's requests, including a Wetland Permit, were granted by the Planning Board, based upon site plans prepared by Sparaco, see attached site plans dated 12/5/15 and Planning Board Resolutions #15-12 and #15-13 (both documents attached to our application).

The scope of sitework, between the previously approved project in 2015, and the current proposal are very similar. The previously approved and currently proposed wetlands work is to relocate small portions of the existing wetlands and combine them with the largest existing wetland area, to create a usable building area for the house, pool, and pool house.

It should be noted that the area of disturbance is under one acre and therefore does not require a NYSDEC Stormwater Pollution Plan (SWPPP), please see the provided Drainage report by Sparaco and Youngblood, PLLC dated February 2, 2026. The report and site plans depict an underground drainage mitigation system that is required to mitigate the increase in impervious area.

The Schwartz's have obtained the required NYS DEC No Jurisdiction Waiver and a statement from the Army Core of Engineers that an individual permit is NOT required (both documents attached to our application).

I look forward to discussing this with you in greater detail at the upcoming Planning Board meeting.

Thank you for your attention to this matter,



PART I

Name of Municipality VILLAGE OF WESLEY HILLS Date 02/10/2026

Please check all that apply:

<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Municipal Board
<input type="checkbox"/> Zoning Board of Appeals* <i>(Fill out Part II of this form.)</i>	<input type="checkbox"/> Historical Board
	<input type="checkbox"/> Architectural Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Pre-preliminary/Sketch
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Preliminary
<input checked="" type="checkbox"/> Site Plan	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Zoning Code Amendment	<input type="checkbox"/> Zone Change
<input type="checkbox"/> Variance	

Applicant: Abraham Schwartz (25 Onderdonk LLC) Phone # 347-415-1116

Address: 14 Scenic Drive Suffern NY 10901

Street Name & Number (Post Office)

Project Name: 25 Onderdonk Road

Tax Map Lot No. 32.19-1-1 Map Date 08-07-1992

Current Zoning R50

Location: On the West side of Onderdonk,
380 feet intersection of Cains Road in the
town of Ramapo hamlet/village of Wesley Hills.

Acreage of Parcel 1.955 Zoning District R50

School District East Ramapo Postal District 10901

Fire District Hillcrest Ambulance District Spring Hill community Amb

Water District Veolia Water Sewer District RSCD #1

Project Description: *(If additional space required, please attach a narrative summary.)*

See attached Narrative letter

If subdivision:

- 1) Is any variance from the subdivision regulations required? No
- 2) Is any open space being offered? N/A If so, what amount? N/A
- 3) Is this a standard or average density subdivision? N/A

If site plan:

- 1) Total size of building(s) in square feet Refer to site plans
- 2) Proposed addition N/A
- 3) Number of dwelling units 1

If special permit, list special permit use and what the property will be used for.

A separate application was submitted for planning board
for a Wetland permit

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area. No

Are there streams on the site? If yes, please provide the names. No

Are there wetlands on the site? If yes, please provide the names and type. Non-Tidal Wetlands

Project History: Has this project ever been reviewed before? Yes

If so, provide a narrative, including the list case number, name, date, and the board you appeared before. Planning board - 06-24-2015 Schwartz wetland permits resolution 15-13
And 15-12

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

N/A

Property Owner: Abraham Schwartz Phone # 347-415-1116

Address 14 Scenic Drive Suffern NY 10901
Street Name & Number (Post Office) State Zip code

Engineer/Architect/Surveyor: Sparaco & Youngblood PLLC Phone # 845-782-8543

Address 18 North Main Street P.O. BOX 818 Harriman NY 10926
Street Name & Number (Post Office) State Zip code

Attorney: _____ Phone # _____

Address _____
Street Name & Number (Post Office) State Zip code

Contact Person: Expedition Group Inc Phone # 845-212-2040

Address 17 Sandybrook Drive Spring Valley NY 10977
Street Name & Number (Post Office) State Zip code

VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

AFFIDAVIT OF OWNERSHIP

STATE OF NEW YORK }
COUNTY OF ROCKLAND } SS:
VILLAGE OF WESLEY HILLS }

Abraham Schwartz (25 Onderdonk LLC) being duly sworn, deposes and
says that he/she resides at 14 Scenic Drive Suffern NY 10901

in the County of Rockland, State of New York; that he/she is the owner in
fee of all that certain lot, piece or parcel of land situated, lying and being
in the Village of Wesley Hills, and designated on the Town of Ramapo
Map as Section No. 32.19 Lot No. 1 and that he/she hereby
authorizes the attached application to be submitted in his/her behalf and
that the statements of fact contained in said application are true.

The applicant is the (owner) (contract vendee) of the said property.

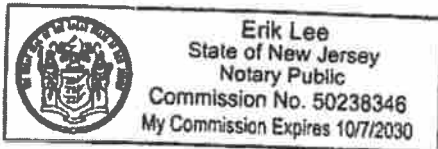
Sign 
Abraham Schwartz

Owner: Abraham Schwartz (25 Onderdonk LLC)
Address: 25 Onderdonk Road
Wesley Hills NY 10901

Sworn to before me this

12th day of February 2026


Notary Public



This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 K, L, M, AND N.

- | | |
|--|---|
| <input type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> County/State Land or Right-of-Way | <input type="checkbox"/> County Stream |
| <input checked="" type="checkbox"/> Municipal Boundary | <input type="checkbox"/> County Facility |

List name(s) of facility checked above. _____

Location of Parcel(s) _____

Referral Agencies: *(Please check with the Village Office to make sure that the appropriate agencies, as needed, receive copies of your application and plans for their review.)*

- | | |
|--|--|
| <input type="checkbox"/> RC Highway Department | <input type="checkbox"/> Town of Ramapo Dept. of Public Works |
| <input type="checkbox"/> RC Drainage Agency | <input type="checkbox"/> RC Dept. of Planning |
| <input type="checkbox"/> RC Soil and Water Cons. Dist. | <input type="checkbox"/> RC Dept. of Environmental Health |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> RC Sewer District #1 | <input type="checkbox"/> Town of Ramapo Building Dept. |
| <input type="checkbox"/> Rockland County 911 | |

Adjacent Municipality Town of Ramapo

(AS APPLICABLE)

TO ALL APPLICANTS - YOU MUST SEND A COPY OF APPLICATIONS AND PLANS TO:

Regional Manager
Orange and Rockland
75 West Route 59
Spring Valley, NY 10977

I have informed the above checked agencies and Orange and Rockland on _____.

Signature

Date

Applicant's Signature and Certification

State of New York)
County of Rockland) SS.:
Town/Village of Wesley Hills)

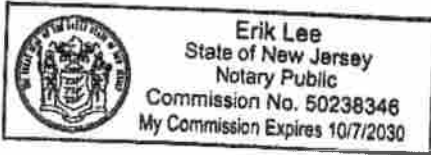
I, Abraham Schwartz (25 Onderdonk LLC), hereby depose and say that all the above statements contained in the papers submitted herewith are true.

Sign *Abraham Schwartz*
Abraham Schwartz

Mailing Address 14 Scenic Drive
Suffern NY 10901

SWORN to before this
12th day of February, 2026

Erik Lee
Notary Public



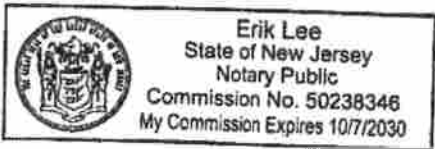
Owner/Applicant's Consent Form to Visit Property

I, Abraham Schwartz (25 Onderdonk LLC), owner/applicant of the property described in application submitted to the town/village board, planning board, zoning board of appeals, and/or supporting staff, do hereby give permission to members of said boards and/or supporting staff to visit the property in question for the purposes incidental to the within application at a reasonable time during the day and upon reasonable notice to the owner or tenant in possession.

Sign *Abraham Schwartz*
Owner/Applicant Abraham Schwartz

SWORN to before this
12th day of February, 2026

Erik Lee
Notary Public



Affidavit Pursuant to Section 809 of the General Municipal Law

State of New York)
County of Rockland) SS.:
Town/Village of Wesley Hills)

I, Abraham Schwartz (25 Onderdonk LLC), being duly sworn, hereby depose and say that all the following statements and the statements contained in the papers submitted herewith are true and that the nature and extent of any interests set forth are disclosed to the extent that they are known to the applicant.

1. Print or type full name and post office address
Abraham Schwartz (25 Onderdonk LLC) 14 Scenic Drive Suffern NY 10901

certifies that he is owner or agent of all that certain lot, piece or parcel of land and/or building described in this application and if not the owner that he has been duly and properly authorized to make this application and to assume responsibility for the owner in connection with this application for the relief below set forth:

2. To the Planning Board of the Town/Village of
Wesley Hills (Board, Commission or Agency), Rockland County, New York:

Application, petition or request is hereby submitted for:

- () Variance or modification from the requirement of Section _____;
- () Special permit per the requirements of Section _____;
- () Review and approval of proposed subdivision plat;
- () Exemption from a plat or official map;
- () An order to issue a certificate, permit or license;
- () An amendment to the Zoning Ordinance or Official Map or change thereof;
- () Other (explain) _____;

To permit construction, maintenance and use of Single family home with pool and cabana

3. Premises affected are in a R50 zone and from the town of
Ramapo tax map, the property is know as:
Tax Map Lot – No. 32.19-1-1

4. There is no state officer, Rockland County Officer or employee or town/village officer or employee nor his or her spouse, brother, sister, parent, child or grandchild, or a spouse of any of these relatives who is the applicant or who has an interest in the person, partnership or association making this application, petition or request, or is an officer, director, partner or employee of the applicant, or that such officer or employee, if this applicant is a corporation, legally or beneficially owns or controls any stock of the applicant in excess of 5% of the total of the corporation if its stock is listed on the New York or American Stock Exchanges; or is a member or partner of the applicant, if the applicant is an association or a partnership; nor that such town/village officer or employee nor any member of his family in any of the foregoing classes is a party to an agreement with the applicant, express or implied, whereby such officer or employee may receive any payment or other benefit, whether or not for service rendered, which is dependent or contingent upon the favorable approval of this application, petition or request.

5. That to the extent that the same is known to your applicant, and to the owner of the subject premises **there is disclosed herewith** the interest of the following officer or employee of the State of New York or the County of Rockland or of the Town/Village of Wesley Hills in the petition, request or application or in the property or subject matter to which it relates:
(if none, so state)

a. Name and address of officer or employee None

b. Nature of interest None

c. If stockholder, number of shares None

d. If officer or partner, nature of office and name of partnership None

e. If a spouse or brother, sister, parent, child, grandchild or the spouse of any of these blood relatives of such state, county or town/village officer or employee, state name and address of such relative and nature of relationship to officer and employee and nature and extent of office, interest or participation or association having an interest in such ownership or in any business entity sharing in such ownership. None

f. In the event of corporate ownership: A list of all directors, officers and stockholders of each corporation owning more than five (5%) percent of any class of stock, must be attached, if any of these are officers or employees of the State of New York, or of the County of Rockland, or of the Town/Village of Wesley Hills

I, Abraham Schwartz (25 Onderdonk LLC), do hereby depose and say that all the above statements and statements contained in the papers submitted herewith are true, knowing that a person who knowingly and intentionally violates this section is guilty of a misdemeanor.

Abraham Schwartz (25 Onderdonk LLC)

Mailing Address

14 Scenic Drive

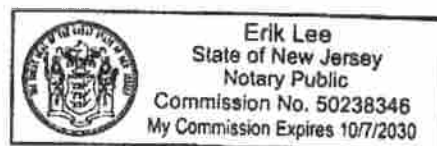
Suffern NY 10901

Sign *Abraham Schwartz*
Abraham Schwartz

SWORN to before this

12th day of February, 20 26

Erik Lee
Notary Public



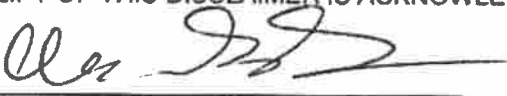
DISCLAIMER

APPLICANT TAKES FULL RESPONSIBILITY FOR RESEARCHING THE TAX MAP FOR THE LIST OF NAMES OF PROPERTY OWNERS ON THE ENCLOSED **AFFIDAVIT OF MAILING LIST**, AND SUPPLYING THE NECESSARY AMOUNT OF LABELED STAMPED ENVELOPES.

THE APPLICANT'S ENVELOPES MUST COINCIDE WITH THE LIST. THE CLERK'S RESPONSIBILITY IS LIMITED TO CHECKING NAMES ON THE ENVELOPES AGAINST THE AFOREMENTIONED AFFIDAVIT BEFORE MAILING THEM.

RECEIPT OF THIS DISCLAIMER IS ACKNOWLEDGED

Sign



APPLICANT Abraham Schwartz

x 2/12/26

DATED

VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

AFFIDAVIT OF POSTING

STATE OF NEW YORK }
COUNTY OF ROCKLAND } SS:
VILLAGE OF WESLEY HILLS }

Abraham Schwartz (25 Onderdonk LLC) being duly sworn, deposes and says that he/she is the applicant in the matter of an application before the Village of Wesley Hills Planning Board affecting property located at 25 Onderdonk Road, Wesley Hills, Town of Ramapo, Rockland County, New York.

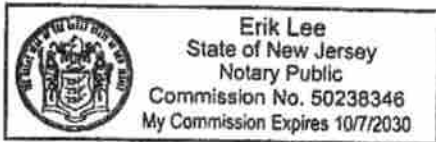
That on the 11th day of Feburary 2026 he/she posted the posters provided by the Planning Board of the Village of Wesley Hills giving notice of the hearing on this application in a conspicuous place visible from every street along the frontage of the plot affected by this application.


Signature of Applicant

Sworn to before me this

12th day of February, 2026


Notary Public



AS APPLICABLE, COMPLETE THE FOLLOWING:

- 1) SHORT ENVIRONMENTAL ASSESSMENT FORM
- 2) FULL ENVIRONMENTAL ASSESSMENT FORM

For access to the above State Environmental Quality Review forms:

<http://www.dec.ny.gov/permits/6191.html>

Short Environmental Assessment Form


Part 1 - Project Information

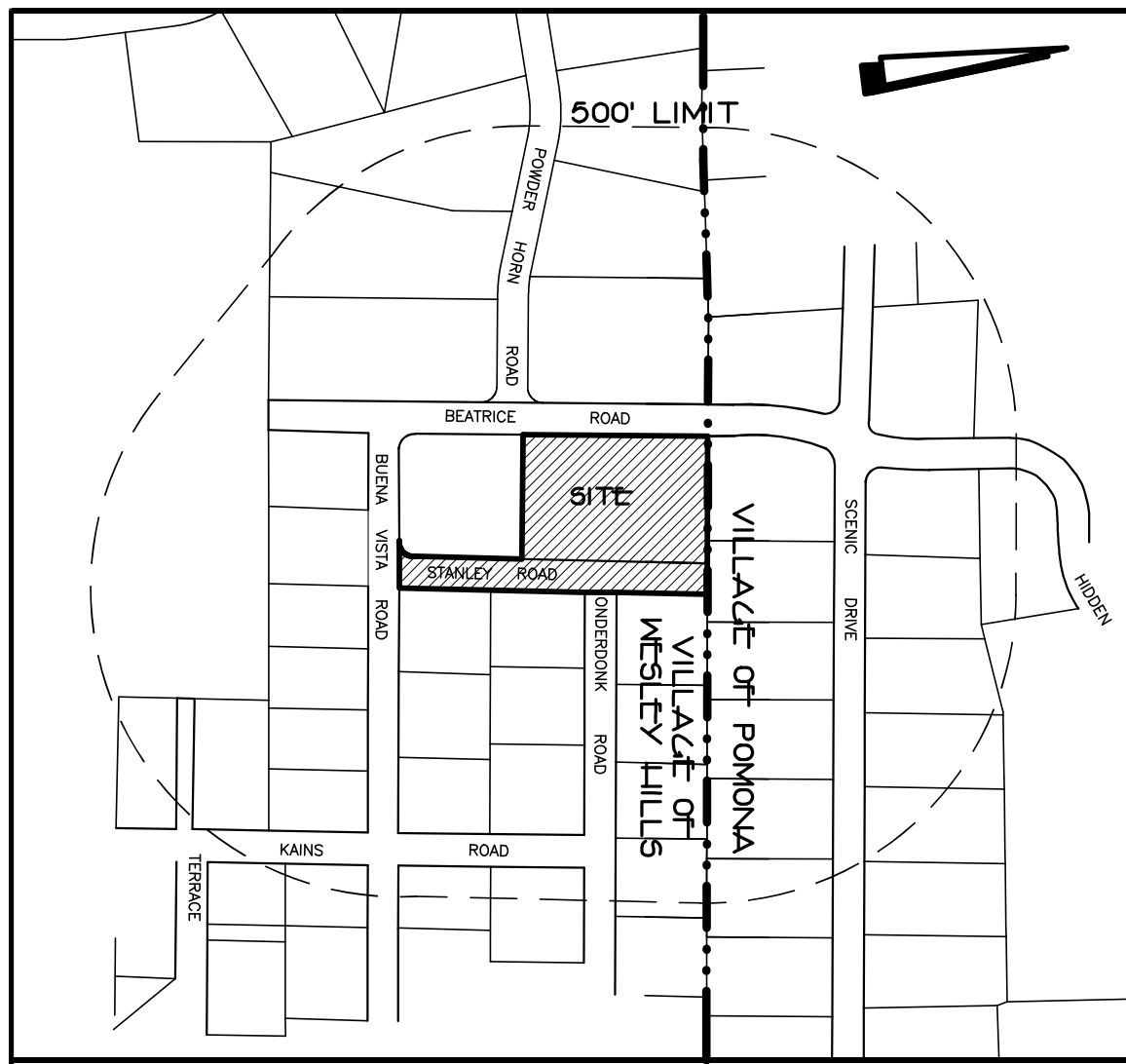
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: 25 Onderdonk			
Project Location (describe, and attach a location map): 25 Onderdonk Road Suffern NY 10901			
Brief Description of Proposed Action: Relocation of wetland and single-family home construction			
Name of Applicant or Sponsor: Abraham Schwartz (25 Onderdonk LLC)		Telephone: 347-415-1116 E-Mail: Mail@Avischwartz.com	
Address: 14 Scenic Drive			
City/PO: Suffern		State: NY	Zip Code: 10901
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: 1) U.S. Army Corps of Engineers (USACE) 2) Village of Wesley Hills planning board. 3) NYDEC			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		1.955 acres	
b. Total acreage to be physically disturbed?		0.994 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.955 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): Wetland			
<input type="checkbox"/> Parkland			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input checked="" type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <u>Roof leaders and driveway drain to an underground detention system connect on site to the Existing stream which drains to the existing CMP under Beatrice RD</u>	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>Abraham Schwartz (25 Onderdonk LLC)</u> Date: <u>2/3/26</u> Signature: <u></u> Title: <u>Owner</u>		



VICINITY MAP
1" = 500'

BEING LOT NO. 1 AND FORMERLY STANLEY ROAD AS SHOWN ON A MAP ENTITLED "REVISED SUBDIVISION-POMONA HILLS RECREATIONAL AREA" FILED IN THE ROCKLAND CO. CLERK'S OFFICE ON AUGUST 7, 1992 AS MAP #6688 BK. #14, P.L. #20

BEING LOT 1 IN BLOCK 1 AS SHOWN ON SECTION 32.19 ON THE TOWN OF RAMAPO TAX MAPS.

AREA = 85,170 ± SF. (OR) 1,955 ± AC.

TAX LOT 32.19-1-22
N/F MORDUCHOWITZ

2

PROPOSED CONSERVATION EASEMENT IN FAVOR OF THE VILLAGE OF WESLEY HILLS. AREA: 11,621 SF.

EASEMENT FOR WATER, SEWER UTILITIES AND SERVICES IN FAVOR OF TAX LOT 32.19-1-22 B. 577 P. 2295

EASEMENT FOR SEWER AND WATER IN FAVOR OF TAX LOT 32.19-1-22 B. 552 P. 788

TURNAROUND EASEMENT IN FAVOR OF THE VILLAGE OF WESLEY HILLS F.M. #6688

TAX LOT 32.19-1-23
N/F JACOBSON

TAX LOT 32.19-1-21
N/F RUOFF

20' WIDE WATER MAIN EASEMENT B. 826 P. 81

TURNAROUND EASEMENT IN FAVOR OF THE VILLAGE OF WESLEY HILLS F.M. #6688

DRAINAGE EASEMENT ALONG DRAIN PIPE TO THE VILLAGE OF WESLEY HILLS F.M. #6688

15' WIDE SANITARY SEWER EASEMENT IN FAVOR OF THE TOWN OF RAMAPO B. 445 P. 1727

TO BE RELOCATED AS SHOWN IN FAVOR OF THE TOWN OF RAMAPO

20' WIDE WATER MAIN EASEMENT B. 811 P. 610

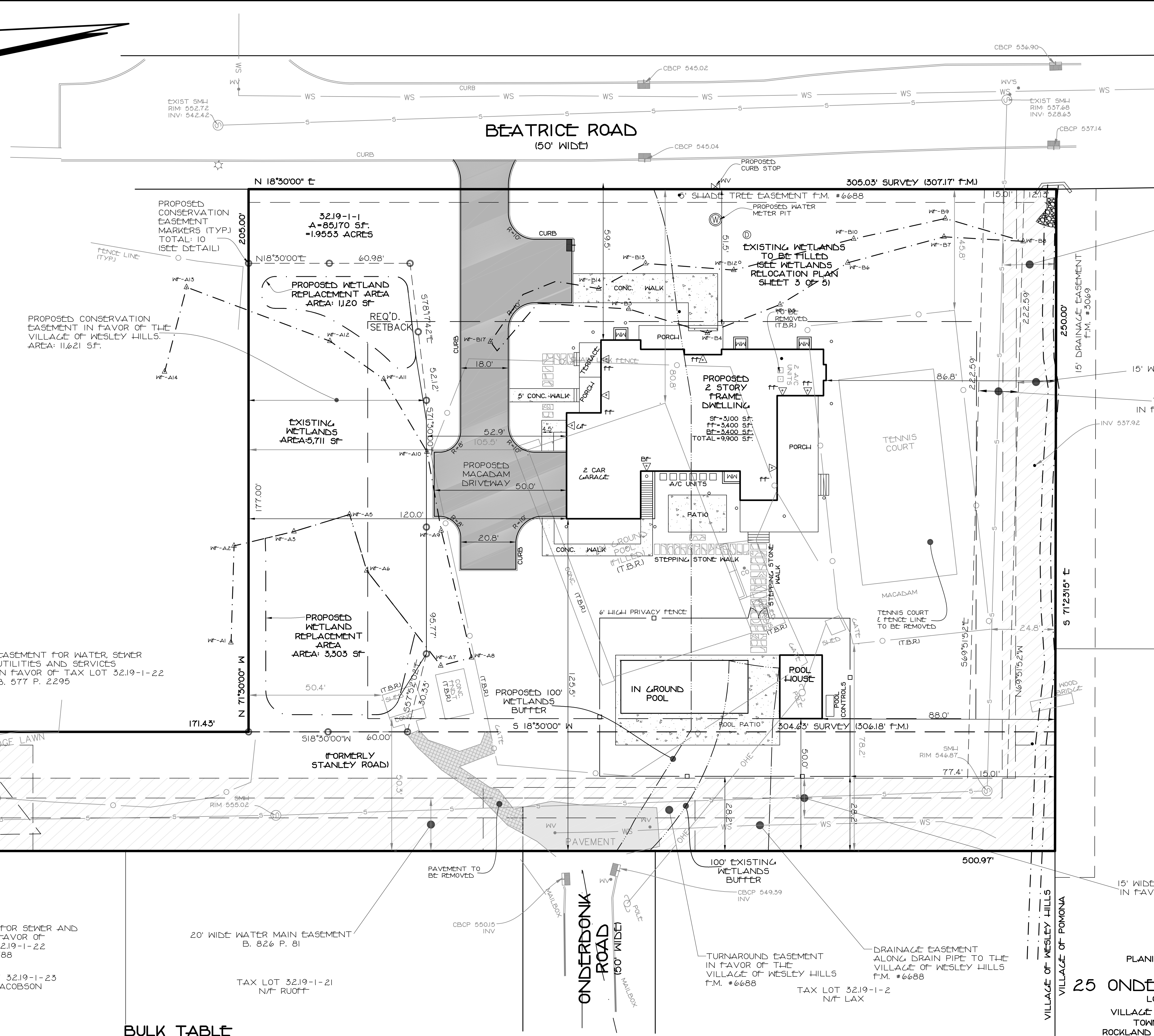
TAX LOT 32.15-2-31
N/F HAKEREM

BLOCK "B" SECTION TWO
HIDDEN VALLEY ESTATES
F.M. #3069

20

TAX LOT 32.15-1-30
N/F COLTON

PLANIMETRIC PLAN FOR
25 ONDERDONK ROAD
LOCATED IN
VILLAGE OF WESLEY HILLS
TOWN OF RAMAPO
ROCKLAND COUNTY, NEW YORK



BULK TABLE

R-50	MINIMUM LOT AREA	MINIMUM LOT FRONTAGE (FEET)	MINIMUM LOT WIDTH (FEET)	MINIMUM EFFECTIVE SQUARE (FEET)	MINIMUM FRONT YARD (FEET)	MINIMUM SIDE YARD (FEET)	TOTAL SIDE YARDS (FEET)	MINIMUM REAR YARD (FEET)	MAXIMUM BUILDING COVERAGE	MAXIMUM IMPERVIOUS SURFACE RATIO	MAXIMUM FRONT YARD IMP. SURFACE RATIO	MAXIMUM BUILDING HEIGHT (STY/FEET)	MAXIMUM EXPOSED HEIGHT (FEET)
REQUIRED	50,000	100	150	150	50	30	75	50	0.20	0.20	0.15	25	40
EXISTING	70,312	305	305	150	45.8*	24.8*	75.2	50.3	0.01	0.21*	0.01	42.5	40
PROPOSED	59,912	305	305	150	51	86	206	50	0.11	0.27	0.18	23.5**	35**
VARIANCE REQUIRED										YES	YES		

* EXISTING NON-CONFORMING.
** PER ARCHITECTURAL PLANS.

LOT AREA CALCULATION
75% DEDUCTION FOR EASEMENTS:
EXISTING: TOTAL EASEMENT X .75 = 75% DEDUCTION 19,810 SF X .75 = 14,858 SF
TOTAL LOT AREA - 75% DEDUCTION = ZONED AREA 85,170 SF - 14,858 SF = 70,312 SF

PROPOSED: TOTAL EASEMENT X .75 = 75% DEDUCTION 35,677 SF X .75 = 26,258 SF
TOTAL LOT AREA - 75% DEDUCTION = ZONED AREA 85,170 SF - 26,258 SF = 59,912 SF

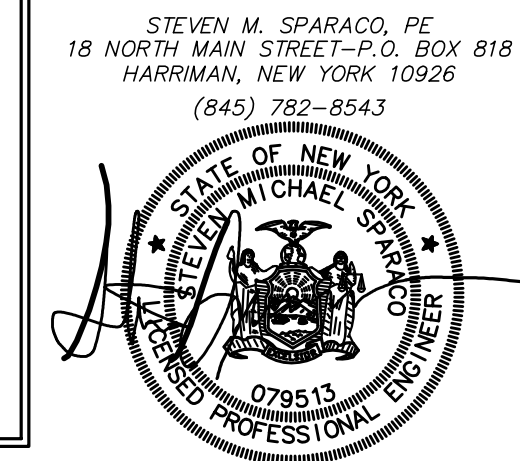
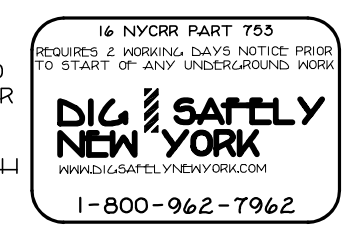
MAXIMUM BUILDING COVERAGE
EXISTING BUILDING COVERAGE / ZONED LOT AREA 540 SF / 70,312 SF = 0.0077 (0.01)
PROPOSED BUILDING COVERAGE / ZONED LOT AREA 6,044 SF / 59,912 SF = 0.1008 (0.11)

MAXIMUM IMPERVIOUS SURFACE CALCULATION
EXISTING IMPERVIOUS COVERAGE / ZONED LOT AREA 10,446 SF / 70,312 SF = 0.1484 (0.15)
PROPOSED IMPERVIOUS COVERAGE / ZONED LOT AREA 15,617 SF / 59,912 SF = 0.2607 (0.27)

FRONT YARD IMPERVIOUS SURFACE CALCULATION
EXISTING FRONT YARD IMPERV. COV. / ZONED LOT AREA 90 SF / 15,250 SF = 0.0059 (0.01)
PROPOSED FRONT YARD IMPERV. COV. / ZONED LOT AREA 2,315 SF / 15,250 SF = 0.1519 (0.16)

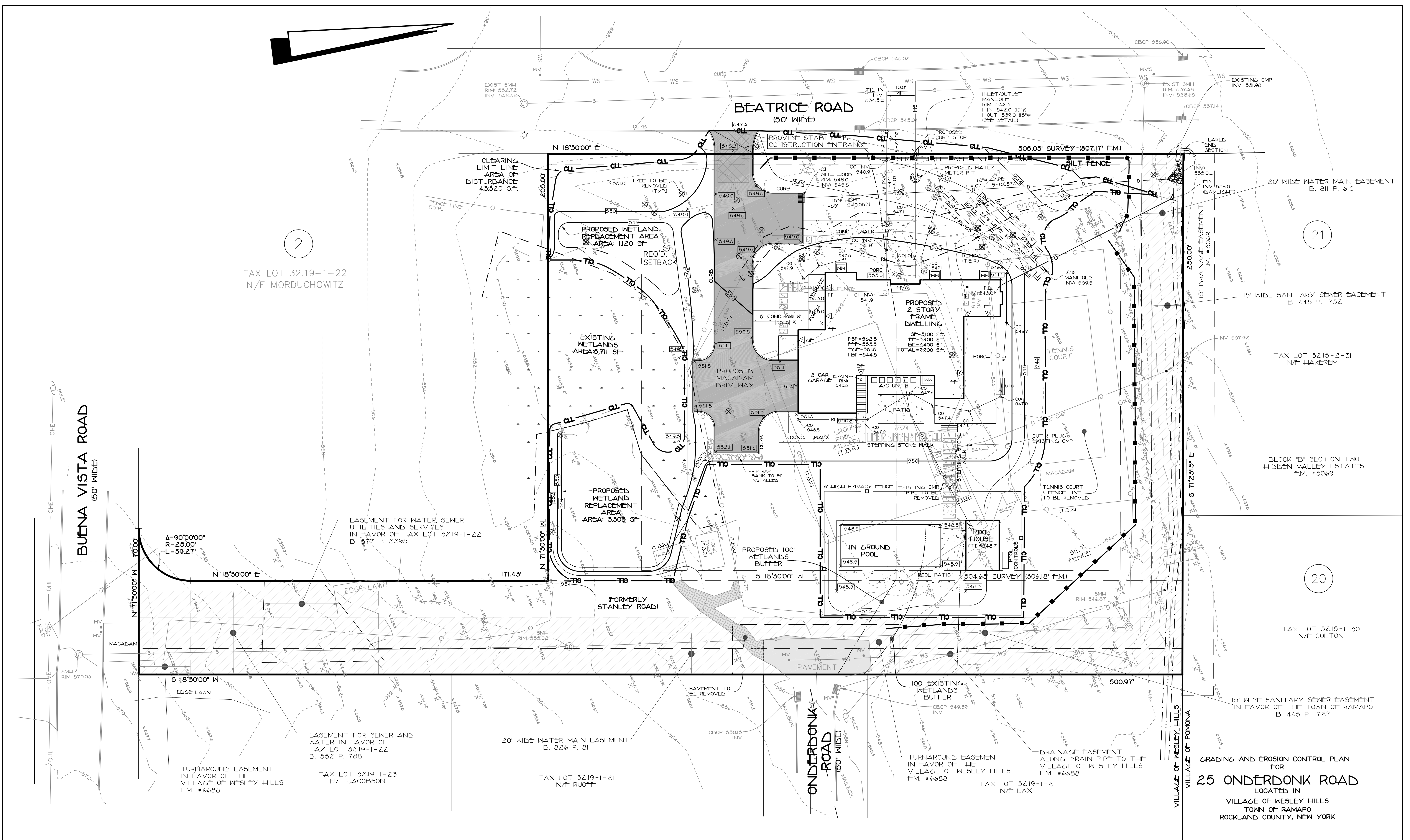
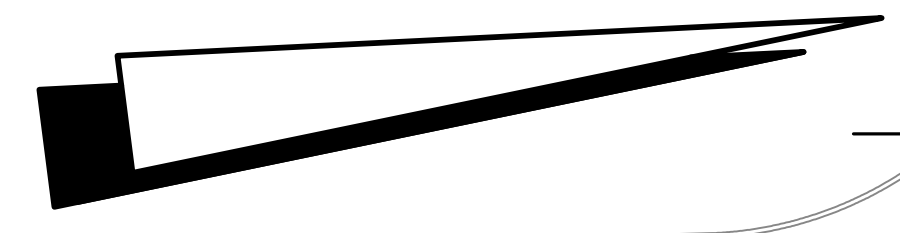
*SEE DETAIL SHEET (PAGE 5 OF 5) FOR GENERAL NOTES.

ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.



SPARACO & YOUNG BLOOD, PLLC
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SITE PLANNING
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FAX: (845) 782-8901
WWW.SPACOSURVEYS.COM WDWLS1@GMAIL.COM

SP-4585
Feb. 2, 2026
1" = 20'
1 OF 5



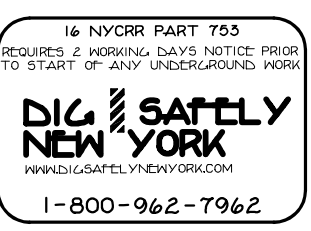
2
TAX LOT 32.19-1-22
N/F MORDUCHOWITZ

21

20

*SEE DETAIL SHEET (PAGE 5 OF 5) FOR GENERAL NOTES.

ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.

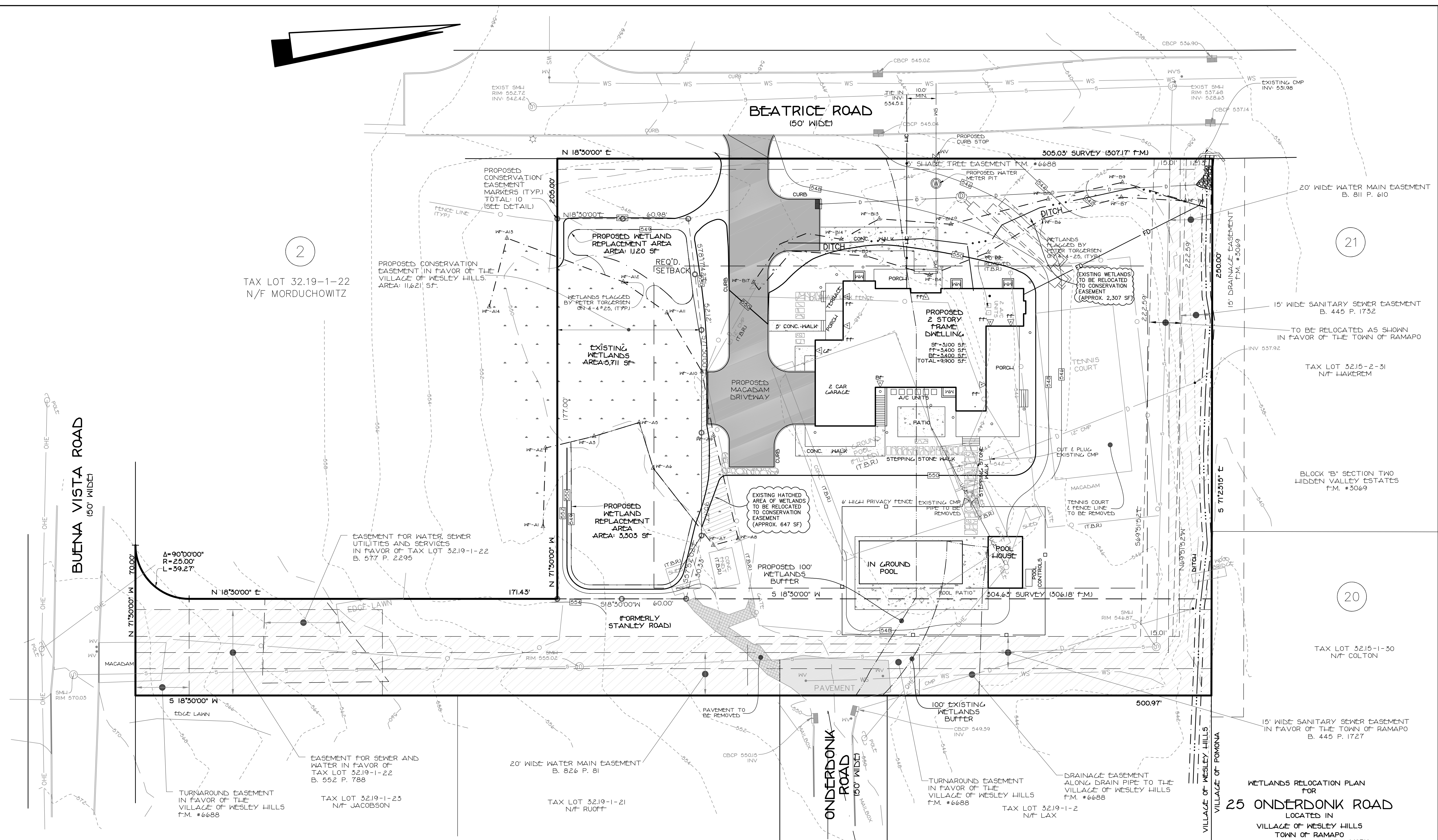
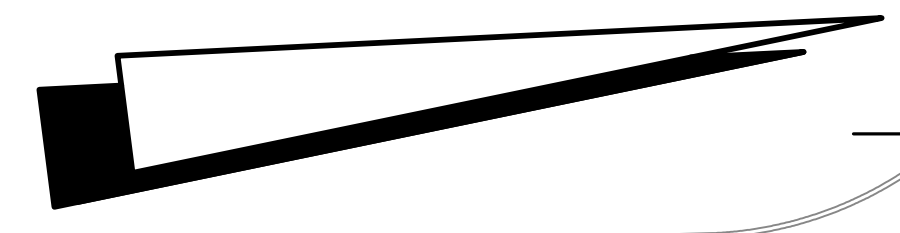


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FILE # SP-4585
DATE FEB. 2, 2026
SCALE 1"=20'
SHEET 2 OF 5



TAX LOT 32.19-1-22
N/F MORDUCHOWITZ

20' WIDE WATER MAIN EASEMENT
B. 811 P. 610

15' WIDE SANITARY SEWER EASEMENT
B. 445 P. 1732

TAX LOT 32.15-2-31
N/F HAKEREM

BLOCK 'B' SECTION TWO
HIDDEN VALLEY ESTATES
F.M. #3069

TAX LOT 32.15-1-30
N/F COLTON

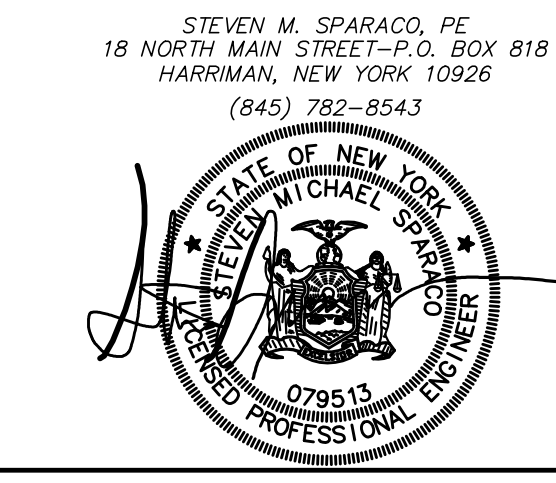
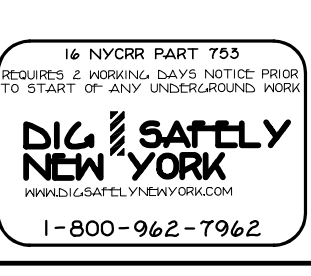
15' WIDE SANITARY SEWER EASEMENT
IN FAVOR OF THE TOWN OF RAMAPO
B. 445 P. 1727

**WETLANDS RELOCATION PLAN
FOR
25 ONDERDONK ROAD**
LOCATED IN
VILLAGE OF WESLEY HILLS
TOWN OF RAMAPO
ROCKLAND COUNTY, NEW YORK

WETLAND AREA BREAKDOWN

EXISTING WETLAND AREA TO BE REMOVED = 2,885 SF
PROPOSED WETLAND AREA TO BE ADDED = 4,423 SF

ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.



SPARACO & YOUNGBLOOD, PLLC		SP-4585
CIVIL ENGINEERING • LAND SURVEYING SITE PLANNING		Feb. 2, 2026
18 NORTH MAIN STREET P.O. BOX 818 HARRIMAN, NY 10926 TEL: (845) 782-8543 FAX: (845) 782-8901 WWW.SPACONYSURV.COM WBYLS1@GMAIL.COM		1"=20'
SCALE		3 OF 5

GENERAL NOTES:

- CONTRACTOR TO VERIFY LOCATION, SIZE AND INVERTS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL UTILITIES FIELD LOCATED BY RESPECTIVE UTILITY COMPANY AND SHALL ASSUME FULL RESPONSIBILITY AND SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING CONTINUOUS UTILITY SERVICE AND REPAIRS TO ANY DAMAGE.
- ALL EXISTING OFF-SITE PAVEMENT, FENCES, CURBS, WALKS AND OTHER FACILITIES DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- EXISTING UTILITIES & STRUCTURES THAT ARE TO BE REMOVED AND/OR REPLACED SHALL BE REMOVED AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
- PROJECT SAFETY AND TRAFFIC MAINTENANCE ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- UTILITIES AND UTILITY STRUCTURES WHOSE LOCATIONS ARE UNKNOWN MAY BE AFFECTED BY THE PROPOSED WORK. UPON FINDING SUCH UTILITIES, THE CONTRACTORS RESPONSIBILITY SHALL BE TO NOTIFY THE OWNER AND MAINTAIN THE UTILITIES IN WORKING ORDER UNTIL THEIR DISPOSITION IS RESOLVED.
- CONTRACTOR TO COORDINATE WITH ALL COMPANIES TO ASSURE ADEQUATE SUPPLY AND SCHEDULING OF NEW SERVICE, WHERE REQUIRED, TO FIT THE CONSTRUCTION SCHEDULING AND SEQUENCE TO NO DAMAGE OR DISTURBANCE TO COMPLETED WORK.
- ALL NEW UTILITY SERVICE CONNECTIONS, INCLUDING LINES AND EQUIPMENT FOR PROVIDING POWER AND/OR COMMUNICATIONS, ARE TO BE INSTALLED UNDERGROUND.
- THE EXTENT OF THE CONSTRUCTION AND DISTURBANCE AREAS SHALL BE THE MINIMUM REQUIRED TO PERFORM THE CONTRACT WORK WITH AS MINIMAL EFFECT ON ADJACENT AREAS AS POSSIBLE.
- ALL NEW STORM DRAINAGE PIPING TO BE SMOOTH BORE CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) UNLESS OTHERWISE SPECIFIED.
- ROOF LEADERS WHERE REQUIRED TO BE 4" DIA. SDR 35 PVC PIPE AND WILL OUTLET TO DOWNSPOUTS ADJACENT TO THE PROPOSED BUILDINGS.
- ALL NEW WATER MAINS AND RELATED APPURTENANCES TO BE SPECIFIED BY ARCHITECT'S MECHANICAL ENGINEER.
- ALL SANITARY HOUSE CONNECTIONS TO BE 6" DIA. CAST IRON WITH A MINIMUM GRADE OF 2% TO THE FIRST CLEAN OUT OUTSIDE THE BUILDING BEYOND THE FIRST CLEAN OUT. SDR 35 PVC PIPE MAY BE USED IN LIEU OF CAST IRON.
- ANY SUBSTITUTIONS TO BE REQUESTED IN WRITING AND APPROVED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS WITH REGARD TO DEMOLITION AND DISPOSAL OF EXISTING STRUCTURES.
- ANY EXISTING HOUSE CONNECTION PROPOSED TO BE ABANDONED MUST BE PLUGGED BETWEEN THE EDGE OF THE RIGHT-OF-WAY AND THE CURB LINE WITH A PERMANENT WATER-TIGHT PLUG OR CAP ENCASED IN CONCRETE.
- WHERE FINISHED GRADE ELEVATION AT BUILDING WALL IS LESS THAN 18" BELOW THE FINISHED FLOOR CONSULT WITH ARCHITECT FOR CHANGES IN FOUNDATION AND SILL DESIGN.
- CONTRACTOR TO OBTAIN AND SUBMIT SHOP DRAWINGS FOR ALL STRUCTURES TO DESIGN ENGINEER FOR REVIEW AND APPROVAL BEFORE MANUFACTURING.

EROSION CONTROL INFORMATION:

EROSION AND SEDIMENT CONTROL PLAN - CONSTRUCTION SEQUENCE:

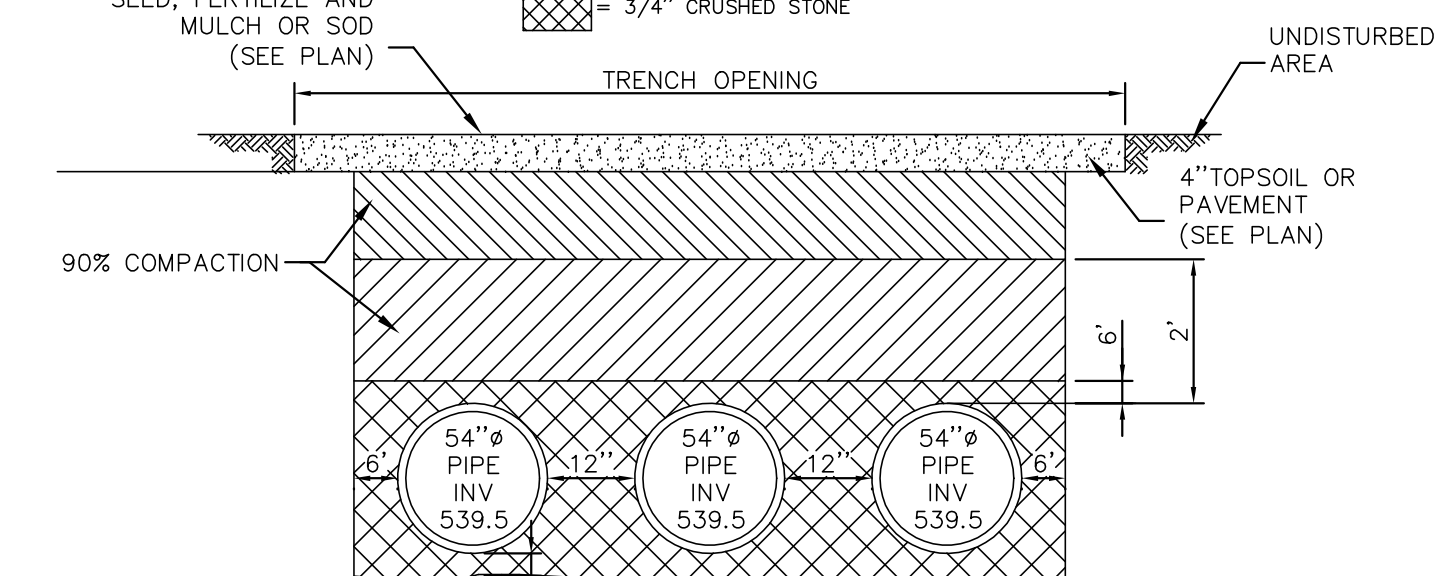
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY GRADING, OPERATIONS AND INSTALLATION OF PROPOSED STRUCTURES AND/OR UTILITIES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETED AND/OR STABILIZED.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE AS INDICATED ON PLAN.
- INSTALL SILT FENCE DOWN SLOPE OF ALL AREAS TO BE DISTURBED AND DOWN SLOPE OF ALL AREAS DESIGNATED FOR TOPSOIL STOCKPILING.
- CONSTRUCT BERMS, TEMPORARY SWALES AND PIPES AS NECESSARY TO DIRECT RUNOFF TO TEMPORARY SEDIMENTATION AREAS.
- CLEAR EXISTING TREES, VEGETATION AND EXISTING STRUCTURES FROM AREAS TO BE FILLED OR EXCAVATED. STRIP AND STOCKPILE TOPSOIL FROM AREAS TO BE DISTURBED. SEED STOCKPILED TOPSOIL WITH TEMPORARY RYE GRASS COVER.
- PERFORM EXCAVATION AND FILL TO BRING LAND TO DESIRED GRADE. ANY DISTURBED AREAS TO REMAIN BARE SHOULD BE SEEDS WITH TEMPORARY RYE GRASS.
- INSTALL UNDERGROUND UTILITIES, MANHOLES AND CATCH BASINS. GRATES OF CURB AND FIELD INLETS SHOULD BE LEFT AT ELEVATIONS WHICH PERMIT PROPER COLLECTION OF SURFACE RUNOFF.
- INSTALL INLET PROTECTION AT CURB AND FIELD INLETS.
- CONSTRUCT CURBS AND INSTALL BASE AND BINDER COURSES OF PAVED AREAS. RAISE GRATES OF THE CURB AND FIELD INLETS ACCORDINGLY.
- COMPLETE THE GRADING.
- INSTALL SURFACE COURSE OF PAVEMENT. RAISE GRATES OF CURBS AND FIELD INLETS TO FINAL ELEVATION.
- UPON COMPLETION OF CONSTRUCTION ALL DISTURBED AREAS ARE TO BE SEEDS WITH 1/2 LB. OF RYE GRASS PER 1000 SQUARE FEET OR DISTURBED AREA. ALL TEMPORARY DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
- FOR INDIVIDUAL HOUSE (SEPTIC) CONSTRUCTION FOLLOW STEPS #1 TO #13 WHERE APPLICABLE.
- BARE SOIL SHOULD BE SEEDS WITHIN 14 DAYS OF EXPOSURE. WHENEVER CONSTRUCTION IS SUSPENDED OR COMPLETED, AREAS SHOULD BE SEEDS DOWN OR MULCHED IMMEDIATELY UPON COMPLETION. A PERENNIAL MIX NEEDS TO BE USED TO ENSURE CONTINUAL STABILIZATION.

STANDARD EROSION CONTROL NOTES:

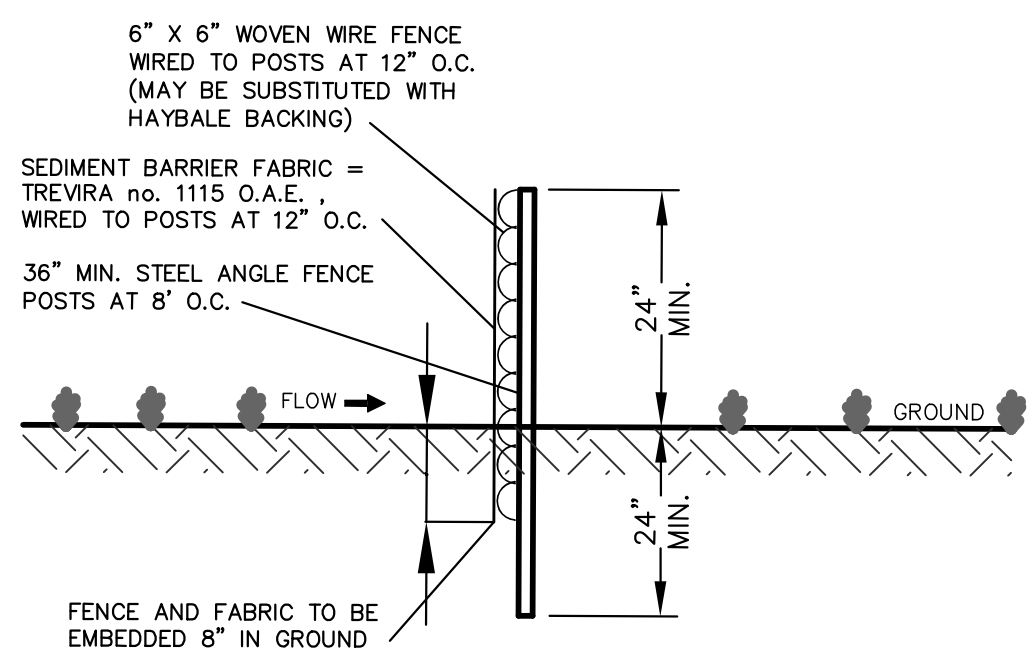
AN EROSION CONTROL SYSTEM WILL BE UTILIZED BY THE DEVELOPER TO MINIMIZE THE PRODUCTION OF SEDIMENT FROM THE SITE. METHODS TO BE UTILIZED WILL BE THOSE FOUND MOST EFFECTIVE FOR THE SITE AND SHALL INCLUDE ONE OR MORE OF THE FOLLOWING, AS APPLICABLE:

- TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP, CRUSHED STONE DAMS, OR OTHER SUITABLE MATERIALS. DIVERSION SWALES, BERMS, OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
- ALL DISTURBED AREAS, EXCEPT ROADWAYS WHICH WILL REMAIN UNFINISHED FOR MORE THAN 14 DAYS SHALL BE TEMPORARILY SEEDS WITH 1/2 LB. OF RYE GRASS OR MULCHED WITH 100 LBS. OF STRAW OR HAY PER 1000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICAL BY INSTALLATION OF THE BASE COURSE.
- SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
- AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
- PROVIDE INLET PROTECTION TO ALL INLETS ON SITE. (SEE DETAIL)

- BACKFILL ≤ 25% FINES
- SELECT FILL ≤ 15% FINES
- 3/4" CRUSHED STONE



DETENTION SYSTEM SECTION DETAIL
N.T.S.

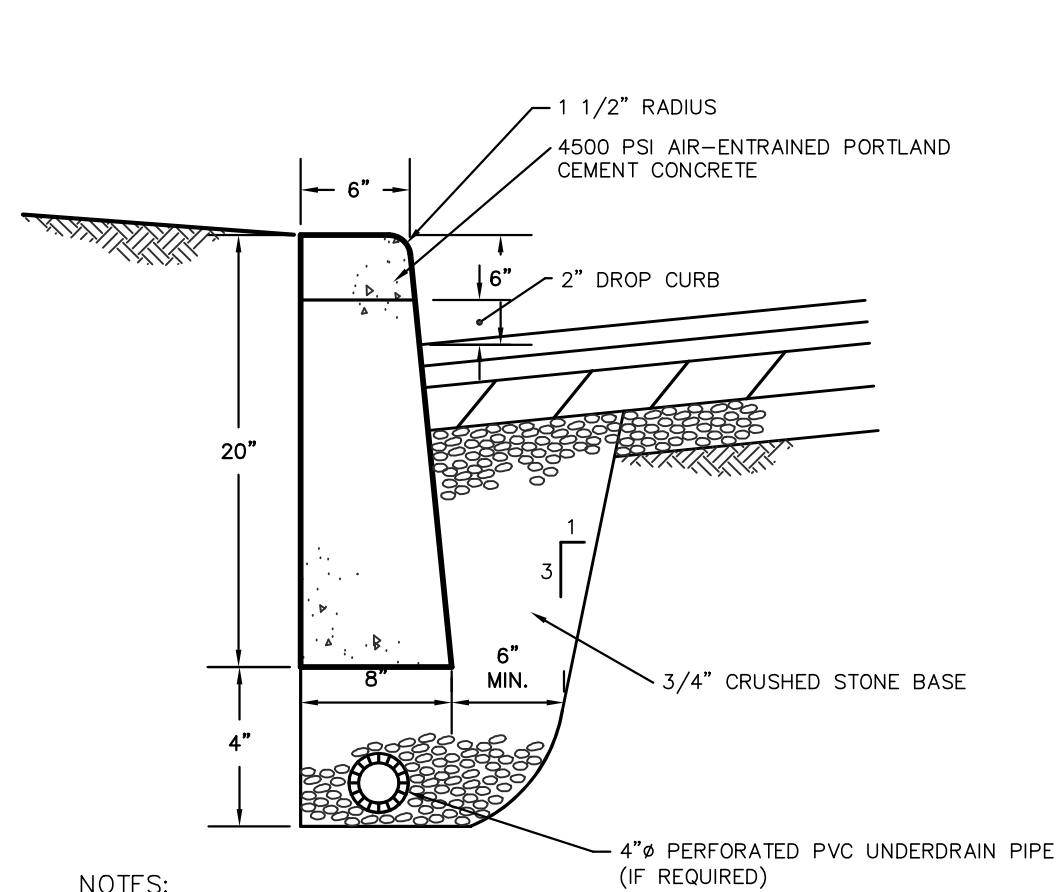


NOTES:

- THIS FENCE IS AN ALTERNATE TO HAY BALE SEDIMENT BARRIER
- MAINTAIN FENCE TO INSURE SEDIMENT ENTRAPMENT QUALITIES DURING CONSTRUCTION.
- REMOVE EXCESS SILT PERIODICALLY AND WHEN BULGES DEVELOPE.
- FENCE SYMBOL ON PLAN =

SEDIMENT BARRIER FENCE

N.T.S.

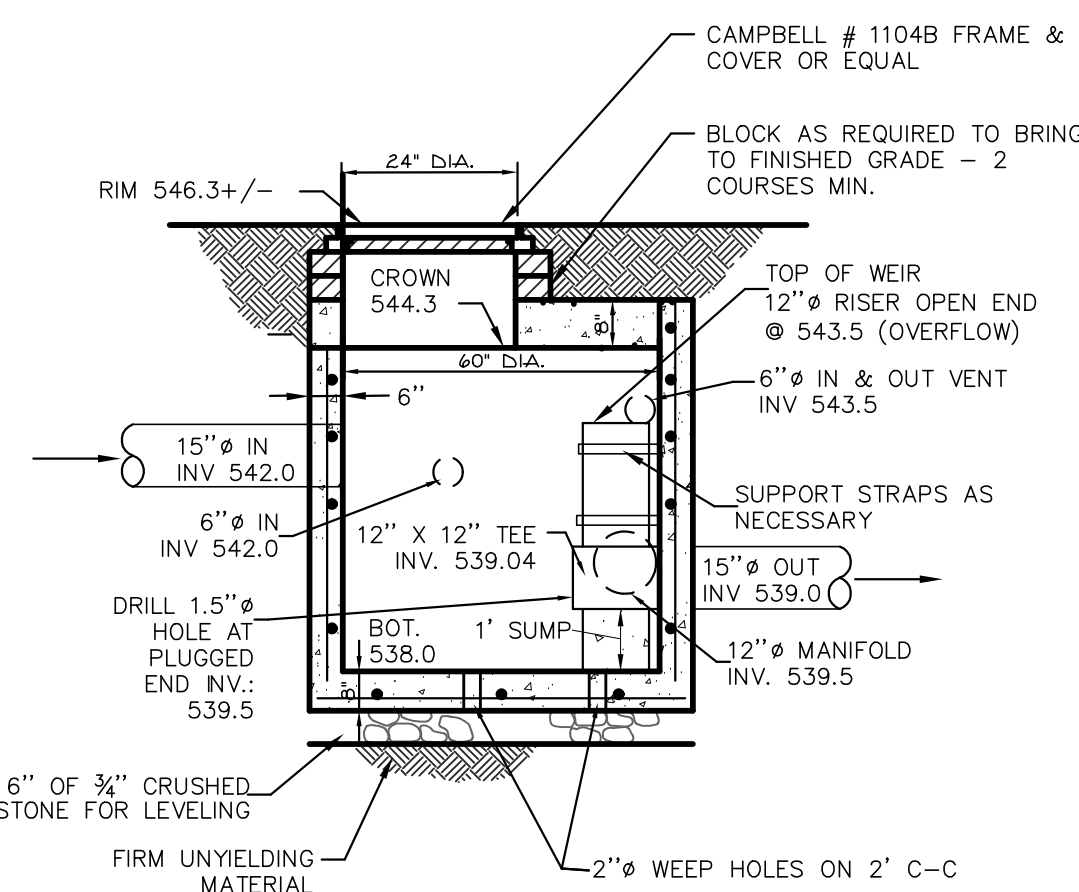


NOTES:

- CURB SHALL BE CAST IN PLACE
- EXPANSION JOINTS OF 3/16" CELLULOSE OR SIMILAR MATERIAL SHALL BE PLACED AT TEN FOOT INTERVALS, TO FULL DEPTH OF CURB.
- UNDERDRAIN MAY BE ELIMINATED IN PARKING LOTS AND OTHER NON-PUBLIC FACILITIES.

CURB DETAIL - CONCRETE

N.T.S.

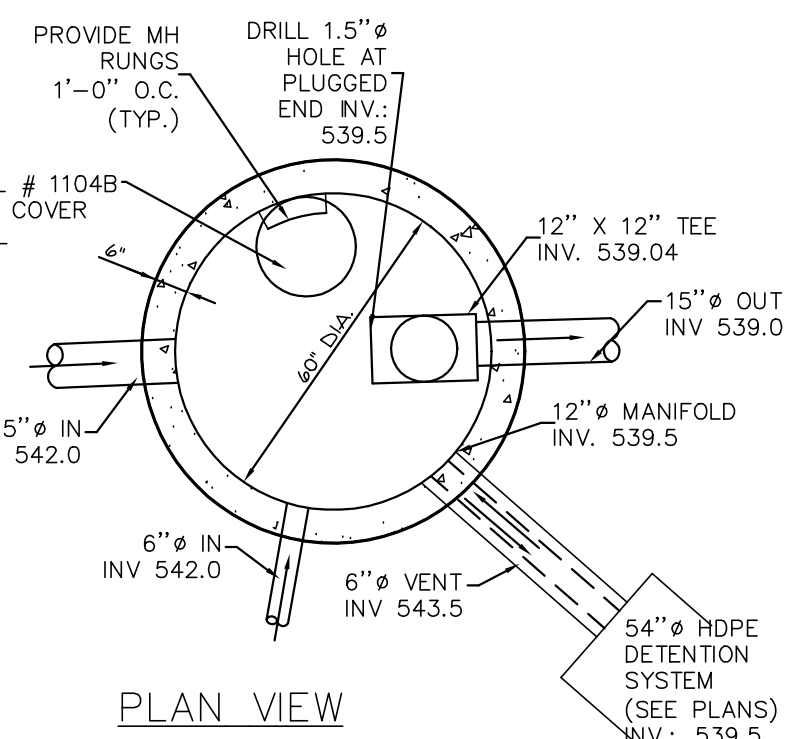


PROFILE VIEW

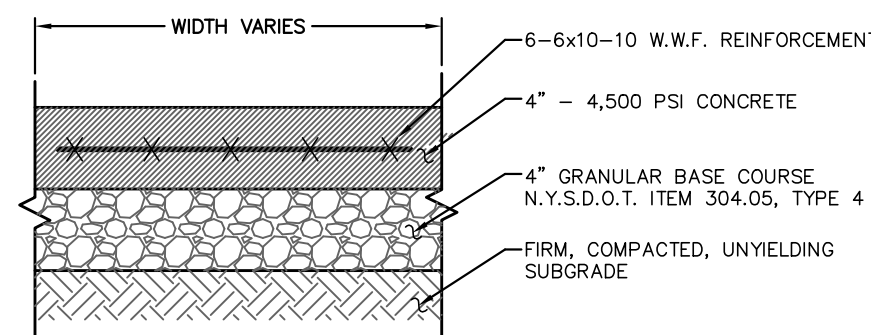
- MANHOLE TO CONFORM TO A.S.T.M. C478 (LATEST REVISION).
- PRECAST CONCRETE MANHOLES WITH RESILIENT SEALS AT JOINTS.
- MANUFACTURER SHALL CERTIFY ALL COMPONENTS MANHOLE FOR MSO LOADING.
- RISER SECTION JOINTS SHALL BE FIELD-MORTARED (SEE PLANS)
- SHOP DRAWING TO BE APPROVED BY DESIGN ENGINEER PRIOR TO CASTING.

INLET/OUTLET MANHOLE

N.T.S.



PLAN VIEW

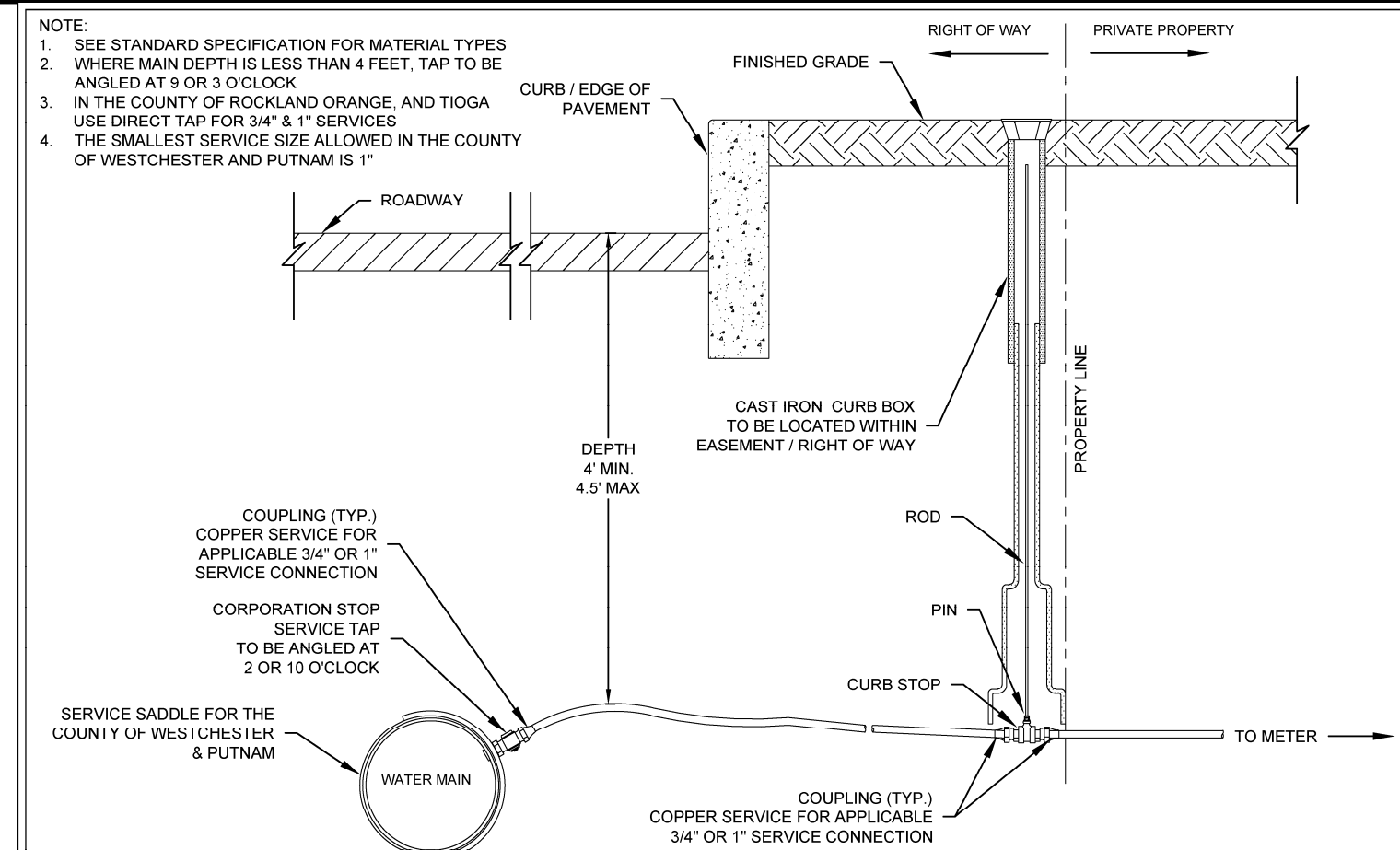


NOTES:

- BROOM FINISH EACH SQUARE AT 90° TO PRECEDING SQUARE.
- PLACE JOINTS EQUAL TO WALK WIDTH OR AS SHOWN ON PLAN.
- INSTALL 1/2" PRE-MOLDED EXPANSION JOINT FILLERS AT 24" O.C. MAX. AND AGAINST CONCRETE CURBS, BUILDINGS AND OTHER STRUCTURES.

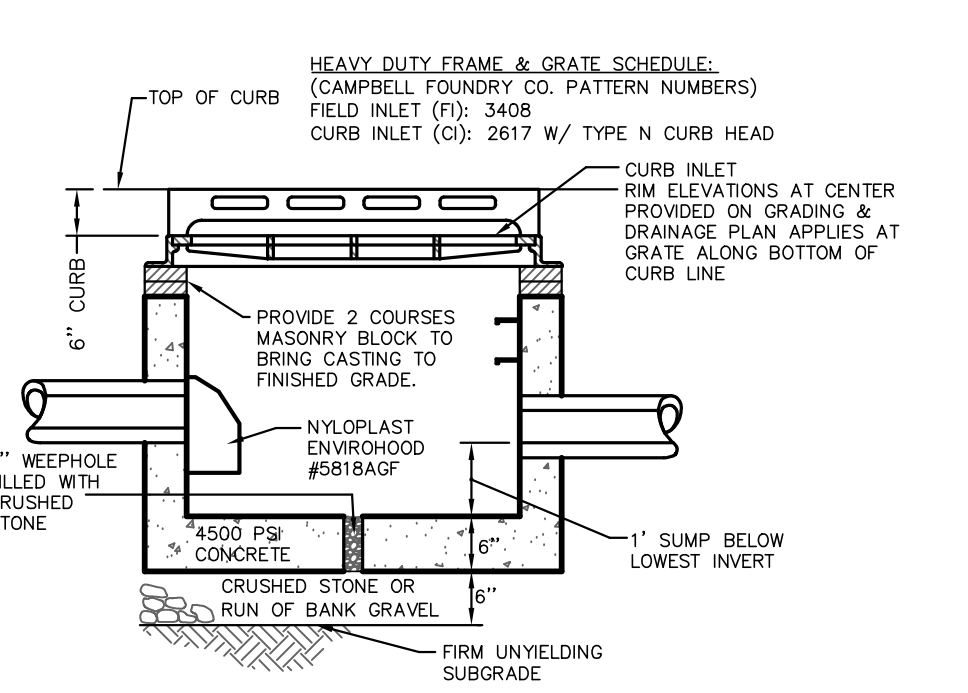
CONCRETE SIDEWALK DETAIL

N.T.S.



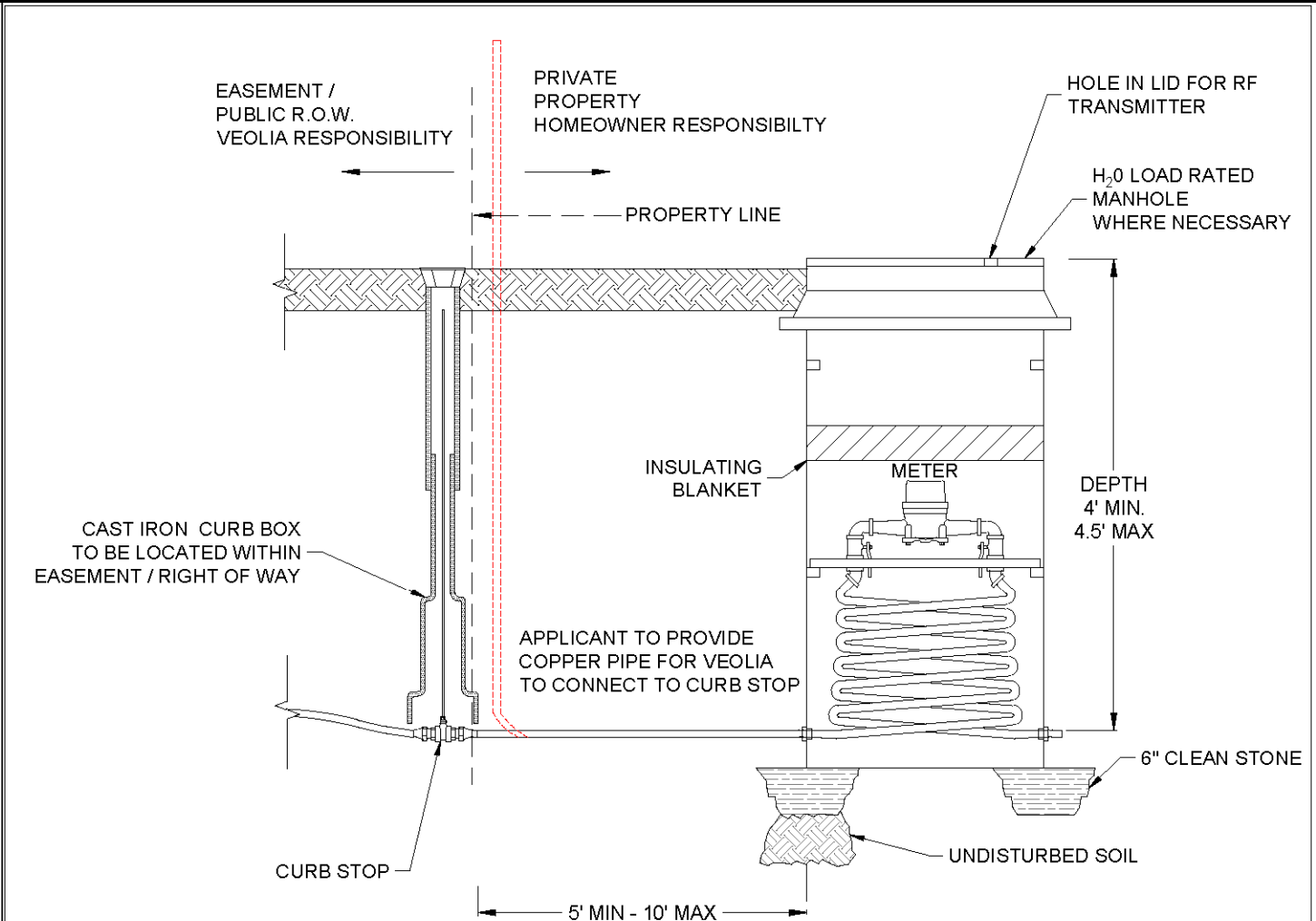
BUILDING CONNECTION ELEVATION BUILDING CONNECTION DETAIL

N.T.S.



CATCH BASIN, CURB INLET (CI) WITH TYPE N HEAD & FIELD INLET (FI) DETAIL

N.T.S.



SIZE OF SERVICE	SIZE OF METER	LENGTH OF METER
3/4"	5/8"	7 1/2"
1"	1"	10 3/4"

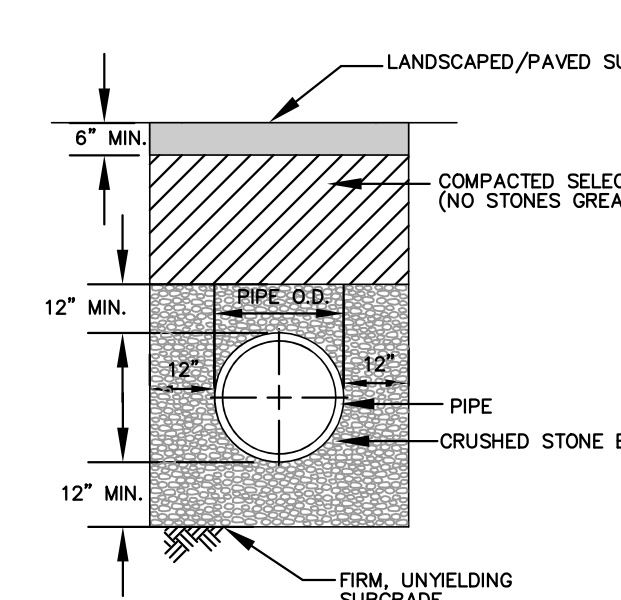
*If a new tap is requested/required, 3' of copper has to be exposed above the ground.

3/4" TO 1" DOMESTIC SERVICE - METER PIT

DRAFTED BY: MS
APPROVED BY: WMV DIV. NB
SCALE: NTS
DATE: 11/1/2022



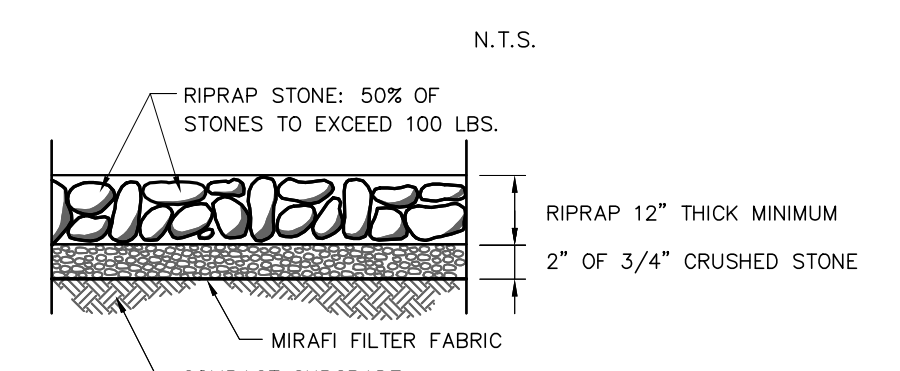
VEOLIA WATER NEW YORK
142 OLD MILL ROAD
WEST NYACK, NY 10994
(845) 420-3334



PIPE BEDDING DETAIL*

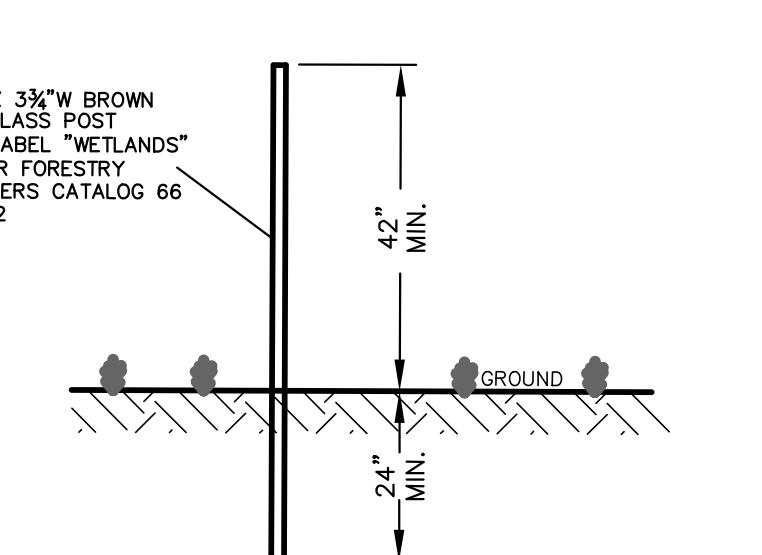
N.T.S.

PRIVATE DRIVEWAY PAVEMENT



ROCK OUTLET PROTECTION DETAIL

N.T.S.



CONSERVATION EASEMENT MARKER

N.T.S.

DETAIL SHEET FOR
25 ONDERDONK ROAD
LOCATED IN
VILLAGE OF WESLEY HILLS
TOWN OF RAMAPO
ROCKLAND COUNTY, NEW YORK



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SP-4585
REV. 2, 2026
N.T.S.
5 OF 5

BEING LOT NO. 1, AND FORMERLY STANLEY ROAD AS SHOWN ON A MAP ENTITLED "REVISED SUBDIVISION-POMONA HEIGHTS RECREATIONAL AREA" FILED IN THE ROCKLAND CO. CLERK'S OFFICE ON AUGUST 7, 1992 AS MAP #6688 BK. #114, PL. #20

BEING LOT 1 IN BLOCK 1 AS SHOWN ON SECTION 32.19 ON THE TOWN OF RAMAPO TAX MAPS. AREA = 85,170± SF. (OR) 1.955± AC.

2
TAX LOT 32.19-1-22
N/F MORDUCHOWITZ

21

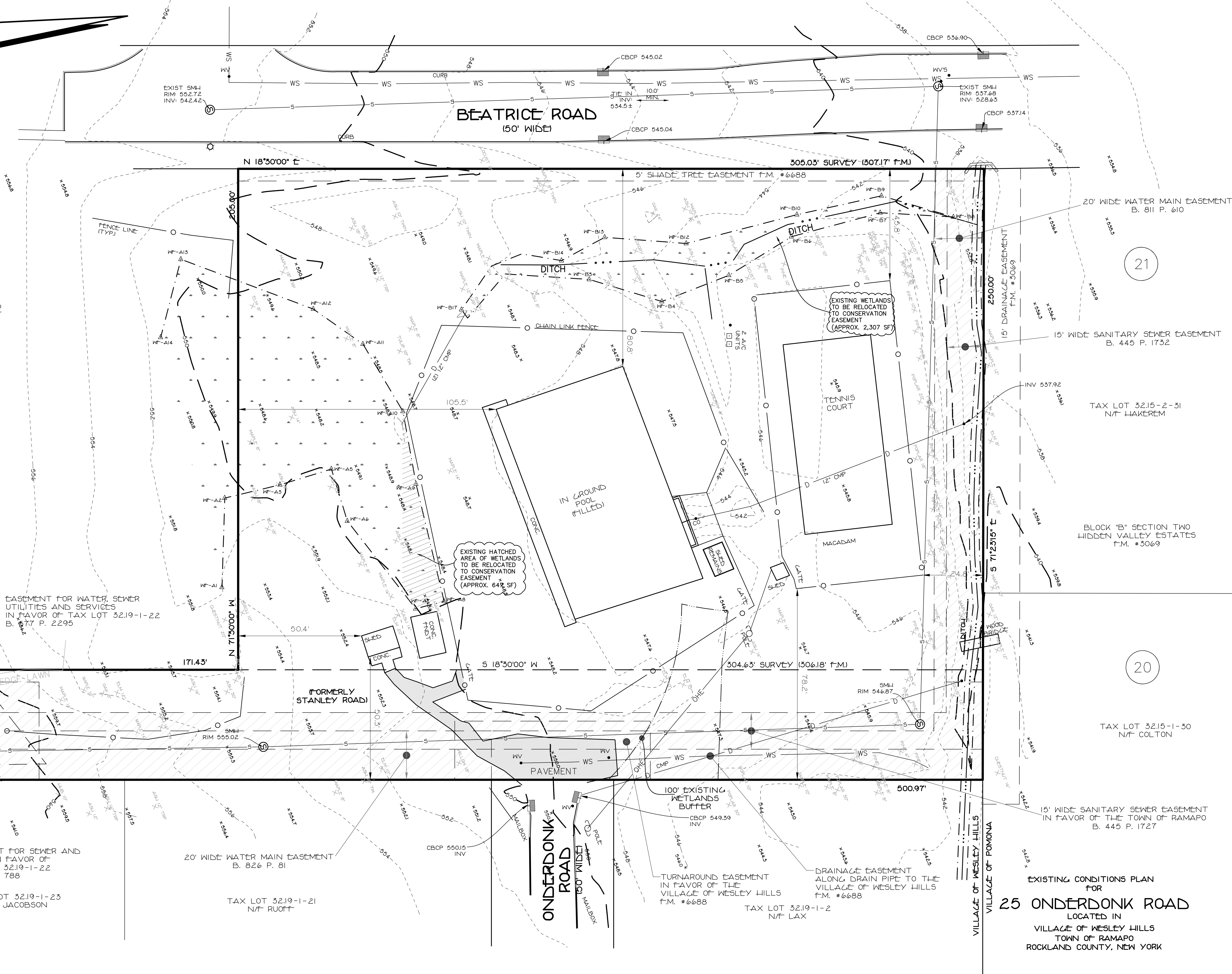
20

EXISTING CONDITIONS PLAN FOR
25 ONDERDONK ROAD
LOCATED IN
VILLAGE OF WESLEY HILLS
TOWN OF RAMAPO
ROCKLAND COUNTY, NEW YORK

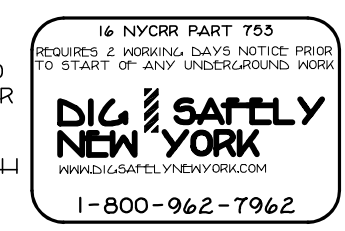
BUENA VISTA ROAD
(50' WIDE)

BEATRICE ROAD
(50' WIDE)

ONDERDONK ROAD
(50' WIDE)



ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.



SPARACO & YOUNG BLOOD, PLLC		SP-4585
CIVIL ENGINEERING • LAND SURVEYING SITE PLANNING		DATE
18 NORTH MAIN STREET P.O. BOX 818 HARRISMAN, NY 10926 TEL: (845) 782-8543 FAX: (845) 782-0901		SCALE
WWW.SPACOBLOOD.COM WBYLS1@GMAIL.COM		1"=20'
		SHEET
		4 OF 5



Memorandum

To: Village of Wesley Hills Planning Board

From: William Brady, AICP, Principal Planner
Gerard Chesterman, Planner

Re: 25 Onderdonk Road – Site Plan, Special Permit and Wetlands Permit
SBL# 32.19-1-1: R-35 Zoning District

Date: February 24, 2026

cc: Stephanie Caputo, Planning Board Secretary
Bruce Minsky, Esq., Planning Board Attorney
Eve Mancuso, P.E., Village Engineer
John Layne, Building Inspector
Mendel Kirsh, Applicant

Received and reviewed for this memorandum:

- Planning Board Site Plan Application, prepared and signed by Abraham Schwartz, dated February 10, 2026
- Wetlands Permit and Special Permit application, prepared and signed by Abraham Schwartz, dated November 7, 2025
- Letter to the Planning Board, prepared and signed by L.Y Contractor L.Y Consulting Inc., dated December 18, 2025
- Project Narrative, prepared and signed by Todd Roseblum, Rosenblum Architecture, dated February 11, 2026
- Letter from the United States Army Corps of Engineers, prepared and signed by Alexandra Ryan, Project Manager from the United States Army Corps of Engineers, dated October 3, 2025
- Freshwater Wetlands Jurisdictional Determination, prepared by the NYSDEC, dated January 27, 2026
- Short Environmental Assessment Form, prepared and signed by Abraham Schwartz, dated November 11, 2025
- 25 Onderdonk Road Drainage Report, prepared and signed by Steven Michael Sparaco of Sparaco and Youngblood, PLLC, dated February 2, 2026
- Site Plan Sheets, prepared and signed by Steven Michael Sparaco of Sparaco and Youngblood, PLLC, dated February 2, 2026
 - Planimetric Plan
 - Existing Conditions
 - Grading and Erosion Control Plan
 - Wetlands Relocation Plan

- Detail Sheet
- Landscape Plans, prepared by Yost Design Landscape Architecture, dated December 5, 2025:
 - Planting Plan
 - Details Sheet

Project Summary

The subject application is for Site Plan, Special Permit and Wetlands Permit for the relocation of wetlands and the construction of a single-family home, pool, and pool house. The currently proposed wetlands work is to relocate small portions of the existing wetlands and combine them with a larger existing wetland area on the site. The proposed home is located within the 100' wetland buffer.

The property is the site of a former neighborhood pool and tennis facility, with the existing court, pool and small outbuildings remaining on the site.

The site is located at 25 Onderdonk Road at the dead end of Onderdonk Road with proposed new driveway access to Beatrice Drive, on SBL # 32.19-1-1 in the R-35 Zoning District. The lot also includes access to Buena Vista Road, to the south, and includes an easement for water and sewer utilities for the residential property located directly to the south on Buena Vista Road.

Submission Comments

1. The applicant's narrative notes that the applicant has received a NYS DEC No Jurisdiction Waiver and a statement from the US Army Corps of Engineers that an individual permit is not required for this proposal.
2. Page 2 is missing from the SEAF. Please provide a revised SEAF that includes page 2.
3. We note that the proposed dwelling will not connect to Onderdonk Road, but rather to Beatrice Drive. Please confirm if an address change will be pursued.
4. We recommend the applicant provide information on existing and proposed improvements and easements for the turnaround at the end of Onderdonk Road and the utility access area from Buena Vista Road.
5. The plans identify a proposed conservation easement to the Village of Wesley Hills in the area around the proposed enlarged wetlands. We recommend the applicant and Planning Board discuss this proposed easement, whether the Village should require the easement, maintenance provisions, etc.
6. The narrative notes that a previous proposed home had received a wetlands permit from the Village in 2015. An updated narrative should note that the previously proposed home was smaller, without a proposed pool and pool house.
7. The site plan refers to architectural plans; such plans are to be provided.

Zoning Comments

8. Please review the consistency of the Bulk Table with the dimensions shown on the plans for various yard setbacks.

Planning Comments

9. A Landscaping Plan and Planting Schedule has been provided. We recommend native species of trees, shrubs and ground covers be utilized, such as those recommended in the NYS DEC Native Plan Guide. Several listed in the Guide may be appropriate for this site, soil conditions and within proposed wetland areas.

SEQRA/GML Comments

10. We recommend that this application be identified as a Type II action under SEQR, and no further SEQR is required.
11. Per GML 239, review will need to be conducted by the Rockland County Department of Planning as the property abuts the Village of Pomona. Review will also be required of the Rockland County Drainage Agency and the Rockland County Department of Health.

Please let me know if you have any questions or comments regarding this review.



Glenn McCreedy, P.E., C.M.E.
Stuart Strow, P.E., C.F.M.

February 20, 2026

Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

Attn: Stephanie Caputo, Secretary to the Planning & Zoning Board

Re: 25 Onderdonk Road
Plot Plan Review
Tax Lot 32.19-1-1
25 Onderdonk Road
Village of Wesley Hills, New York
CDW #WH25-601

Dear Ms. Caputo,

Our office has received and reviewed the submission to the Planning Board for the above referenced project:

- A letter prepared by L.Y Contractor L.Y. Consulting Inc. dated December 18, 2025.
- Narrative Summary signed by Todd Eric Rosenblum, dated February 11, 2026.
- New York State Department of Environmental Conservation Letter of No Jurisdiction – Freshwater Wetlands, dated January 27, 2026.
- Email correspondence from Paige Lewandowski, New York State Department of Environmental Conservation, dated February 3, 2026.
- Site Plan for 25 Onderdonk Road, prepared by Sparaco and Youngblood, PLLC, dated February 2, 2026.
- Drainage Report prepared for 25 Onderdonk Road, prepared by Sparaco and Youngblood, PLLC, dated February 2, 2026.
- Landscape Plan entitled “Schwartz Residence”, prepared by Yost Design Landscape Architecture, dated December 5, 2025.
- Short Environmental Assessment Form, signed by Abraham Schwartz, dated November 9, 2025.

The project is proposing relocation of the existing wetlands and construction of a single-family dwelling within the 100-foot wetland adjacent area. The site is a part of the former Pomona Heights Recreation Area. Under existing conditions, the site consists of woods, a filled inground pool and a tennis court. In 2015 the site was granted a Wetland Permit that allowed for relocation of existing wetland areas and construction of a two-story frame house in the 100-foot wetland adjacent area.

The project previously appeared before Technical Advisory Committee (TAC) in February 2025 and in November 2025.

We have performed a review of the submitted documents and offer the following comments:

1. The Applicant provided a letter of no jurisdiction from New York State Department of Environmental Conservation (NYS DEC), no permits from NYS DEC will be required.

2. The Applicant indicated that the project previously submitted to the US Army Corps of Engineers (USACE) and received a USACE Nationwide Permit 29 Authorization that is valid through March 14, 2026. We note that if the construction doesn't begin until the expiration of the Authorization, the Applicant will be required to submit for reverification with USACE.
3. Bulk table incorrectly shows required Maximum Building Coverage 0.20, while required Maximum Building Coverage in R-50 is 0.10. Proposed building coverage is 0.11. The Applicant should confirm if variance for Maximum Building Coverage will be required.
4. The Applicant shall revise Lot Area calculations as required by § 193-26. The provided Lot Area calculations include 75% reduction for utility easements as per § 193-26.H. However, § 193-26.F also requires lot area reduction for water bodies.
5. As per definitions of Impervious Surface Ratio and Lot Area (§ 230-5) Maximum Impervious Surface Area and Front Yard Impervious Surface Area should be calculated utilizing the total horizontal area included within the boundaries of the lot:
 - IMPERVIOUS SURFACE RATIO - The total amount of impervious surface on a lot divided by the lot area.
 - LOT AREA - The total horizontal area included within the boundaries of the lot.

The Applicant should confirm impervious surface calculations and confirm required variances prior to applying to ZBA.

6. Review Bulk Table for consistency with dimensions shown on the drawing: front yard, side yard, total side yard are not consistent.
7. Building Height calculations and Exposed Building Height calculations have not been provided. The note under bulk table indicates that building height and exposed building height are per architectural plan. Our office has not received architectural drawings. Building height and exposed building height shall be confirmed prior to the issuance of a Building Permit.
8. Pool house is proposed in the location of existing utility pole. Please clarify if the pole will be relocated and show new location.
9. Footing drain is crossing detention system, please resolve this conflict.
10. Show elevations of all corners of proposed building.
11. Slope on the south side of the proposed wetland appears to be 1:2. The Applicant should consider providing gentler grade in this area, 1:3 is preferred.
12. Please add spot elevations to demonstrate positive drainage away from proposed pool on the west side of the pool.
13. Please specify self-closing and positive self-latching lockable gate at the pool.
14. Existing tennis court is not included in the proposed disturbance area. We note that if more than 1 acre of land to be disturbed, the Applicant will be required to file Notice of Intent with NYS DEC and prepare Stormwater Pollution Prevention Plan that only includes Erosion and Sediment Control as per Appendix B, Table 1 of GP-0-25-001.
15. The grading plan contains a significant amount of overlapping information and should be reviewed for clarity. Existing trees can be shown on existing conditions map, unnecessary spot grades and text can be turned off, erosion and sediment control plan can be shown on a separate sheet.
16. Proposed manhole detail shows 15" diameter pipe with 12x12 tee, please confirm required sizes of the pipe and fitting.
17. Required cover thickness shown on the Detention System Section Detail should be coordinated with the proposed grading.
18. Site area utilized in drainage calculations is not consistent: 1.96 ac is used for existing conditions and 1.77 ac for proposed conditions. Drainage analysis shall include gross lot area.
19. The Applicant identified the trees proposed to be removed. Please provide a total number of trees proposed to be removed.

25 Onderdonk Road
February 20, 2026

Should you have any questions, please do not hesitate to contact our office. We will continue our review upon receipt of updated/revised plan submissions and materials as noted above.

Sincerely,



Civil Design Works, LLC
Alena Guckian, P.E.
Project Engineer

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