



ZONING BOARD OF APPEALS MEETING AGENDA

February 18, 2026 at 7:30 PM
432 Route 306, Wesley Hills, NY 10952
Phone: 845-354-0400 | Fax: 845-354-4097

CALL TO ORDER

ROLL CALL

CONTINUED PUBLIC HEARING

1. The application submitted by Nancy Rubin on behalf of Abraham Spira for variances from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of a single family residence, inground swimming pool and cabana having a building coverage of .1228 instead of the maximum permitted of .10 and the variance previously granted of .113, impervious surface ratio of .29 instead of the maximum of .25, side yard of 22 feet for the cabana instead of the minimum required of 25 feet, total side yard of 46.6 feet instead on the minimum required 60 feet and rear yard of 7.0 feet for the inground swimming pool instead of the minimum required of 15 feet.

The subject premises are situated on the east side of Charlotte Drive approximately 1,200 feet west of Deerwood Road, known as 4 Charlotte Drive, designated on the Tax Map as Section 41.08, Block 1, Lot 35, in an R-35 Zoning District.

2. The application submitted by Cheskel March for variances from the provisions of Section 230-17 Attachment I and 230-31 of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of an addition to a residence having a total side yard of 45 feet instead of the minimum required of 60 feet, impervious surface ratio of .389 instead of the maximum permitted of .25 and building coverage of .206 instead of the maximum permitted of .10.

The subject premises are situated on the south side of Grandview Avenue approximately 200 feet west of Forshay Road, known as 174 Grandview Avenue, designated on the Tax Map as Section 41.11, Block 1, Lot 51, in an R-35 Zoning District.

PUBLIC HEARING

3. The application submitted by Nancy Rubin on behalf of Aaron Zelefsky for

variances from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of a single family residence having a side yard of 24.9 feet instead of the minimum required of 25 feet, impervious surface ratio of .259 instead of the maximum permitted of .25 and building coverage of .134 instead of the maximum permitted of .105. The property is part of an average density subdivision filed in the Rockland County Clerk's office as Map No. 4479, Book 86, Page 58.

The subject premises are situated on the south side of Roven Road approximately 400 feet east of Carefree Lane, known as 10 Roven Road, designated on the Tax Map as Section 41.11, Block 1, Lot 4, in an R-50 Zoning District.

4. The application submitted by Nochum Goldmunzer at Blueline USA on behalf of Samuel Breuer for a variance from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of an addition to a single family residence having a front yard of 26.5 feet instead of the minimum required of 35 feet.

The subject premises are situated on the northeast side of Skylark Drive approximately 850 feet west of Sherri Lane, known as 31 Skylark, designated on the Tax Map as Section 41.16, Block 1, Lot 90, in an R-50 Zoning District.

5. The application submitted by Norman Pomeranz for variances from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of a cabana having a side yard of 20.1 feet instead of the minimum required of 25 feet, total side yard of 55.3 feet instead of the minimum required of 60 feet and rear yard of 20 feet instead of the minimum required of 50 feet.

The subject premises are situated on the north side of Glenbrook Road approximately 260 feet west of Van Winkle Road, known as 5 Glenbrook Road, designated on the Tax Map as Section 41.11, Block 1, Lot 57, in an R-35 Zoning District.

6. The application submitted by 7 Bruck Court LLC for a variance from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of a single family residence and cabana having building coverage of .15 instead of the maximum permitted of .138.

The subject premises are situated on the west side of Bruck Court approximately 160 feet north of Charlotte Drive, known as 7 Bruck Court, designated on the Tax Map as Section 41.08, Block 2, Lot 12, in an R-35 Zoning District.

7. The application submitted by Mark Friedman for variances from the provisions of Section 230-17 Attachment I and Section 230-140(4)(a) of the Code

of the Village of Wesley Hills to permit the construction, maintenance, and use of a single family residence, swimming pool, cabana, tennis court and pergola having side yard of 25 feet for the cabana instead of the minimum required of 30 feet, rear yard of 28 feet instead of the minimum required of 50 feet, impervious surface ratio of .39 instead of the maximum permitted of .20 and a front yard impervious surface ratio of .23 instead of the maximum permitted of .15.

The subject premises are situated on the east side of Martha Road approximately 350 feet south of Grandview Avenue, known as 12A Martha Road, designated in the Tax Map as Section 41.14, Block 1, Lot 62, in an R-50 Zoning District.

8. The application submitted by Saul Horowitz for a variance from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills, to permit the maintenance and use of a deck having a side yard of 15.6 feet instead of the minimum required of 25 feet and a total side yard of 41.9 feet instead of the minimum required of 60 feet.

The subject premises are situated on the north side of East Willow Tree Road approximately 120 feet west of Arcadian Drive, known as 21 Rochelle Lane, designated on the Tax Map as Section 41.08, Block 2, Lot 58.8, in an R-35 Zoning District.

9. The application submitted by Dov and Freda Hook for a variance from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of an addition to a single family residence having a side yard of 15 feet instead of the minimum required of 30 feet.

The subject premises are situated on the north side of Timber Trail approximately 790 feet east of Wilder Road, known as 21 Timber Trail, designated on the Tax Map as Section 32.14, Block 1, Lot 13, in an R-50 Zoning District.

DISCUSSIONS

10. Local Law Amending the Code of the Village of Wesley Hills Allowing the Use of Catering Facilities in the Village of Wesley Hills.
11. The application submitted by Ahuva Katz Cherns for a variance from the provisions of Section 230-140(5) of the Code of the Village of Wesley Hills, to permit the maintenance and use of a cabana that is 2,337 square feet instead of the maximum permitted of 900 square feet.

The subject premises are situated on the north side of Willow Tree Road approximately 700 feet west of New York State Route 306, known as 38 Willow Tree Road, designated on the Tax Map as Section 41.07, Block 2, Lot 33, in an R-50 Zoning District.

APPROVAL OF MINUTES

12. December 29, 2025 and January 21, 2026

ADJOURNMENT



LY Contractor LY Consulting Inc.
P.O. Box 27
Pomona, NY 10970
845-424-0244

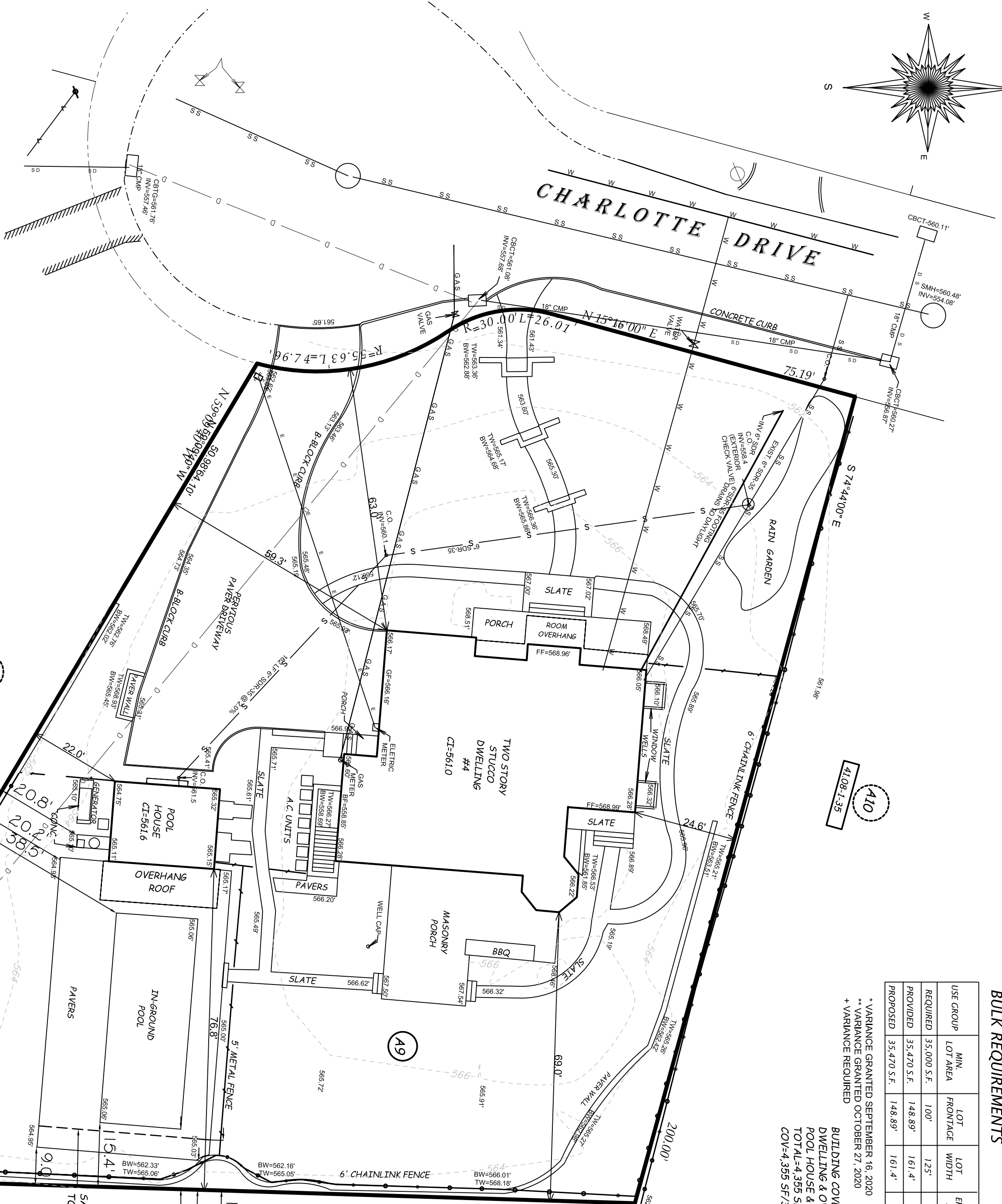
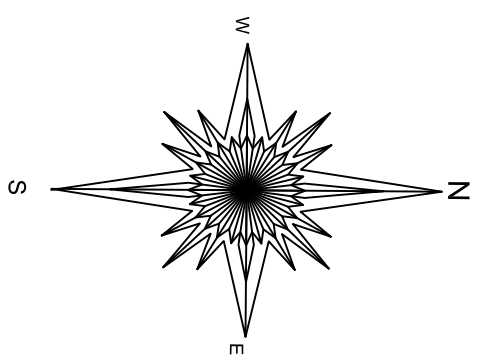
1/29/26

In this narrative, you will find a response to the comments in question at the previous ZBA meeting.

1. We intend to remove the rear of the pool decking, leaving only the stone cap on the pool cover box. This would then have the rear pool setback be at 12 feet.
2. We have the variance for and are currently not over our impervious surface ratio of .29 but it is in turn being reduced by an additional 200 feet, which is incidentally commensurate with the pool house covered porch.
3. We received a variance for 15 ft. side yard and a total side yard of 30 ft. Instead we built it at 22 ft. side yard with a total side yard of 46.6 ft.
4. The protrusion indicated is pool equipment, and not covered.
5. Please see the attached affidavit from the applicants.

A handwritten signature in black ink, appearing to read 'Isaac Steinfeld', written over a faint, light-colored signature line.

Isaac Steinfeld
CEO
LY Contractor LY Consulting Inc.



BULK REQUIREMENTS

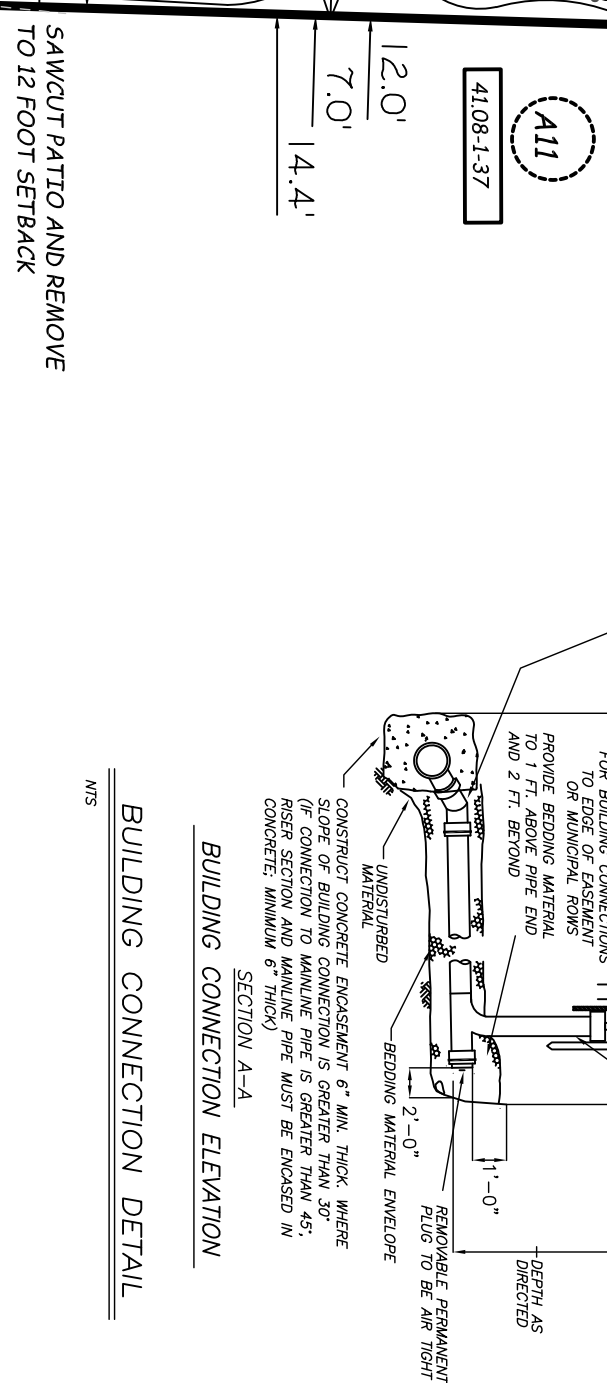
USE GROUP	MIN. LOT AREA	FRONTAGE	LOT WIDTH	EFFECTIVE SQUARE	FRONT YARD	SIDE YARD	TOTAL YARD	REAR YARD	REAR F.H.S.E.	SIDE YARD	REAR YARD	MAXIMUM IMPERVIOUS SURFACE RATIO	IMPERVIOUS SURFACE RATIO	FRONT YARD IMPERVIOUS RATIO	MAXIMUM HEIGHT	MAXIMUM EXPOSED BUILDING HEIGHT
REQUIRED	35,000 S.F.	100'	125'	125'	50'	25'	60'	50'	50'	15'	15'	0.25	0.25	0.20	2 1/2	25
PROVIDED	35,470 S.F.	148.89'	161.4'	125	63'	24.6'	46.6'	69'	76.8'	22.0'	7.0'	0.29	0.29	0.07*	2	34'
PROPOSED	35,470 S.F.	148.89'	161.4'	125	63'	24.6'	46.6'	69'	76.8'	22.0'	12.0'	0.29*	0.29*	0.07*	2	34'

* VARIANCE GRANTED SEPTEMBER 16, 2020
 ** VARIANCE GRANTED OCTOBER 27, 2020
 + VARIANCE REQUIRED

BUILDING COVERAGE:
 DWELLING & OVERHANG=3,597 SF
 POOL HOUSE & ROOF=758 SF
 TOTAL=4,355 SF
 COV=4,355 SF/35,470 SF=0.1228-0.12

COVERAGES:
 DWELLING & OVERHANG=3,597 SF
 FRONT PORCH=259 SF
 POOL HOUSE & ROOF=758 SF
 FRONT WALK=512 SF
 FRONT SLATE WALKS=703 SF
 DRIVEWAY=3,293 SF (PERVIOUS NIC)
 SIDE PORCH=42 SF
 SLATE WALK=348 SF
 BASEMENT STAIRS & PAVERS=205 SF
 STEPPERS=49 SF
 PAVES BY POOL HOUSE=71 SF
 GEN PAD=24 SF
 EQ PAD=24 SF
 PAD=6 SF
 POOL & PATIO=2,998 SF (TBR)=2398 SF
 MASONRY PORCH=1,017 SF
 REAR PORCH=116 SF
 TOTAL=10,139 SF
 COV=10,139 SF/35,470 SF=0.2915-0.29

FRONT YARD IMPERVIOUS COVERAGE:
 FRONT YARD AREA=9,900 SF
 SLATE=243 SF
 FRONT WALK=445 SF
 TOTAL=688 SF
 FYIA=688 SF/9,900 SF=0.0695-0.07



BUILDING CONNECTION DETAIL
 SECTION A-A
 SECTION B-B

4 CHARLOTTE DR.
 FINAL SURVEY FOR
 TAX MAP DESIGNATION: 41.08-1-35

TOWN OF RAMAPO, ROCKLAND COUNTY
 WESLEY HILLS, NEW YORK
 REV 11/7/25
 REV 11/4/25
 REV 10/29/24
 REV 08/26/25
 FEBRUARY 1, 2025
 SCALE: 1" = 20'



ANTHONY ROMANO P.L.S.
 31 ROSMANS ROAD
 THIELS N.Y. 10964
 845 429 5290 FAX 429 5974

NOTE
 THIS SURVEY WAS PREPARED FOR THE PARTIES AND PURPOSE INDICATED HEREON AND EXTENSION OF THE SCOPE OF THE ENGAGEMENT.
 THIS SURVEY MAP IS SUBJECT TO AN ACCURATE ASSESSMENT OF THE SURFACE BELOW THE SURFACE OF THE GROUND THAT ARE NOT VISIBLE ARE NOT SHOWN.

BEING LOT 9 ON A CERTAIN MAP ENTITLED
 "MAYFLOWER KNOLLS"
 FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE
 AS MAP #3150 BOOK #66 PAGE #70 ON 07/26/1963.

10 Roven Road, Monsey, NY 10952

01/08/2026



Attached you will find an application to the Zoning Board of Appeals.

We are looking to construct a new single family home and are seeking variances for a couple of non-conforming items.

We are requesting greater building coverage than allowed. The Village requires 10.5% while the proposed conditions are 13.4%. The Village requires a minimum total side yard of 75' while the proposed conditions are 69.9'. The Village requires a minimum of 30' side yard while the proposed conditions are 24.9'. The Village requires a maximum impervious surface ratio of 20% while the proposed conditions are 25.9%.

PART I

Name of Municipality VILLAGE OF WESLEY HILLS Date 1/8/26

Please check all that apply:

<input type="checkbox"/> Planning Board	<input type="checkbox"/> Architectural Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Municipal Board	
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Pre-preliminary/Sketch
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Zoning Code Amendment	<input type="checkbox"/> Zone Change
<input checked="" type="checkbox"/> Variance * (Fill out Part II of this form.)	



Project Name: 10 Raven Rd, Montey, NY 10952

Applicant: Nancy Rubin Phone # 845-424-0244

Address 4 Rosmel Drive, Montey, NY 10952
Street Name & Number (Post Office) State Zip code

Property Owner: Aaron Zelefsky Phone # 718-228-1653

Address 10 Raven Rd, Montey, NY 10952
Street Name & Number (Post Office) State Zip code

Engineer/Architect/Surveyor: Paul Gdanski Phone # 917-418-0999

Address 3512 Whitaker Ct. Mahwah, NJ 07430
Street Name & Number (Post Office) State Zip code

Attorney: N/A Phone # _____

Address _____
Street Name & Number (Post Office) State Zip code

Contact Person: Nancy Rubin Phone # 845-424-0244

Address 4 Rosmel Drive, Montey, NY 10952
Street Name & Number (Post Office) State Zip code

Tax Map Designation:

Section 41.11 Block 1 Lot(s) 4
Section _____ Block _____ Lot(s) _____

Location: On the South side of Raven,
_____ feet East of Carotree Lane.

Acreeage of Parcel 32,471 SF Zoning District R-50
School District East Ramapo Postal District 10952

Project Description: (If additional space required, please attach a narrative summary.)

We are looking to construct a new single family home. We are looking to obtain variances for the following non-conformities.
The minimum side yard is proposed at 24.9 where 3.0 is required.
The minimum total side yard is proposed at 69.9 where 75 is required.
Maximum impervious surface ratio is proposed at 25.9% where 20% is required.
The maximum building coverage is proposed at 13.4% where 10.5% is required.

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ___ If so, what amount? _____

Project History: Has this project ever been reviewed before? N/A

If so, list case number, name, date, and the board you appeared before.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

N/A

"Permission is hereby granted to the Village of Wesley Hills, its agents, servants and employees to enter upon the above described property solely for the purposes incidental to the within application at reasonable times upon reasonable notice to the owner or tenant in possession."

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 K, L, M, AND N.

_____ State or County Road
_____ Long Path
_____ Municipal Boundary

_____ State or County Park
_____ County Stream
_____ County Facility

List name(s) of facility checked above. _____

Applicant's Signature and Certification

State of New York)
County of Rockland) SS.:
Town/Village of Wesley Hill)

I, Nancy Rubin, hereby ~~depone~~^{affirm} and say that all the above statements contained in the papers submitted herewith are true.

Mailing Address Nancy Rubin
4 Kusmel Drive
Montey, NY 10952



SWORN to before this 8th day of Jan, 2026

Notary Public

CAMILLE GUIDO-DOWNEY
NOTARY PUBLIC STATE OF NEW YORK
RESIDING IN ROCKLAND COUNTY
NO. 010UR337245
MY COMMISSION EXPIRES 02/22/30 28

Affidavit of Ownership/Owner's Consent

State of New York)
County of Rockland) SS.:
Town/Village of Wesley Hills

I, Aaron Zelefsky being duly sworn, hereby
depose and say that I reside at: 25 South Parker Drive Monsey NY 10952

in the county of Rockland in the state of NY

I am the * ~~Aaron Zelefsky~~ owner in fee simple of premises located at:
10 Raven Road Monsey NY 10952

described in a certain deed of said premises recorded in the Rockland County Clerk's
Office in Liber _____ of conveyances, page _____.

Said premises have been in my/its possession since 19_____. Said premises are
also known and designated on the Town of Ramapo Tax Map as:
section 41.11 block 1 lot(s) 4

I hereby authorize the within application on my behalf, and that the statements of fact
contained in said application are true, and agree to be bound by the determination of the
board.

Owner Aaron Zelefsky
Mailing Address 25 South Parker Drive
Monsey NY 10952

SWORN to before this
29 day of December, 2025

[Signature]
Notary Public



* If owner is a corporation, fill in the office held by deponent and name and provide a list of all directors, officers and stockholders owning more than 5% of any class of stock.

Affidavit Pursuant to Section 809 of the General Municipal Law

State of New York)
County of Rockland) SS.:
Town/Village of Wesley Hill)

I, Nancy Rubin, being duly ^{affirm} sworn, hereby depose and say that all the following statements and the statements contained in the papers submitted herewith are true and that the nature and extent of any interests set forth are disclosed to the extent that they are known to the applicant.

1. Print or type full name and post office address

Nancy Rubin
4 Kismet Drive
Monsey, NY 10952

certifies that he is owner or agent of all that certain lot, piece or parcel of land and/or building described in this application and if not the owner that he has been duly and properly authorized to make this application and to assume responsibility for the owner in connection with this application for the relief below set forth:

2. To the Zoning Board of Appeals of the Town/Village of
(Board, Commission or Agency)
Wesley Hill, Rockland County, New York:

Application, petition or request is hereby submitted for:

- Variance or modification from the requirement of Section 230-17;
- Special permit per the requirements of Section _____;
- Review and approval of proposed subdivision plat;
- Exemption from a plat or official map;
- An order to issue a certificate, permit or license;
- An amendment to the Zoning Ordinance or Official Map or change thereof;
- Other (explain) _____;

To permit construction, maintenance and use of a new single family home.

3. Premises affected are in a R-50 zone and from the town of Ramapo tax map, the property is know as Section 41.11, Block, 1, Lot(s) 4.

4. There is no state officer, Rockland County Officer or employee or town/village officer or employee nor his or her spouse, brother, sister, parent, child or grandchild, or a spouse of any of these relatives who is the applicant or who has an interest in the person, partnership or association making this application, petition or request, or is an officer, director, partner or employee of the applicant, or that such officer or employee, if this applicant is a corporation, legally or beneficially owns or controls any stock of the applicant in excess of 5% of the total of the corporation if its stock is listed on the New York or American Stock Exchanges; or is a member or partner of the applicant, if the applicant is an association or a partnership; nor that such town/village officer or employee nor any member of his family in any of the foregoing classes is a party to an agreement with the applicant, express or implied, whereby such officer or employee may receive any payment or other benefit, whether or not for service rendered, which is dependent or contingent upon the favorable approval of this application, petition or request.

5. That to the extent that the same is known to your applicant, and to the owner of the subject premises **there is disclosed herewith** the interest of the following officer or employee of the State of New York or the County of Rockland or of the Town/Village of Wesley Hills in the petition, request or application or in the property or subject matter to which it relates:

(if none, so state)

- a. Name and address of officer or employee N/A
- b. Nature of interest _____
- c. If stockholder, number of shares _____
- d. If officer or partner, nature of office and name of partnership _____
- e. If a spouse or brother, sister, parent, child, grandchild or the spouse of any of these blood relatives of such state, county or town/village officer or employee, state name and address of such relative and nature of relationship to officer and employee and nature and extent of office, interest or participation or association having an interest in such ownership or in any business entity sharing in such ownership. _____

f. In the event of corporate ownership: A list of all directors, officers and stockholders of each corporation owning more than five (5%) percent of any class of stock, must be attached, if any of these are officers or employees of the State of New York, or of the County of Rockland, or of the Town/Village of Wesley Hills.
I, Nancy Rubin, do hereby ~~depose~~ ^{swear} and say that all the above statements and statements contained in the papers submitted herewith are true, knowing that a person who knowingly and intentionally violates this section is guilty of a misdemeanor.

Mailing Address Nancy Rubin
4 Rosmel Drive
Monsey, NY 10952 *NR*

SWORN to before this

[Signature]

1 day of Jan, 2026

Notary Public

CAMILLE GUIDO-DOWNEY
NOTARY PUBLIC STATE OF NEW YORK
RESIDING IN ROCKLAND COUNTY
NO. 01C00037245
MY COMMISSION EXPIRES 02/23/28 *28*

VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

AFFIDAVIT OF OWNERSHIP

STATE OF NEW YORK
COUNTY OF ROCKLAND } SS:
VILLAGE OF WESLEY HILLS }

Aaron Zelefsky being duly sworn, deposes and
says that he/she resides at 25500A Panther Drive
Mansery NY 10952

in the County of Rockland, State of New York; that he/she is the owner in
fee of all that certain lot, piece or parcel of land situated, lying and being
in the Village of Wesley Hills, and designated on the Town of Ramapo
Map as Section No. 41-11 Lot No. 4 and that he/she hereby
authorizes the attached application to be submitted in his/her behalf and
that the statements of fact contained in said application are true.

The applicant is the (owner) (contract vendee) of the said property.

Owner: Aaron Zelefsky
Address: 10 Raven Road
Mansery NY 10952

Sworn to before me this
29 day of December 2025

[Signature]
Notary Public



DISCLAIMER

APPLICANT TAKES FULL RESPONSIBILITY FOR RESEARCHING THE TAX MAP FOR THE LIST OF NAMES OF PROPERTY OWNERS ON THE ENCLOSED *AFFIDAVIT OF MAILING LIST*, AND SUPPLYING THE NECESSARY AMOUNT OF SELF-ADDRESSED STAMPED ENVELOPES.

THE APPLICANT'S ENVELOPES MUST COINCIDE WITH THE LIST. THE CLERK'S RESPONSIBILITY IS LIMITED TO CHECKING NAMES ON THE ENVELOPES AGAINST THE AFOREMENTIONED AFFIDAVIT BEFORE MAILING THEM.

RECEIPT OF THIS DISCLAIMER IS ACKNOWLEDGED

Nancy Ebin, NR
APPLICANT

1/2/24
DATED



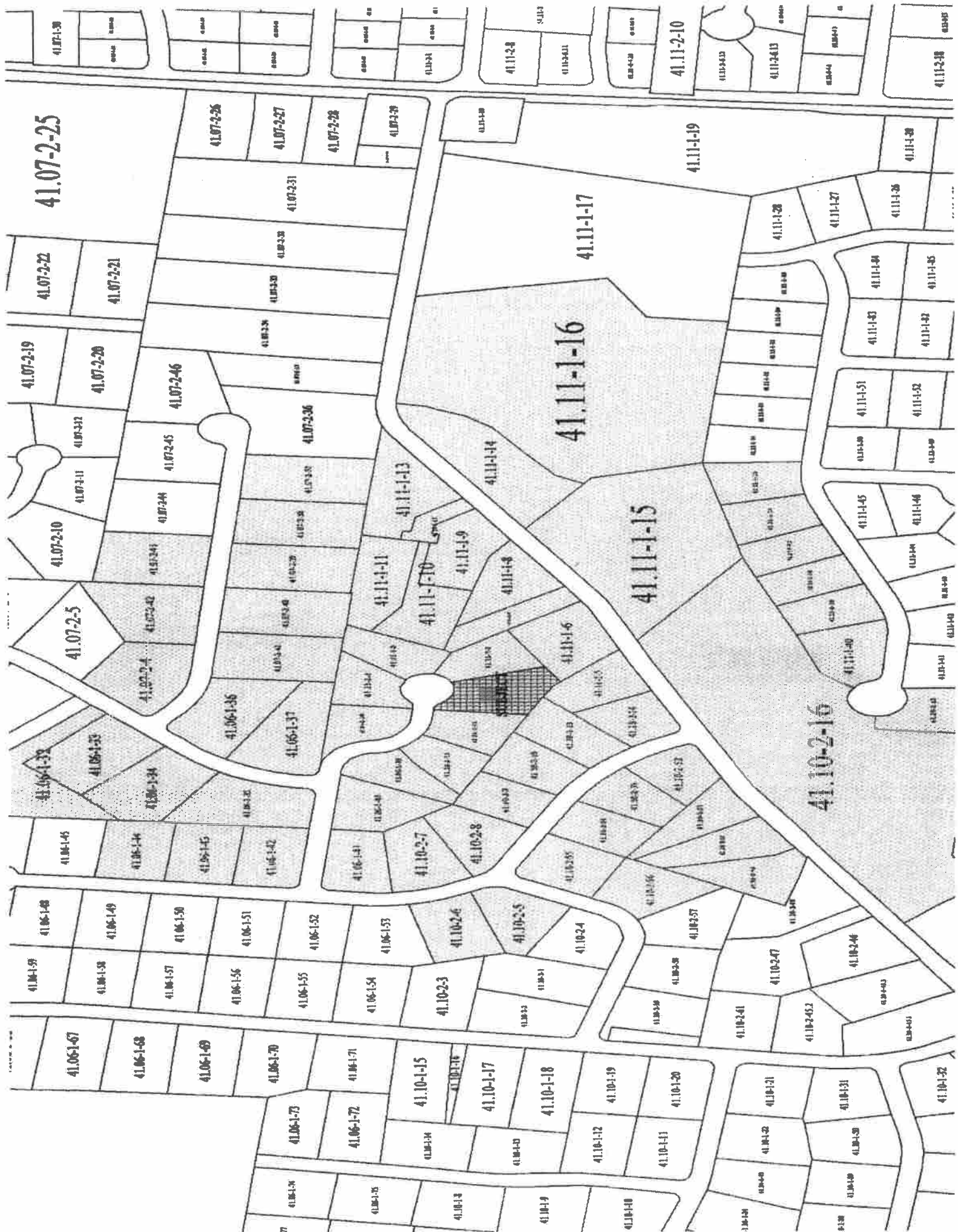
PART II

Application before the Zoning Board of Appeals

Application, petition or request is hereby submitted for:

- Variance from the requirement of Section 230-17 _____;
- Special permit per the requirements of Section _____;
- Review of an administrative decision of the Building Inspector;
- An order to issue a Certificate of Occupancy;
- An order to issue a Building Permit;
- An interpretation of the Zoning Ordinance or Map;
- Certification of an existing non-conforming structure or use;
- Other (*explain*) _____;

To permit construction, maintenance and use of a new single family home.



11/41.11-1-37
SCHLISSELFELD SIMEON
HILLEL & CHAYA
19 AMSTERDAM AV
MONSEY, NY 10952

11/41.11-1-2
EDELSTEIN STEVEN & BLIMA
14 ROVEN RD
MONSEY, NY 10952

11/41.11-1-40
MEIR MOSHE
25 AMSTERDAM AV
MONSEY, NY 10952

11/41.10-2-16
RAMAPO TOWN OF
35-406 * *
237 RT 59
SUFFERN, NY 10901

11/41.10-2-52
HABERMAN IRWIN L &
MARILYN
1 DIKE DR
MONSEY, NY 10952

11/41.10-2-56
CHAPMAN DAVID & STEPHANIE
7 CARTER LA
MONSEY, NY 10952

11/41.10-2-10
GROHMAN ABRAHAM
178 GRANDVIEWV
MONSEY, NY 10952

11/41.11-1-15
RAMAPO TOWN OF
237 RT 59
SUFFERN, NY 10901

11/41.11-1-6
STATE OF NEW YORK
C/O COUNTY FINANCE OFFICE
50 SANATORIUM ROAD
BUILDING A - 8TH FLOOR
POMONA, NY 10970

11/41.11-1-7
MC NAMARA JOHN E
92 WILLOW TREE RD
MONSEY, NY 10952

11/41.10-2-49
BERNAL JAVIER H
130 WILLOW TREE RD
MONSEY, NY 10952

11/41.06-1-39
ROZENBERG KENNETH
3 HUNTERS RUN
SUFFERN, NY 10901

11/41.11-1-39
FRUCHTHANDLER BARUCH D
& CHERYL
23 AMSTERDAM AVENUE
MONSEY, NY 10952

11/41.10-2-50
SPIRA ZEV
124 WILLOW TREE RD
MONSEY, NY 10952

11/41.11-1-36
KOBlick YEHUDA &
REBECCA
17 AMSTERDAM AV
MONSEY, NY 10952

11/41.10-2-53
BERKOWITZ STEVEN & SYLVIA
3 DIKE DR
MONSEY, NY 10952

11/41.10-2-54
HERZKA MARK R &
ELIZABETH N
5 DIKE DR
MONSEY, NY 10952

11/41.10-2-55
ZEILINGOLD SHMARY & CHAYA
M
9 CARTER LA
MONSEY, NY 10952

11/41.11-1-8
GUTMAN SHAINA &
DEUTSCH ROCHELLE
80 WILLOW TREE ROAD
WESLEY HILLS, NY 10952

11/41.11-1-3
GOLD SIMON & SARAH
12 ROVEN RD
MONSEY, NY 10952

11/41.10-2-5
ROTBERG TM IRREV TRUST
61 PARKER DR S
MONSEY, NY 10952

11/41.10-2-15
ZARETZKY HARVEY E +
GLORIA R
26 AMSTERDAM AV
MONSEY, NY 10952

11/41.11-1-38
FRUCHTHANDLER BARUCH D &
CHERYL
21 AMSTERDAM AV
MONSEY, NY 10952

11/41.10-2-51
SALKIN STUART D + SHEILA
D
120 WILLOW TREE RD
MONSEY, NY 10952

11/41.11-1-35
KRAM DAVID S & LISA
15 AMSTERDAM AVE
MONSEY, NY 10952

11/41.10-2-14
GINSBERG MOSES & DIANE
2 DIKE DRIVE
MONSEY, NY 10952

11/41.11-1-5
DEALCA ROQUE JR
114 WILLOW TREE RD
MONSEY, NY 10952

11/41.10-2-13
PARDO SCOTT & GAIL
4 DIKE DR
MONSEY, NY 10952

11/41.10-2-9
BERNSTEIN HERBERT & ANNE
8 DIKE DR
MONSEY, NY 10952

11/41.11-1-4
ROVEN ROAD LLC
C/O KLEIN JACK
604
9401 COLLINS AVE
SURFSIDE, FL 33154

11/41.10-2-12
GREENSTEIN GARY S &
JADINE K
8 ROVEN RD
MONSEY, NY 10952

11/41.10-2-8
WASSERMAN FAMILY
IRREVOCABLE TRUST
8A DIKE DR
WESLEY HILLS, NY 10952

11/41.11-1-9
IMER NOMI
2 WINDWARD LANE
MONSEY, NY 10952

11/41.10-2-6
ZELINGER JOSPEH & ADINA
9 DIKE DRIVE
MONSEY, NY 10952

11/41.11-1-12
BORGEN D & J & NADOFF Y &
IMER N, & NOMI
IMER & KORNGOLD JAY &
ANNETTE
2 WINDWARD LA

11/41.10-2-11
KATZ MARSHALL & RENA
6 ROVEN RD
MONSEY, NY 10952

11/41.11-1-14
WESLEY HILLS VILLAGE OF
432 RT 306
MONSEY, NY 10952

11/41.11-1-16
HOLY FAMILY SYRO-MALABAR
CATHOLIC CHURCH ROCKLAND
NY INC OF ST THOMAS SYRO-
MALABAR CATHOLIC DIOCESE
5 WILLOW TREE RD

11/41.10-2-7
NEEDLEMAN SCOTT N & DORIT
10 DIKE DR
MONSEY, NY 10952

11/41.11-1-10
KORNGOLD JAY & ANNETTE
18 MANCHESTER DRIVE
SPRING VALLEY, NY 10977

11/41.11-1-13
NADOFF YEHUDA
68 WILLOW TREE RD
WESLEY HILLS, NY 10952

11/41.11-1-11
BORGEN DAVID & JACQUELINE
6 WINDWARD LA
MONSEY, NY 10952

11/41.11-1-1
ROTHSCHILD YEHUDA
16 ROVEN DR
MONSEY, NY 10952

11/41.06-1-40
ROSENFELD SHOSHANA
2 ROVEN ROAD
WESLEY HILLS, NY 10952

11/41.06-1-41
FINKELSTEIN MICHAEL &
ADINA
12 DIKE DR
MONSEY, NY 10952

11/41.06-1-38
MOTECHEIN ELANA
1023 WILLOWBROOK RD
STATEN ISLAND, NY 10314

11/41.07-2-37
KATSOFF IRWIN & JUDY
11 BAKER LA
SUFFERN, NY 10901

11/41.07-2-38
ZLOTNICK DOVID & MEIRA
9 BAKER LA
SUFFERN, NY 10901

11/41.06-1-42
POLLAK JAY & ORZEL
YOCHEVED NAOMI
14 DIKE DRIVE
MONSEY, NY 10952

11/41.07-2-39
PEACOCK FAMILY LIMITED
PARTNERSHIP THE
7 BAKER LA
SUFFERN, NY 10901

11/41.06-1-37
STEINHART MICHAEL &
MICHELLE
12 CAREFREE LA
SUFFERN, NY 10901

11/41.07-2-40
BERKOWITZ DAVID & SHIRA
5 BAKER LA
SUFFERN, NY 10901

11/41.07-2-41
SACHS DANIEL &
STERN-SACHS ESTHER
3 BAKER LA
SUFFERN, NY 10901

11/41.06-1-36
RIEDER ISAAC & RACHEL
1 BAKER LANE
SUFFERN, NY 10901

11/41.06-1-43
WILHELM CHAYA D
16 DIKE DR
MONSEY, NY 10952

11/41.06-1-35
WINFIELD STEVEN S & LISA
R
15 CAREFREE LA
SUFFERN, NY 10901

11/41.06-1-44
BRAND ASHER
20 DIKE DRIVE
MONSEY, NY 10952

11/41.07-2-43
KLUGMAN MAURICE & RENEE
6 BAKER LA
SUFFERN, NY 10901

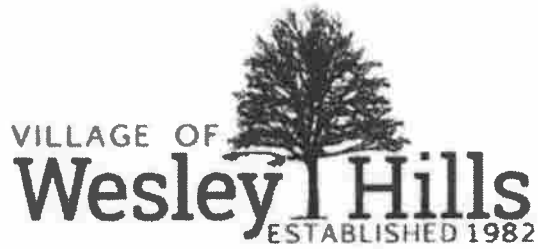
11/41.06-1-34
ROSENSTOCK JE LEGACY
TRUST
13 CAREFREE LA
SUFFERN, NY 10901

11/41.07-2-4
SCHLACHTER DAVID M &
ROCHELLE T
8 CAREFREE LA
SUFFERN, NY 10901

11/41.07-2-42
GOTLIEB FAMILY
IRREVOCABLE TRUST
4 BAKER LANE
SUFFERN, NY 10901

11/41.06-1-33
BERMAN DAVID SETH
11 CAREFREE LANE
SUFFERN, NY 10901

11/41.06-1-32
9 CAREFREE LLC
985 EAST 18TH ST
BROOKLYN, NY 11230



432 Route 306

Wesley Hills, N.Y. 10952-1221

Phone: 845-354-0400 Fax: 845-354-4097 www.wesleyhills.gov

Email: BuildingDept@wesleyhills.gov

Dated: January 2, 2026

Tax Parcel ID: 41.11-1-4

Address: 10 Roven Road

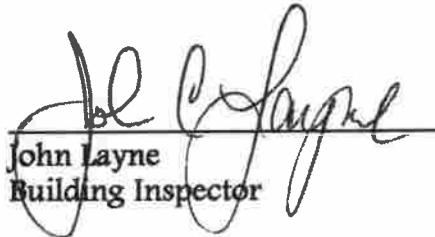
Applicant: Aaron Zelefsky

BUILDING AND ZONING DEPARTMENT:

Please be advised that your application for a building permit for a single-family home has been denied. The requirements of the Zoning Law of the Village of Wesley Hills have not been satisfied. The following variances are required:

- ~Minimum side yard of 24.9' where 30' is required
- ~Minimum total side yard of 69.9' where 75' is required
- ~Maximum impervious surface ratio of 25.9% where 20% is required
- ~Maximum building coverage of 13.4% where 10.5% is required

In addition, the Zoning Board of Appeals may review any existing non-conforming items and previously granted variances.

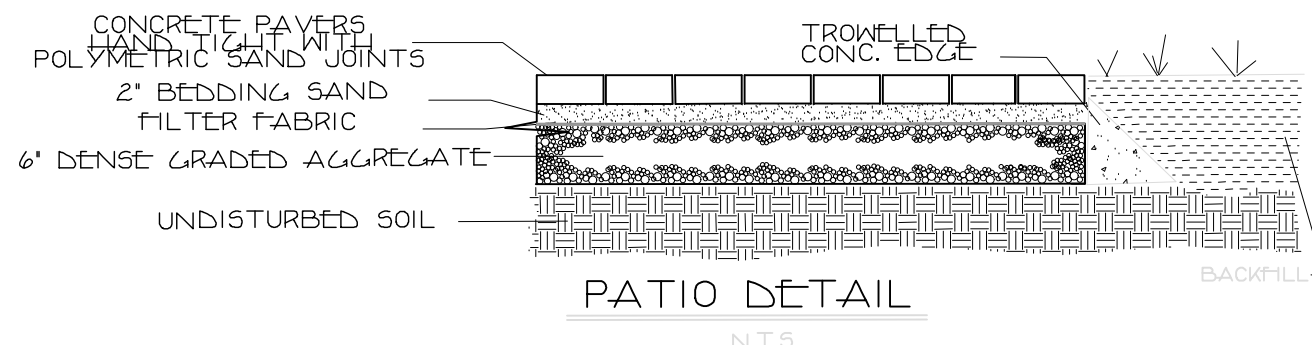

John Layne
Building Inspector

cc: Zoning Board of Appeals

*Mayor: Marshall Katz Deputy Mayor: Milton Schwartz
Trustees: Yisroel Cherns, Tova Krull, Joseph Mause
Village Clerk: Camille Guido-Downey Village Attorneys: Howard Richman*

REFERENCES:
 ALL BOUNDARY INFORMATION IS REFERENCED FROM A SURVEY PREPARED BY ANTHONY R. CELENTANO, PLS. MARCH 5, 2025.
 BEING LOT 6 ON A CERTAIN MAP ENTITLED "SUBDIVISION OF PROPERTY FOR JC BIRD, INC." FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP #4479 BOOK #86 PAGE #88

NOTES:
 1. IF LOWEST FLOOR TO BE SERVED IS BELOW THE UPSTREAM RIM ELEVATION AN EXTERIOR CHECK VALVE MUST BE INSTALLED.
 2. PERMEABLE PAVEMENT INSTALLATION MUST BE DONE PER MANUFACTURER SPECIFICATIONS AND MUST BE CERTIFIED BY LICENSED PROFESSIONAL ENGINEER. SOIL TESTING REQUIRED PER NYSDEC APPENDIX D.
 3. SOIL TESTING SHALL BE PERFORMED TO CONFIRM DEPTH TO BEDROCK.



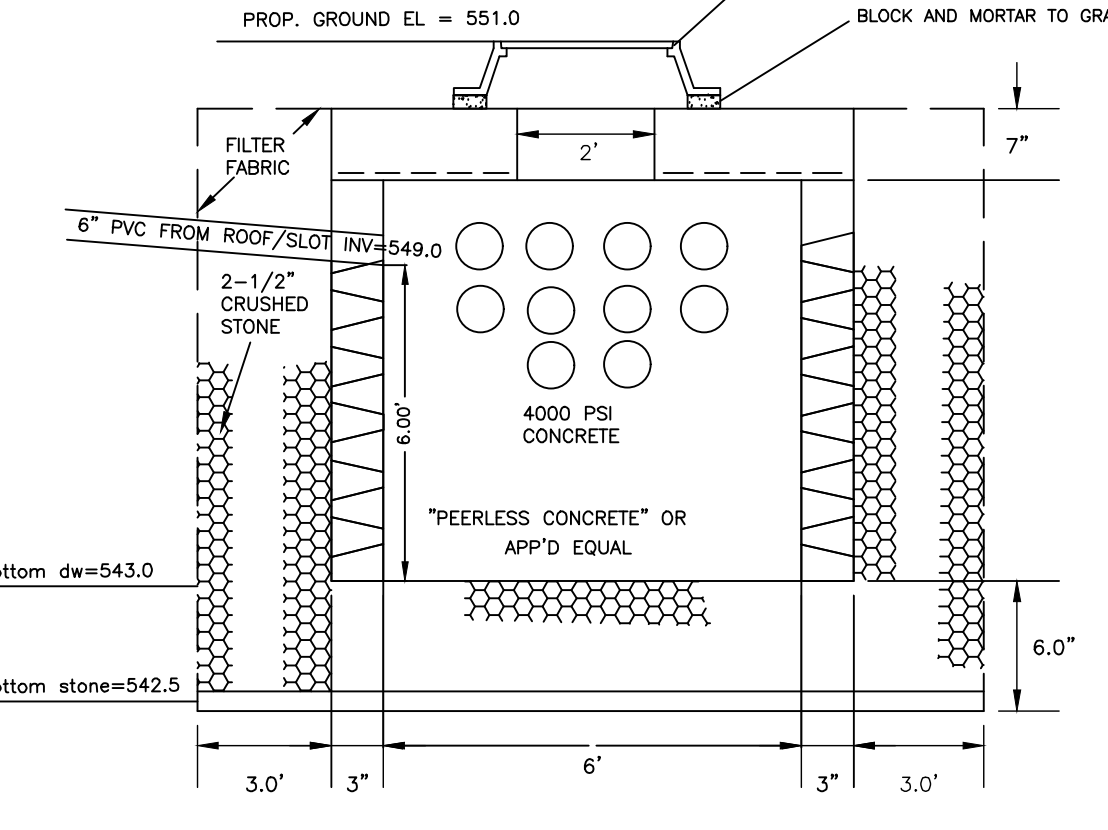
VILLAGE OF WESLEY HILLS BULK REQUIREMENTS
 ZONE R-50
 SINGLE FAMILY DWELLING

	MINIMUM LOT AREA (SF)	MINIMUM LOT FRONTAGE (FT)	MINIMUM LOT WIDTH (FT)	MINIMUM EFFECTIVE SQUARE SIDE (FT)	FRONT YARD (FT)	SIDE YARD (FT)	TOTAL SIDE YARD (FT)	REAR YARD (FT)	MAXIMUM IMPERVIOUS SURFACE RATIO	MAXIMUM FRONT YARD IMPERVIOUS SURFACE RATIO	MAXIMUM BUILDING COVERAGE	MAXIMUM BUILDING HEIGHT (STORIES/FT)	MAXIMUM BUILDING HEIGHT (FT)
REQD.	50,000	100	150	150	50	30	75	50	0.20	0.15	0.10/0.105	2.5 / 25	40
EXIST.	32,471.7	110.0	120.8*	150	46.2*	32.7	74.5*	102.8	0.16	0.091	0.074	<2.5 / 20	29.0
PROD.	32,471.7	110.0	120.8*	150	59.0	24.9*	69.9*	65.0	0.259*	0.122	0.134*	2.0 / 24.1'	31.5'

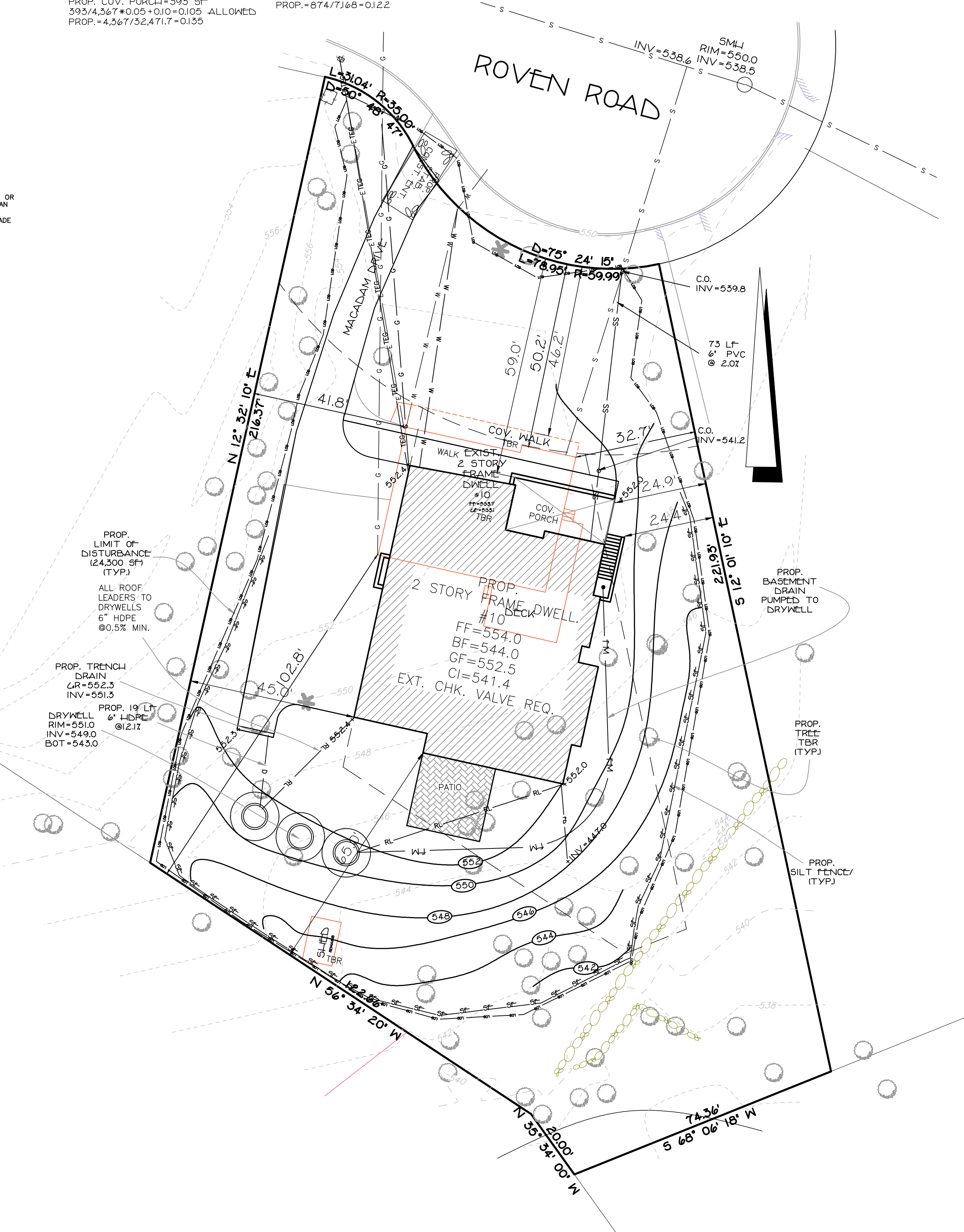
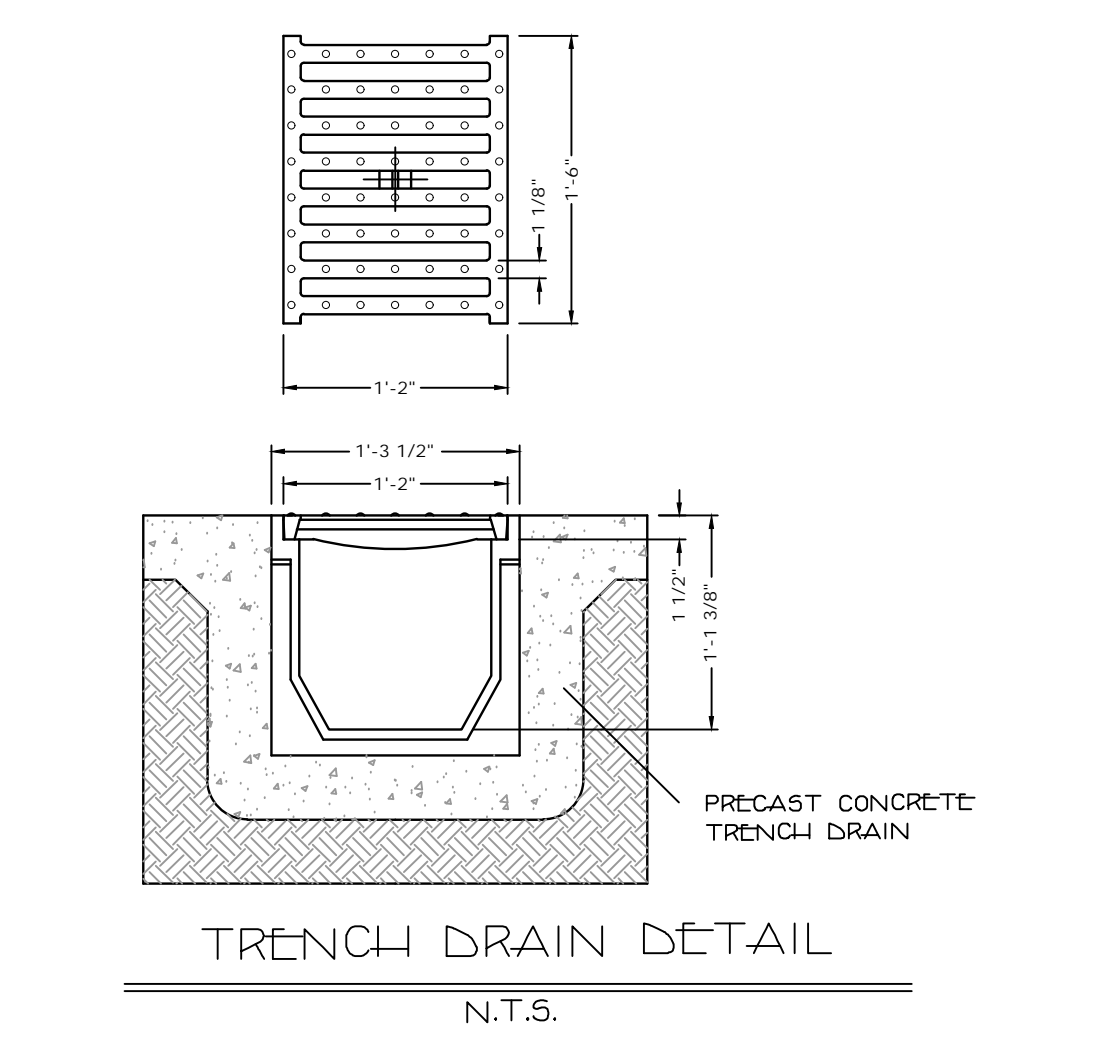
* EXISTING CONDITION - NON CONFORMING
 + VARIANCE REQUIRED
 EXISTING SURFACES:
 DWELLING = 1904 SF (TBR)
 DECK = 387 SF (TBR)
 DRIVEWAY = 1380 SF (TBR)
 SHED = 98 SF (TBR)
 TOTAL EXISTING IMPERVIOUS = 3,769 SF / 32,471.7 SF = 0.116
 PROPOSED:
 DWELLING = 3974 SF
 COV. PORCH = 383 SF
 DRIVEWAY & WALK = 3564 SF
 PATIO = 400 SF
 BASEMENT STAIRS = 84 SF
 TOTAL PROPOSED IMPERVIOUS = 8,405 SF / 32,471.7 SF = 0.259

BUILDING COVERAGE:
 DWELLING = 1904 SF (TBR)
 DECK = 387 SF (TBR)
 SHED = 98 SF (TBR)
 TOTAL = 2389 SF
 COV = 2389 SF / 32,471.7 = 0.074
 PROP. DWELLING = 3974 SF
 PROP. COV. PORCH = 383 SF
 395 / 4367 * 0.05 + 0.10 = 0.105 ALLOWED
 PROP. = 4267 / 32,471.7 = 0.159
 FRONT YARD IMPERVIOUS SURFACES:
 FVIA = 552.1 SF
 EX. DRIVEWAY = 504 SF
 EXIST. = 504 / 538.6 = 0.091
 PROPOSED:
 FVIA = 7169 SF
 DRIVEWAY & WALK = 874 SF
 PROP. = 874 / 7169 = 0.122

BUILDING HT CALCS:
 BUILDING HEIGHT -
 AVG. EXIST. GRADE = 549.9 + 552.4 - 1102.5 / 2 = 551.2
 554.0 - 551.2 = 2.9 + 21.2 FT TO EAVE = 24.1'
 EXPOSED HEIGHT -
 AVG. FINISHED GRADE REAR = 552.4 + 552.0 - 1104.4 / 2 = 552.2
 HEIGHT TO GRADE = 554.0 - 552.2 = 1.8'
 EXPOSED HT = 1.8 + 23.7 FT TO WLG. EST. = 31.5'



NOTES:
 1. SET FIT IN 25'X25' OVERALL EXCAVATION. BACKFILL WITH ALL CLEAN STONE.
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING SEASONAL HIGH WATER TABLE. NO SEEPAGE PITS AND/OR STONE SHALL BE SET BELOW SEASONAL HIGH WATER, AND ENGINEER MUST BE CONTACTED IN WRITING SHOULD WATER BE ENCOUNTERED.
SEEPAGE PIT MAINTENANCE NOTES
 1. SEEPAGE PITS SHALL BE MAINTAINED BY THE OWNERS OF THE LOTS ON WHICH THEY ARE SITUATED.
 2. SAID OWNERS SHALL INSPECT SEEPAGE PITS ON A TRICE YEARLY BASIS AND REMOVE ANY ACCUMULATED SEDIMENT OR AFTER ANY SIGNIFICANT STORM.
 3. IF ENGINEER PERCEIVES THAT THE SEEPAGE PITS ARE NOT FUNCTIONING PROPERLY (I.E. WATER BACKING-UP IN SYSTEM, ETC.), THE OWNERS SHALL INSPECT THE PITS AS SOON AS REASONABLY POSSIBLE AND MAKE NECESSARY REPAIRS TO ENSURE PROPER FUNCTION OF THE SYSTEM.



Drywell Design:
 Wetnessfield "C"

Development size =	0.1064 Acre
Undeveloped SCS Curve No. =	74.0000
Developed SCS Curve No. =	98.0000

1. Select Design Storm
 100 year, 24-hour = 9.3000

2. Type of subsurface disposal system:
 Precast drywell with 3-3/4" crushed stone

3. Determine Percolation Rate:
 Percolation Rate = 1.0000 inches
 Drop Time = 30.0000 minutes
 a. Area of Percolation (Ap):
 Surface area of Cylinder
 $A_c = \pi D^2 h / 4$
 $D = 1.0000$ foot
 $h = 8.5000$ inches
 $A_c = 2.2253$ Ft²
 $A_b = \pi D^2 / 4 = 0.7854$ Ft²

Volume of Percolation:
 $A_p = A_c + A_b = 3.0107$ Ft²
 $V_p = A_b h = 0.0654$ Ft³
 Soil Percolation Rate
 $S = \text{Volume} / \text{area} / \text{time} = 0.0007$ Ft³/Ft²/Min
 $S = 1.0435$ Ft³/Ft²/2day
 $S = (\text{minus clogging factor of 25\%}) = 0.7826$ Ft³/Ft²/2day

4. Calculate Required Storage Volume:
 100yr, 24 hour rainfall = 9.3000 inches
 From Table 2-1 of TR-55
 Existing CN = 74.0000 therefore depth Vr = 6.11 inches
 Proposed CN = 98.0000 therefore depth Vr = 9.10 inches
 $\Delta Vr = 2.9900$ inches
 $V_s = \Delta Vr \times \text{Area} = 1155.1367$ Ft³

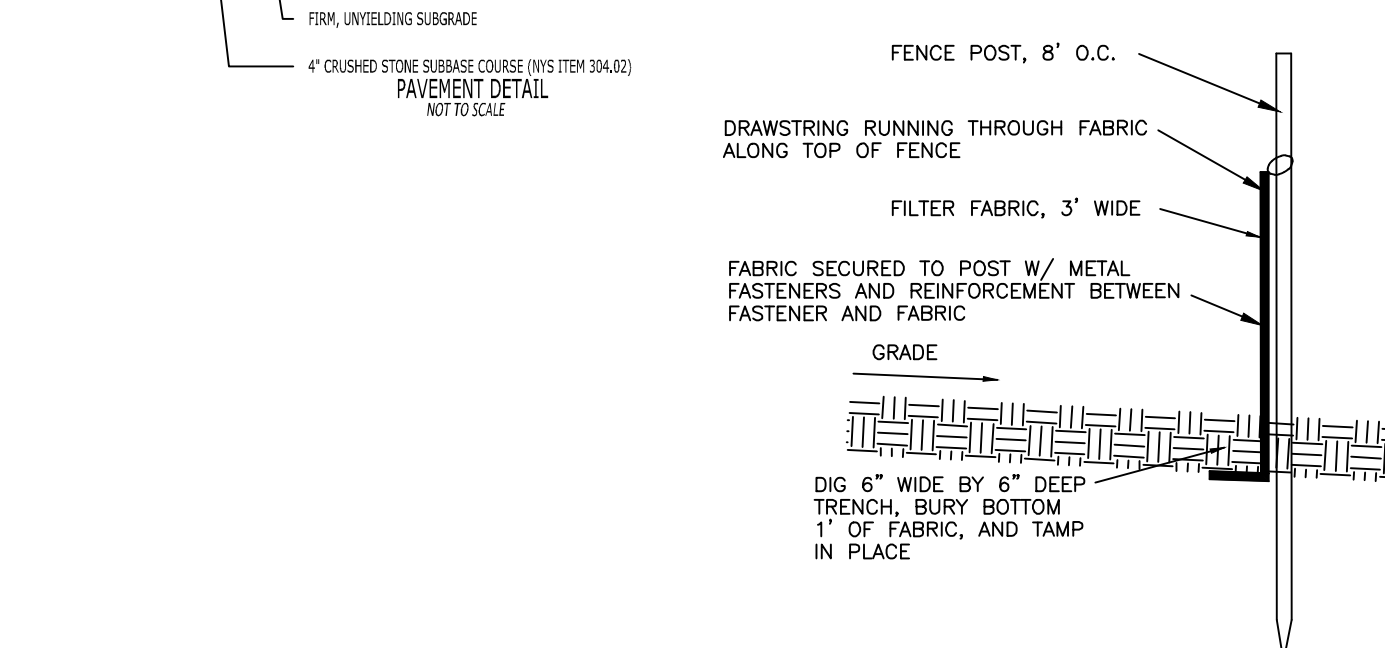
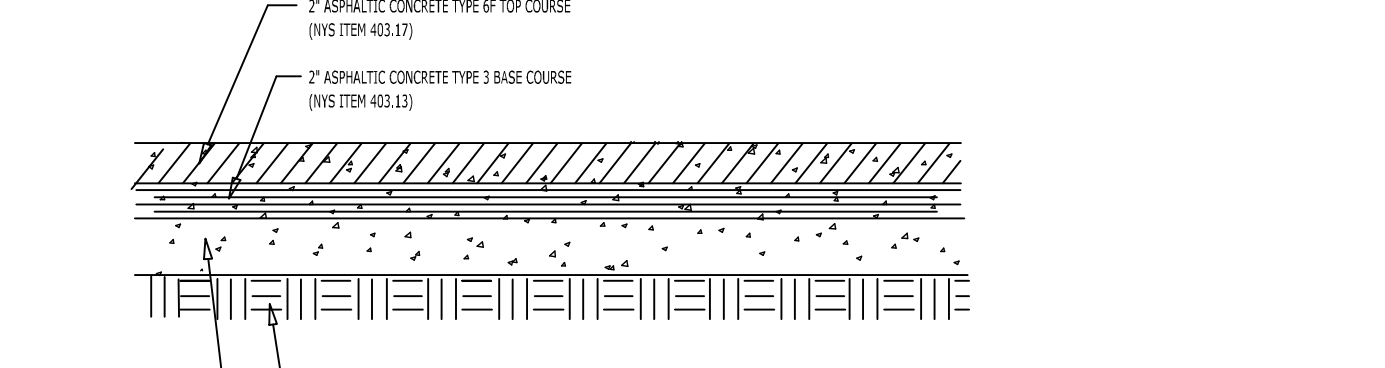
5. Calculate Volume per Drywell:
 $V_w = \pi r^2 \times \text{height} = 3.0000$ feet
 Thickness of drywell wall = 0.3330 foot
 Diameter of drywell = 6.0000 feet
 Height of drywell = 6.0000 feet
 $V_w = 337.6500$ Ft³

6. Calculate 24-hour percolation volume per drywell (Vp):
 $V_p = \text{surface area of drywell} \times \text{soil percolation rate} (S)$
 $V_p = \pi D^2 h^2 S$
 $V_p = 98.6083$ Ft³/day/drywell
 *Note: Bottom of drywell not included

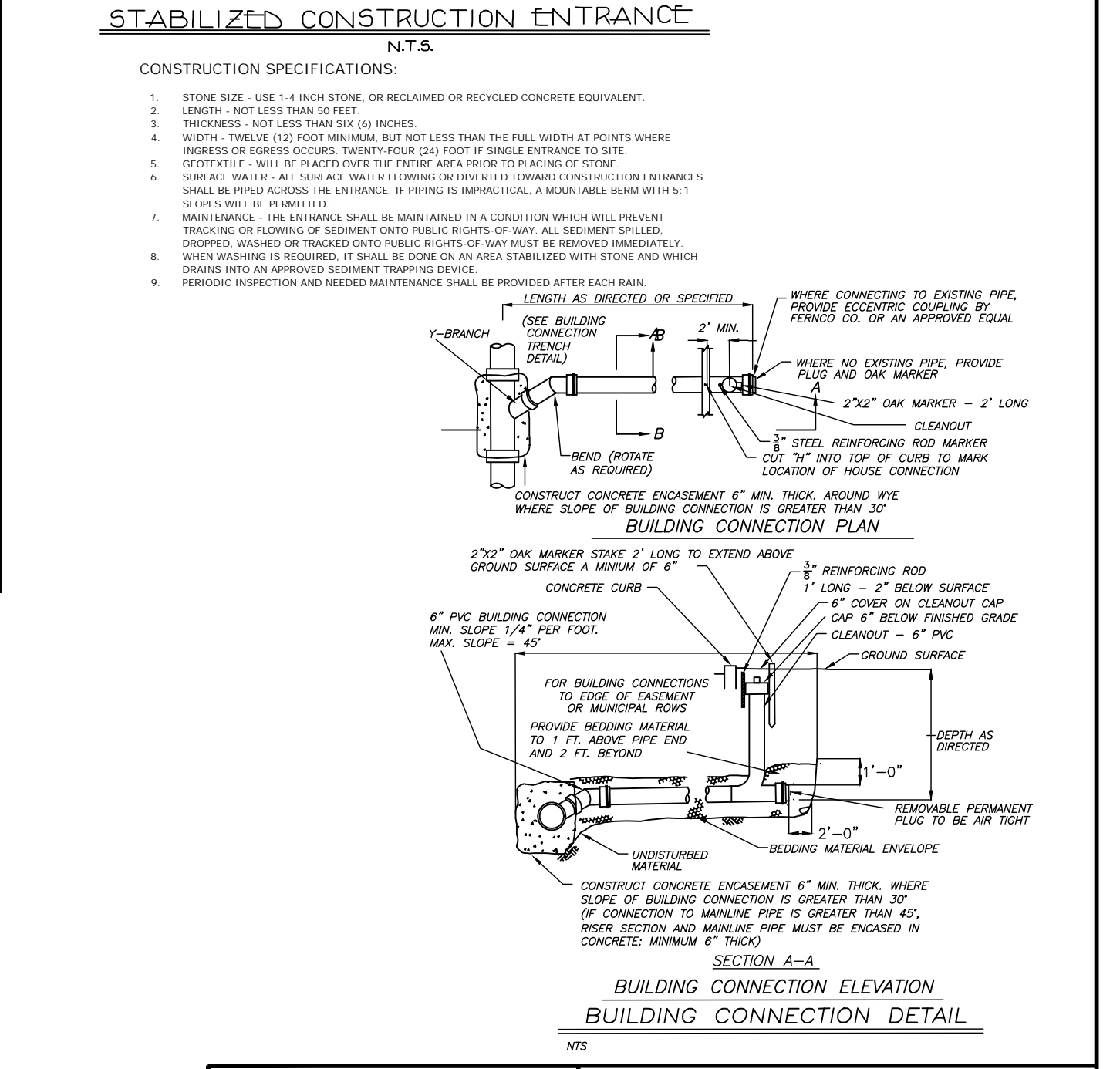
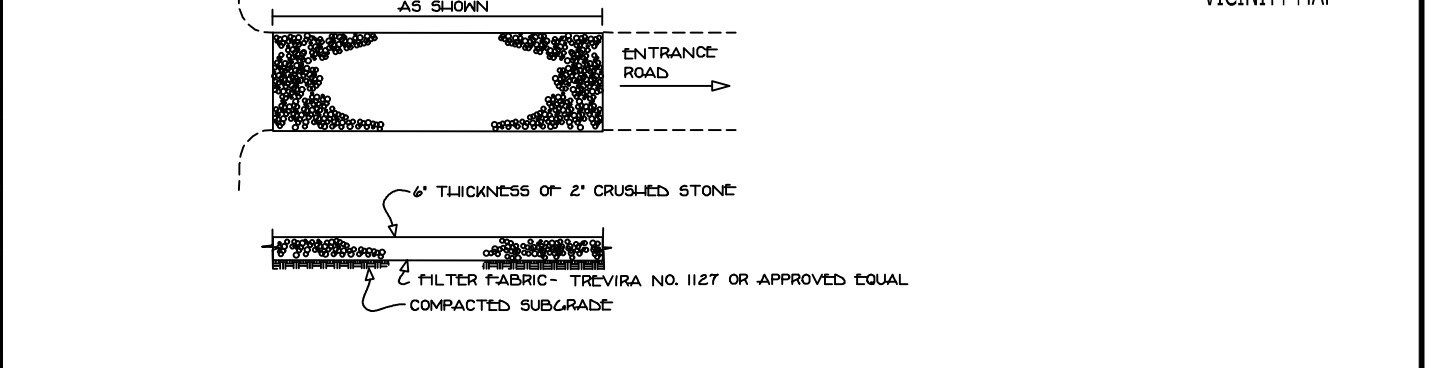
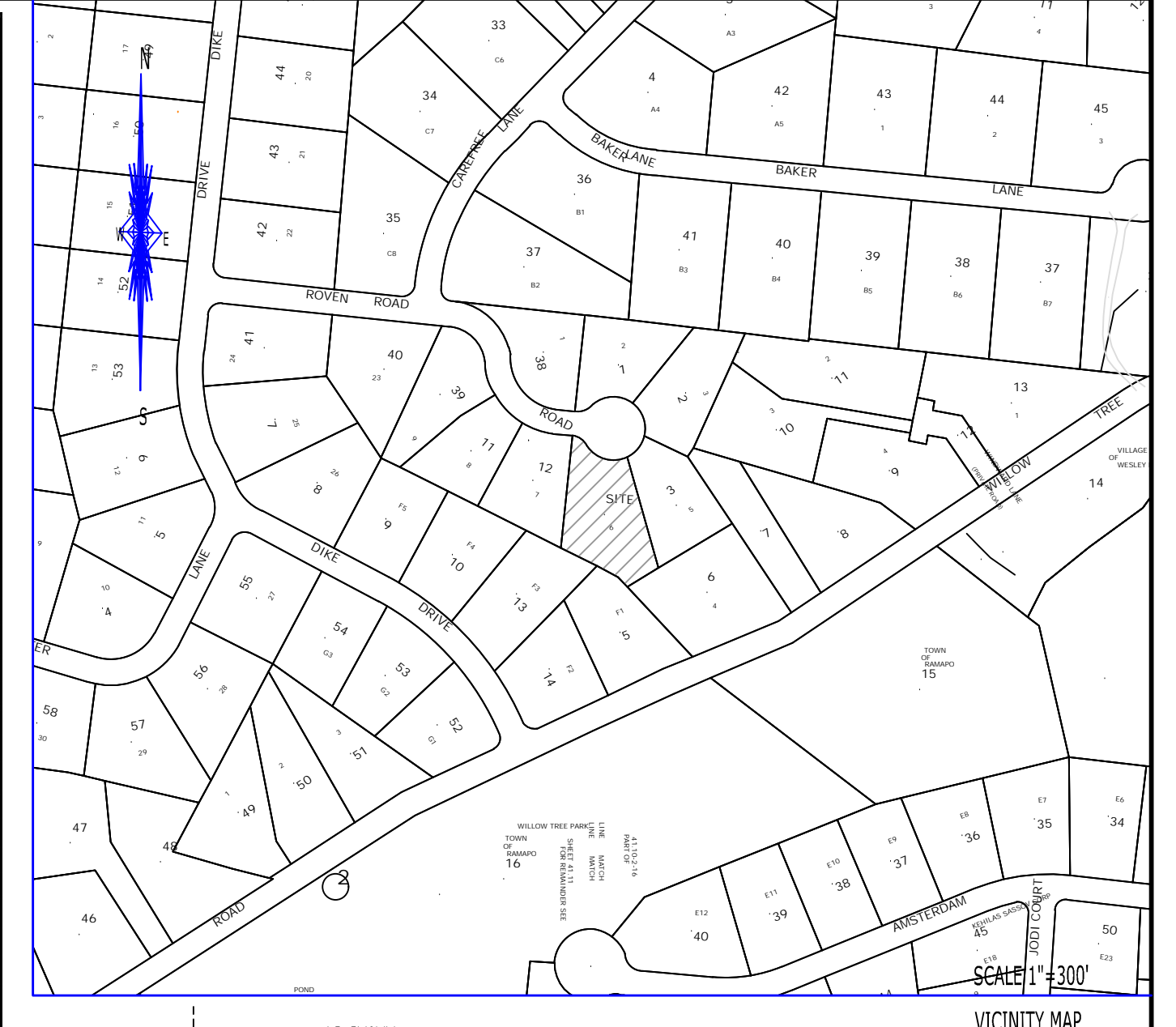
7. Calculate the total 24-hour Volume per drywell (Vt):
 $V_t = \text{Volume of drywell} (V_w) + \text{percolation volume} (V_p)$
 $V_t = 436.2583$ Ft³

8. Determine number of drywells required (DWR):
 $DWR = \text{Req. Volume of Storage} (V_s) / \text{Total Vol. per Drywell} (V_t)$
 $DWR = 2.6$

USE 3



SILT FENCE
 N.T.S.
 UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS MAP NOT HAVING THE SEAL OF THE SURVEYOR OR ENGINEER SHALL NOT BE VALID.
 CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
 USE OF UNSEALED COPIES OF THIS DOCUMENT IN ANY COURT, FINANCIAL TRANSACTION, OR FILING WITH ANY STATE OR OFFICE IS AN UNLAWFUL VIOLATION OF FEDERAL COPYRIGHT LAWS.
 NYS INDUSTRIAL CODE RULE 255
 1-800-962-7962
 CALL BEFORE YOU DIG - DRILL OR BLAST - NO LESS THAN 14 BUSINESS DAYS NOTICE - IT'S THE LAW!
 PAUL GDANSKI, PE, PLLC
 3512 WHITTIER COURT
 MAHWAH, N.J. 07430
 TEL: (917) 418-0999



REVISIONS	
PLOT PLAN FOR ZELEFSKY 10 ROVEN RD TAX LOT 4111-1-4 LOCATED IN THE VILLAGE OF WESLEY HILLS ROCKLAND COUNTY, NEW YORK GRAPHIC SCALE	
PAUL GDANSKI, PE, PLLC	10ROVEN
3512 WHITTIER COURT MAHWAH, N.J. 07430 TEL: (917) 418-0999	DATE DEC. 1, 2025
SCALE 1" = 20'	DWG 1 OF 1

December 31, 2025

ZONING BOARD OF APPEALS NARRATIVE

Property Address: 31 Skylark Road, Wesley Hills, NY

SBL: 41.16-1-90

Applicant: Samuel Breuer - Owner, Nochum Goldmunzer - Agent

PROJECT DESCRIPTION AND BACKGROUND

The subject property located at **31 Skylark Road, Wesley Hills, NY (SBL 41.16-1-90)** is an improved residential lot containing a single-family dwelling situated on a pre-existing, nonconforming parcel.

The Applicant seeks area variances in connection with a proposed residential addition intended to accommodate a **63-year-old immediate family member diagnosed with confirmed dementia**, who is currently residing in a nursing facility. Due to declining health and the inability of the facility to provide consistent individualized care, it has become medically and humanitarily necessary for him to transition into a family home environment as soon as possible.

The homeowner's daughter, who resides at the subject property, is a trained caregiver and is currently completing her Registered Nurse (RN) qualifications. Her spouse is a trained A-EMT who volunteers locally. Together, they are uniquely qualified to provide the required **24-hour care**, but the existing dwelling lacks sufficient space to safely and appropriately house the family member. The proposed addition is therefore not discretionary in nature, but rather a **medical and family-care necessity**.

EXISTING CONDITIONS

- The lot is **pre-existing and nonconforming** with respect to minimum lot area.
- The dwelling currently encroaches into the required front yard setback.
- The proposed project consists of:
 - A **left-side addition** that continues an existing setback condition; and
 - A **new main entrance annex**, which increases the degree of front-yard encroachment.

The proposed improvements are designed to be residential in character, consistent with the surrounding neighborhood, and the **minimum necessary** to achieve the stated purpose.

VARIANCES REQUESTED

The Applicant respectfully requests the following **area variances**:

1. Lot Area Variance

- **Required:** 35,000 square feet
- **Provided:** 27,401.4 square feet
- **Status:** Pre-existing condition; **no change proposed**

2. Front Yard Setback Variance

- **Required:** 50 feet
 - **Existing:** 37.2 feet
 - **Proposed (with annexed main entrance addition):** 26.5 feet
 - **Nature:** New variance related to the proposed entrance addition
-

JUSTIFICATION UNDER NYS TOWN LAW §267-b(3)

Pursuant to New York State law, the Zoning Board of Appeals must balance the benefit to the applicant against any potential detriment to the health, safety, and welfare of the neighborhood, considering the following five statutory factors:

1. **Whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties**

The proposed addition will not alter the essential residential character of the neighborhood. The improvements are consistent in scale, design, and use with

surrounding homes, and will not introduce any commercial or high-density use. No adverse impact on neighboring properties is anticipated.

2. **Whether the benefit sought by the applicant can be achieved by some method feasible for the applicant to pursue other than an area variance**

Due to the existing lot size, building placement, and setback constraints, there is **no feasible alternative** that would allow the necessary living space to be created without the requested variances. Interior reconfiguration alone cannot provide a safe and code-compliant accommodation for 24-hour assisted living.

3. **Whether the requested area variance is substantial**

The requested front-yard setback variance increases the degree of an existing nonconformity; however, it is limited in scope and purpose. The front entrance annex is proposed to allow for improved accessibility, including safe ingress and egress for wheelchair or stretcher use as may be required, and to enhance day-to-day functionality and quality of life within the home.

The medically necessary living quarters for the family member are located within the side addition, which continues an existing pre-existing nonconforming front setback condition and does not introduce a new or disproportionate encroachment. Accordingly, the proposal as a whole represents the **minimum variance necessary** to provide both essential medical accommodation and reasonable, humane accessibility improvements.

4. **Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood**

The project will not adversely affect drainage, traffic, utilities, or environmental conditions. The addition is residential in nature and will not increase occupancy beyond a single-family use.

5. **Whether the alleged difficulty was self-created**

While the need for the variance arises from the existing lot and building configuration, New York State law recognizes that a self-created condition does not, by itself, preclude the granting of an area variance. In this case, the hardship is driven by **unforeseen**

medical circumstances involving an immediate family member and not by speculative or financial motives.

CONCLUSION

The requested variances are necessary to allow a family to provide urgent, medically appropriate care to a close family member suffering from dementia, in a safe and supportive home environment. The proposal represents the **least intrusive and most reasonable solution**, maintains neighborhood character, and aligns with the spirit and intent of the zoning code while addressing a genuine humanitarian need.

For these reasons, the Applicant respectfully requests that the Zoning Board of Appeals grant the requested area variances.

Sincerely,

Nochum Goldmunzer
BlueLine USA Inc. - CEO

PART I

Name of Municipality VILLAGE OF WESLEY HILLS Date Dec. 22, 2025

Please check all that apply:

<input type="checkbox"/> Planning Board	<input type="checkbox"/> Architectural Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Municipal Board	
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Pre-preliminary/Sketch
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Zoning Code Amendment	<input type="checkbox"/> Zone Change
<input checked="" type="checkbox"/> Variance * (Fill out Part II of this form.)	

Project Name: 31 Skylark Drive

Applicant: Nochum Goldmunzer @ BlueLine USA Inc. Phone # 845-458-1889

Address 22 Ostereh Blvd. Spring Valley, NY 10977
Street Name & Number (Post Office) State Zip code

Property Owner: Samuel Breuer Phone # 718-388-7003

Address 31 Skylark Drive Spring Valley, NY 10977
Street Name & Number (Post Office) State Zip code

Engineer/Architect/Surveyor: Paul Gdanski, PE, PLLC Phone # 917-418-0999

Address 3512 Whittier Ct. Mahwah, NJ 07430
Street Name & Number (Post Office) State Zip code

Attorney: N/A Phone # _____

Address _____
Street Name & Number (Post Office) State Zip code

Contact Person: Applicant & Owner Phone # _____

Address _____
Street Name & Number (Post Office) State Zip code

Tax Map Designation:

Section 41.16 Block 1 Lot(s) 90
Section _____ Block _____ Lot(s) _____

Location: On the North East side of Skylark Dr.,
850 feet North West of Sherri Ln.

Acreage of Parcel 0.64 **Zoning District** R-35
School District East Ramapo **Postal District** 10977

Project Description: *(If additional space required, please attach a narrative summary.)*

Proposing a side yard and front entry addition and asking for area variances.

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ___ If so, what amount? _____

Project History: Has this project ever been reviewed before? no

If so, list case number, name, date, and the board you appeared before.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

“Permission is hereby granted to the Village of Wesley Hills, its agents, servants and employees to enter upon the above described property solely for the purposes incidental to the within application at reasonable times upon reasonable notice to the owner or tenant in possession.”

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 K, L, M, AND N.

State or County Road
 Long Path
 Municipal Boundary

State or County Park
 County Stream
 County Facility

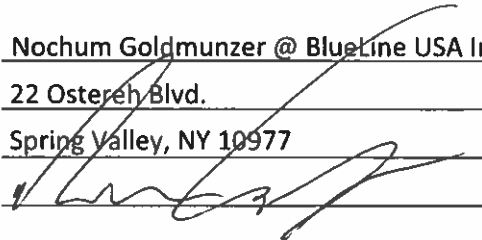
List name(s) of facility checked above. _____

Applicant's Signature and Certification

State of New York)
County of Rockland) SS.:
Town/Village of Wesley Hills NY)

I, Nochum Goldmunzer @ BlueLine USA Inc., hereby depose and say that all the above statements contained in the papers submitted herewith are true.

Mailing Address

Nochum Goldmunzer @ BlueLine USA Inc.
22 Osterch Blvd.
Spring Valley, NY 10977


SWORN to before this

31st day of December, 2025



Notary Public

GAVRIEL FISCHER
Notary Public, State of New York
Registration No. 01F16427779
Qualified in Rockland County
My Commission Expires January 03, 2030

Affidavit Pursuant to Section 809 of the General Municipal Law

State of New York)
County of Rockland) SS.:
Town/Village of _____)

N/A

I, _____, being duly sworn, hereby depose and say that all the following statements and the statements contained in the papers submitted herewith are true and that the nature and extent of any interests set forth are disclosed to the extent that they are known to the applicant.

1. Print or type full name and post office address

certifies that he is owner or agent of all that certain lot, piece or parcel of land and/or building described in this application **and if not the owner that he has been duly and properly authorized to make this application and to assume responsibility for the owner in connection with this application for the relief below set forth:**

2. To the _____ of the Town/Village of _____
(Board, Commission or Agency)
_____, Rockland County, New York:

Application, petition or request is hereby submitted for:

- Variance or modification from the requirement of Section _____;
- Special permit per the requirements of Section _____;
- Review and approval of proposed subdivision plat;
- Exemption from a plat or official map;
- An order to issue a certificate, permit or license;
- An amendment to the Zoning Ordinance or Official Map or change thereof;
- Other (*explain*) _____;

To permit construction, maintenance and use of _____

3. Premises affected are in a _____ zone and from the town of _____ tax map, the property is know as Section _____, Block, _____, Lot(s) _____.

Jurisdiction
Not in a GML

4. There is no state officer, Rockland County Officer or employee or town/village officer or employee nor his or her spouse, brother, sister, parent, child or grandchild, or a spouse of any of these relatives who is the applicant or who has an interest in the person, partnership or association making this application, petition or request, or is an officer, director, partner or employee of the applicant, or that such officer or employee, if this applicant is a corporation, legally or beneficially owns or controls any stock of the applicant in excess of 5% of the total of the corporation if its stock is listed on the New York or American Stock Exchanges; or is a member or partner of the applicant, if the applicant is an association or a partnership; nor that such town/village officer or employee nor any member of his family in any of the foregoing classes is a party to an agreement with the applicant, express or implied, whereby such officer or employee may receive any payment or other benefit, whether or not for service rendered, which is dependent or contingent upon the favorable approval of this application, petition or request.

5. That to the extent that the same is known to your applicant, and to the owner of the subject premises **there is disclosed herewith** the interest of the following officer or employee of the State of New York or the County of Rockland or of the Town/Village of _____ in the petition, request or application or in the property or subject matter to which it relates:

(if none, so state)

- a. Name and address of officer or employee none
- b. Nature of interest _____
- c. If stockholder, number of shares _____
- d. If officer or partner, nature of office and name of partnership _____
- e. If a spouse or brother, sister, parent, child, grandchild or the spouse of any of these blood relatives of such state, county or town/village officer or employee, state name and address of such relative and nature of relationship to officer and employee and nature and extent of office, interest or participation or association having an interest in such ownership or in any business entity sharing in such ownership. _____

f. In the event of corporate ownership: A list of all directors, officers and stockholders of each corporation owning more than five (5%) percent of any class of stock, must be attached, if any of these are officers or employees of the State of New York, or of the County of Rockland, or of the Town/Village of _____.

I, Nochum Goldmunzer @ BlueLine USA Inc., do hereby depose and say that all the above statements and statements contained in the papers submitted herewith are true, knowing that a person who knowingly and intentionally violates this section is guilty of a misdemeanor.

Mailing Address Nochum Goldmunzer @ BlueLine USA Inc.
22 Ostereh Blvd.
Spring Valley, NY 10977

SWORN to before this

31st day of December, 2025
[Signature]
Notary Public

GAVRIEL FISCHER
Notary Public, State of New York
Registration No. 01F16427779
Qualified in Rockland County
My Commission Expires January 03, 2030

VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097


AFFIDAVIT OF OWNERSHIP

STATE OF NEW YORK }
COUNTY OF ROCKLAND } SS:
VILLAGE OF WESLEY HILLS }

Samuel Breuer being duly sworn, deposes and
says that he/she resides at 31 Skylark Drive, Spring Valley


in the County of Rockland, State of New York; that he/she is the owner in
fee of all that certain lot, piece or parcel of land situated, lying and being
in the Village of Wesley Hills, and designated on the Town of Ramapo
Map as Section No. 41.16-1 Lot No. 90 and that he/she hereby
authorizes the attached application to be submitted in his/her behalf and
that the statements of fact contained in said application are true.

The applicant is the (owner) (contract vendee) of the said property.

Owner: Samuel Breuer 
Address: 31 Skylark Drive
Spring Valley, NY 10977

Sworn to before me this

23 day of Dec 2025


Notary Public

AIDY GREENBERG
NOTARY PUBLIC-STATE OF NEW YORK
No. 01GR6294794
Qualified in Rockland County
My Commission Expires ~~12-30-2025~~
12/23/2029

AFFIDAVIT

State of New York)
County of Rockland) SS.
Town/Village of _____



I, Nochum Goldmunzer @ BlueLine USA Inc. being duly sworn deposes and says that he is the applicant, agent or attorney for applicant, in the matter of the petition before the Zoning (board) in the town/village of Wesley Hills affecting property located at 31 Skylark Drive, Rockland County, New York.


That the following are all of the owners of property 750 feet (distance) from the premises as to which this application is being taken.

SECTION/BLOCK/LOT NAME ADDRESS

List will be attached

SWORN to before this

3rd day of December, 2015



Notary Public

GAVRIEL FISCHER
Notary Public, State of New York
Registration No. 01F16427779
Qualified in Rockland County
My Commission Expires January 03, 2030

VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

AFFIDAVIT OF POSTING

STATE OF NEW YORK }
COUNTY OF ROCKLAND }
VILLAGE OF WESLEY HILLS } SS:

Nochum Goldmunzer @ BlueLine USA Inc. being duly sworn, deposes and says that he/she is the applicant in the matter of an application before the Village of Wesley Hills Zoning Board affecting property located at 31 Skylark Drive, Wesley Hills, Town of Ramapo, Rockland County, New York.

That on the _____ day of _____ 200__, he/she posted the posters provided by the Zoning Board of the Village of Wesley Hills giving notice of the hearing on this application in a conspicuous place visible from every street along the frontage of the plot affected by this application.

Sworn to before me this _____ day of _____ 200__

Notary Public

*Posting
UPON
to be completed
Page*

DISCLAIMER

APPLICANT TAKES FULL RESPONSIBILITY FOR RESEARCHING THE TAX MAP FOR THE LIST OF NAMES OF PROPERTY OWNERS ON THE ENCLOSED *AFFIDAVIT OF MAILING LIST*, AND SUPPLYING THE NECESSARY AMOUNT OF SELF-ADDRESSED STAMPED ENVELOPES.

THE APPLICANT'S ENVELOPES MUST COINCIDE WITH THE LIST. THE CLERK'S RESPONSIBILITY IS LIMITED TO CHECKING NAMES ON THE ENVELOPES AGAINST THE AFOREMENTIONED AFFIDAVIT BEFORE MAILING THEM.

RECEIPT OF THIS DISCLAIMER IS ACKNOWLEDGED

Nochum Goldmunzer @ BlueLine USA Inc.
APPLICANT

12/22/2025
DATED

PART II

Application before the Zoning Board of Appeals

Application, petition or request is hereby submitted for:

- Variance from the requirement of Section 230-17 (Table of dimensional requirements) ;
- Special permit per the requirements of Section _____ ;
- Review of an administrative decision of the Building Inspector;
- An order to issue a Certificate of Occupancy;
- An order to issue a Building Permit;
- An interpretation of the Zoning Ordinance or Map;
- Certification of an existing non-conforming structure or use;
- Other (*explain*) _____ ;

To permit construction, maintenance and use of a single family home with a proposed addition.

AS APPLICABLE, COMPLETE THE FOLLOWING:

- 1) SHORT ENVIRONMENTAL ASSESSMENT FORM
- 2) FULL ENVIRONMENTAL ASSESSMENT FORM

For access to the above State Environmental Quality Review forms:

<http://www.dec.ny.gov/public/6191.html>

INSTRUCTIONS

The following must be completed before the application is reviewed and scheduled for the Zoning Board of Appeals meeting:

7. Filing fee of \$150.00 for an existing residence, \$150.00 for actions involving new one-family residences plus \$100.00 per variance sought or \$350.00 plus \$100.00 per variance sought for all other applications plus actual publication sought.
8. Twelve copies of the application, twelve plot plans drawn to scale (showing setbacks and other dimensions) or twelve surveys that have been sworn or attested to as being true and accurate.
9. Twelve copies of a narrative describing why the applicant is appearing before the Board.
10. Twelve copies of reference to the Zoning Board of Appeals (Building Inspector's determination, Code Inspector's determination, referral from the Planning Board or for an interpretation of the Zoning Code). No application can come for a variance without first being denied by the Building Inspector or Code Inspector or referred from the Planning Board.
11. List of names and addresses, along with stamped self-addressed envelopes, of all property owners within a 750 foot radius of the property covered in the application.
12. Twelve copies of a vicinity map.

The application must be received at least four weeks prior to be scheduled for a Zoning Board of Appeals meeting and is subject to the review by the Zoning Board of Appeals attorney. You will be notified as the date of the meeting. You will be provided with posters giving notice of the hearing which shall be posted in a conspicuous place visible from every street along the frontage of the property referred to in the application. These notices must be posted 10 days prior to the scheduled meeting.

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: 31 Skylark Drive			
Project Location (describe, and attach a location map): 31 Skylark Drive in the Village of Wesley Hills			
Brief Description of Proposed Action: Proposing a side yard and front entry addition and asking for area variances.			
Name of Applicant or Sponsor: Nochum Goldmunzer / BlueLine USA Inc.		Telephone: 845-458-1889	
		E-Mail: NG@BlueLineUS.net	
Address: 22 Ostereh Blvd. Unit 212			
City/PO: Spring Valley		State: NY	Zip Code: 10977
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 0.64 acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

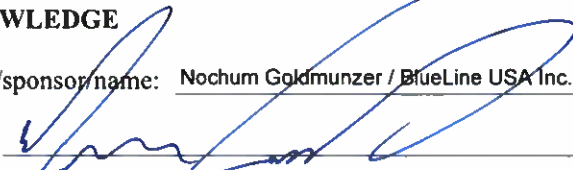
		NO	YES	N/A
5. Is the proposed action,	a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		NO	YES	
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?		NO	YES	
If Yes, identify: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
9. Does the proposed action meet or exceed the state energy code requirements?		NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?		NO	YES	
If No, describe method for providing potable water: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?		NO	YES	
If No, describe method for providing wastewater treatment: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		NO	YES	
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?		<input type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____				

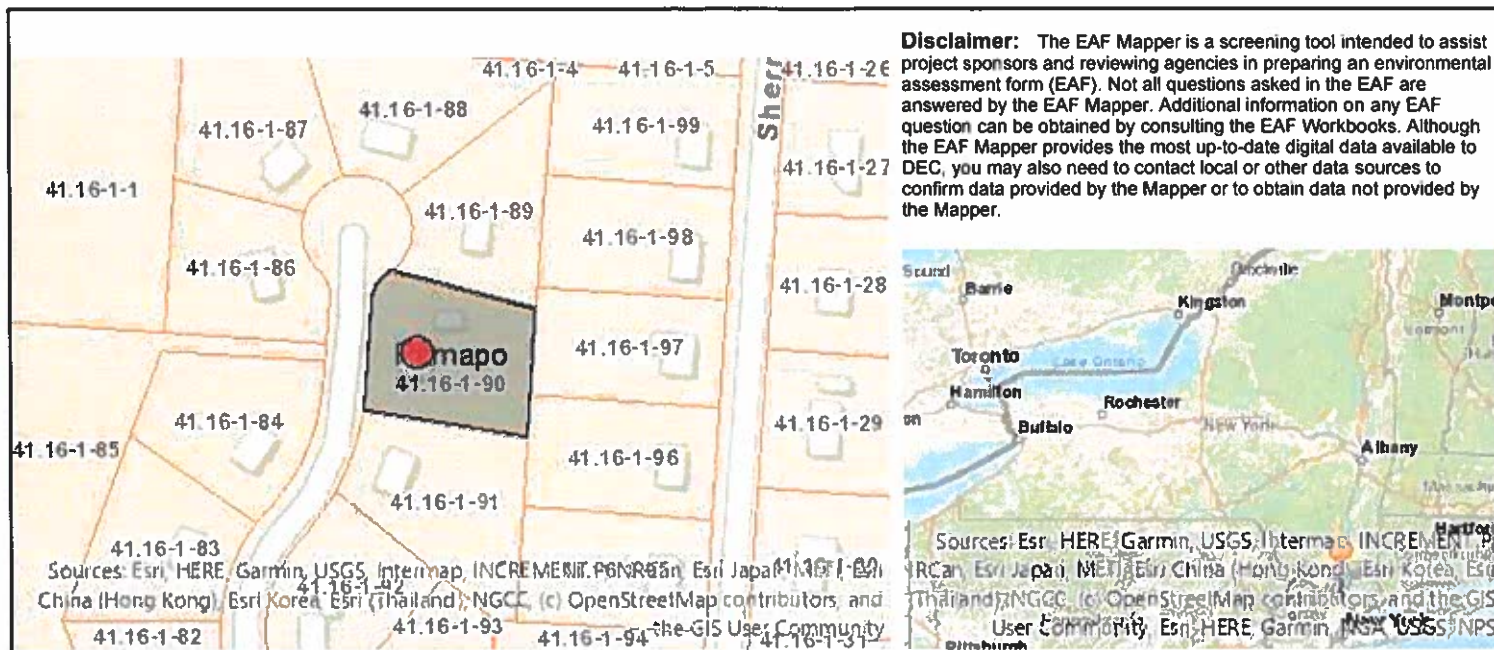
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe:		

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:	<input checked="" type="checkbox"/>	<input type="checkbox"/>

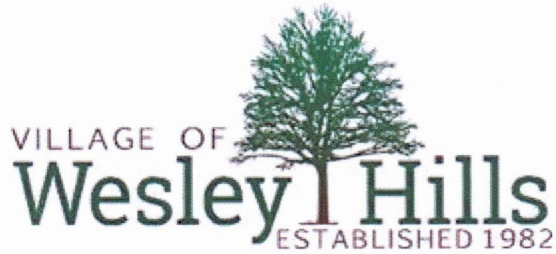
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: Nochum Goldmunzer / BlueLine USA Inc.	Date: 12/22/2025	
Signature: 	Title: Applicant's Rep.	



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local, New York State, and federal wetlands and waterbodies is known to be incomplete. Refer to the EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



432 Route 306

Wesley Hills, N.Y. 10952-1221

Phone: 845-354-0400 Fax: 845-354-4097 www.wesleyhills.gov

Email: BuildingDept@wesleyhills.gov

Dated: January 2, 2026

Tax Parcel ID: 41.16-1-90

Address: 31 Skylark Drive

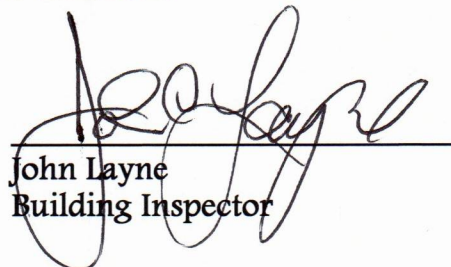
Applicant: Samuel Breuer

BUILDING AND ZONING DEPARTMENT:

Please be advised that your application for a building permit for an addition to an existing single-family home has been denied. The requirements of the Zoning Law of the Village of Wesley Hills have not been satisfied. The following variances are required:

~Minimum front yard of 26.3' where 50' is required

In addition, the Zoning Board of Appeals may review any pre-existing non-conforming items and previously granted variances.



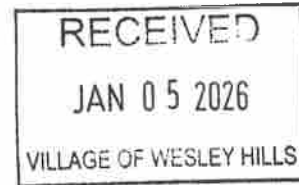
John Layne
Building Inspector

cc: Zoning Board of Appeals



December 29, 2025

Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952



Re: *The Pomeranz Residence, 5 Glenbrook Road, Wesley Hills, NY*

To the Wesley Hills Zoning Board of Appeals,

My client, Nachum Pomeranz, is requesting variances to construct a cabana adjacent to a proposed swimming pool. The cabana requires variances for exceeding the allowable *Side Yard Setback, Total Side Yard Setback, and Rear Yard Setback* as stated in Section 230 and the Villages Table of Dimensional Requirements.

We believe that the threshold of “practical difficulty” has been met and therefore the variances should be granted. In making its determination, the Zoning Board of Appeals should consider the following factors:

- A) Due to the nature of the variances being sought, the benefits to the applicant, if the variances are granted, outweigh any detriment to the health, safety, and welfare of the neighborhood or community.
- B) Due to the nature of the variances, no undesirable changes will be produced in the character of the neighborhood and no detriment to nearby properties will be created by the granting of the variances.
- C) The benefits sought by the applicant cannot be achieved by some other feasible method due to the size and shape of property and the Owner’s programmatic requirements.
- D) The Side Yard Variance is from the allowable 25.0’ to 20.1’ (4.9’ overage). The Total Side Yard Variance is from the allowable 60.0’ to 55.3’ (4.7’ overage). The Rear Yard Variance is from the allowable 50.0’ to 20.0’ (30.0’ overage).
- E) These variances will be mitigated in several ways. The mitigating factors are as follows:
 - 1. The side yard and total side yard variances were previously granted for the main house structure on this property, which is currently under construction. Therefore, we respectfully request that the ZBA consider extending these variances to include the cabana as well.
 - 2. The rear yard variance while large, will be mitigated by the cabana’s small size and the screening and fencing being placed around the cabana and pool.

The proposed variances will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood due to the reasons outlined in items A-E. Thank you for your continued attention in this matter.

Sincerely,



PART I

Name of Municipality VILLAGE OF WESLEY HILLS

Date 12/29/25

Please check all that apply:

<input type="checkbox"/> Planning Board	<input type="checkbox"/> Architectural Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Municipal Board	
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Pre-preliminary/Sketch
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Zoning Code Amendment	<input type="checkbox"/> Zone Change
<input checked="" type="checkbox"/> Variance * (Fill out Part II of this form.)	

RECEIVED
 JAN 05 2026
 VILLAGE OF WESLEY HILLS

Project Name: POMERANZ RESIDENCE CATBANA

Applicant: NORMAN POMERANZ Phone # -
 Address 154 GLENVILLE DR LOS ANGELES CA 90035
Street Name & Number (Post Office) State Zip code

Property Owner: APPLICANT Phone # _____
 Address _____
Street Name & Number (Post Office) State Zip code

Engineer/Architect/Surveyor: TODD ROSENBLUM Phone # 845-364-0337
 Address 221 QUAKER ROAD POMONA NY 10970
Street Name & Number (Post Office) State Zip code

Attorney: _____ Phone # _____
 Address _____
Street Name & Number (Post Office) State Zip code

Contact Person: TODD ROSENBLUM Phone # _____
 Address _____
Street Name & Number (Post Office) State Zip code

Tax Map Designation: 41.11-1-57
Section _____ Block _____ Lot(s) _____
Section _____ Block _____ Lot(s) _____

Location: On the NORTH side of GUENBROOK RD
260' +/- feet WEST of VAN WINKLE RD.

Acreage of Parcel 34,117 SF Zoning District R35
School District E. RAMAPO Postal District MOUSEY

Project Description: (If additional space required, please attach a narrative summary.)

PLEASE SEE ATTACHED NARRATIVE LETTER.

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ___ If so, what amount? _____

Project History: Has this project ever been reviewed before? YES

If so, list case number, name, date, and the board you appeared before.

APRIL 2024 ZBA

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

N/A

"Permission is hereby granted to the Village of Wesley Hills, its agents, servants and employees to enter upon the above described property solely for the purposes incidental to the within application at reasonable times upon reasonable notice to the owner or tenant in possession."

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 K, L, M, AND N.

- | | |
|---|---|
| <input type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path | <input type="checkbox"/> County Stream |
| <input type="checkbox"/> Municipal Boundary | <input type="checkbox"/> County Facility |

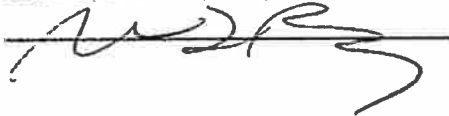
List name(s) of facility checked above. NA

Applicant's Signature and Certification

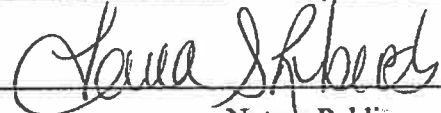
State of New York
County of Rockland) SS.
Town/Village of WESLEY HILLS

I, NORMAN POMERANZ, hereby depose and say that all the above statements contained in the papers submitted herewith are true.

Mailing Address

NORMAN POMERANZ
1454 GLENVIEW DR.
LOS ANGELES, CA 90035


SWORN to before this 30th day of December, 2025


Notary Public

TARA S ROBERTS
NOTARY PUBLIC STATE OF NEW YORK
RESIDING IN ROCKLAND COUNTY
NO. 01R06429066
MY COMMISSION EXPIRES 02/07/2026

Affidavit of Ownership/Owner's Consent

State of New York)
County of Rockland) SS.:
Town/Village of WESLEY HILLS

I, NORMAN POMERANZ being duly sworn, hereby
depose and say that I reside at: 1454 GLENVILLE RD
LOS ANGELES CA
in the county of LOS ANGELES in the state of CALIFORNIA

I am the * _____ owner in fee simple of premises located at:
5 GLENBROOK RD WESLEY HILLS NY

described in a certain deed of said premises recorded in the Rockland County Clerk's
Office in Liber Book 60 of conveyances, page 6. GLENBROOK KNOWS EAST

Said premises have been in my/its possession since ~~12~~ 12/6/22 Said premises are
also known and designated on the Town of RAMAPO Tax Map as:
section _____ block _____ lot(s) _____
41.11-1-57

I hereby authorize the within application on my behalf, and that the statements of fact
contained in said application are true, and agree to be bound by the determination of the
board.

Owner NORMAN POMERANZ
Mailing Address 1454 GLENVILLE DR
LOS ANGELES, CA 90035



SWORN to before this
30th day of December, 2025

Tara Roberts
Notary Public

TARA S ROBERTS
NOTARY PUBLIC STATE OF NEW YORK
RESIDING IN ROCKLAND COUNTY
NO. 01R06429066
MY COMMISSION EXPIRES 02/07/2026

* If owner is a corporation, fill in the office held by deponent and name of corporation,
and provide a list of all directors, officers and stockholders owning more than 5% of
any class of stock.

Affidavit Pursuant to Section 809 of the General Municipal Law

State of New York)

County of Rockland) SS.:

Town/Village of WESLEY HILLS

I, NORMAN POMERANZ, being duly sworn, hereby depose and say that all the following statements and the statements contained in the papers submitted herewith are true and that the nature and extent of any interests set forth are disclosed to the extent that they are known to the applicant.

1. Print or type full name and post office address

NORMAN POMERANZ
1454 GLENVILLE DR
LOS ANGELES, CA 90035

certifies that he is owner or agent of all that certain lot, piece or parcel of land and/or building described in this application and if not the owner that he has been duly and properly authorized to make this application and to assume responsibility for the owner in connection with this application for the relief below set forth:

2. To the ZONING BOARD OF APPEALS of the Town/Village of WESLEY HILLS (Board, Commission or Agency), Rockland County, New York:

Application, petition or request is hereby submitted for:

- Variance or modification from the requirement of Section 230;
- Special permit per the requirements of Section _____;
- Review and approval of proposed subdivision plat;
- Exemption from a plat or official map;
- An order to issue a certificate, permit or license;
- An amendment to the Zoning Ordinance or Official Map or change thereof;
- Other (explain) _____;

To permit construction, maintenance and use of AN ACCESSORY BUILDING CABANA REQUIRING SIDE YARD, TOTAL SIDE YARD, AND REAR YARD VARIANCES

3. Premises affected are in a R35 zone and from the town of RAMAPO tax map, the property is know as Section _____, Block, _____, Lot(s) 41-11-1-57

4. There is no state officer, Rockland County Officer or employee or town/village officer or employee nor his or her spouse, brother, sister, parent, child or grandchild, or a spouse of any of these relatives who is the applicant or who has an interest in the person, partnership or association making this application, petition or request, or is an officer, director, partner or employee of the applicant, or that such officer or employee, if this applicant is a corporation, legally or beneficially owns or controls any stock of the applicant in excess of 5% of the total of the corporation if its stock is listed on the New York or American Stock Exchanges; or is a member or partner of the applicant, if the applicant is an association or a partnership; nor that such town/village officer or employee nor any member of his family in any of the foregoing classes is a party to an agreement with the applicant, express or implied, whereby such officer or employee may receive any payment or other benefit, whether or not for service rendered, which is dependent or contingent upon the favorable approval of this application, petition or request.

5. That to the extent that the same is known to your applicant, and to the owner of the subject premises there is disclosed herewith the interest of the following officer or employee of the State of New York or the County of Rockland or of the Town/Village of WESLEY HILLS in the petition, request or application or in the property or subject matter to which it relates:

(if none, so state)

- a. Name and address of officer or employee NONE
- b. Nature of interest _____
- c. If stockholder, number of shares _____
- d. If officer or partner, nature of office and name of partnership _____
- e. If a spouse or brother, sister, parent, child, grandchild or the spouse of any of these blood relatives of such state, county or town/village officer or employee, state name and address of such relative and nature of relationship to officer and employee and nature and extent of office, interest or participation or association having an interest in such ownership or in any business entity sharing in such ownership. _____

f. In the event of corporate ownership: A list of all directors, officers and stockholders of each corporation owning more than five (5%) percent of any class of stock, must be attached, if any of these are officers or employees of the State of New York, or of the County of Rockland, or of the Town/Village of WESLEY HILLS.
 I, NORMAN DOMBLANTZ, do hereby depose and say that all the above statements and statements contained in the papers submitted herewith are true, knowing that a person who knowingly and intentionally violates this section is guilty of a misdemeanor.

Mailing Address

1454 GLENVIEW DR
LOS ANGELES, CA

SWORN to before this

30th day of December, 2025
Tara S Roberts
 Notary Public

TARA S ROBERTS
 NOTARY PUBLIC STATE OF NEW YORK
 RESIDING IN ROCKLAND COUNTY
 NO. 01R06429066
 MY COMMISSION EXPIRES 02/07/2026

VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

AFFIDAVIT OF OWNERSHIP

STATE OF NEW YORK }
COUNTY OF ROCKLAND } SS:
VILLAGE OF WESLEY HILLS }

NORMAN POMERANZ being duly sworn, deposes and
owns and will reside at
says that he/she resides at
5 GLENBROOK ROAD, WESLEY HILLS

In the County of Rockland, State of New York; that he/she is the owner in
fee of all that certain lot, piece or parcel of land situated, lying and being
in the Village of Wesley Hills, and designated on the Town of Ramapo
Map as Section No. 41.11-1-57 Lot No. _____ and that he/she hereby
authorizes the attached application to be submitted in his/her behalf and
that the statements of fact contained in said application are true.

The applicant is the (owner) (contract vendee) of the said property.

Owner: NORMAN POMERANZ
Address: 1454 GLENVILLE DR
LOS ANGELES CA 90035

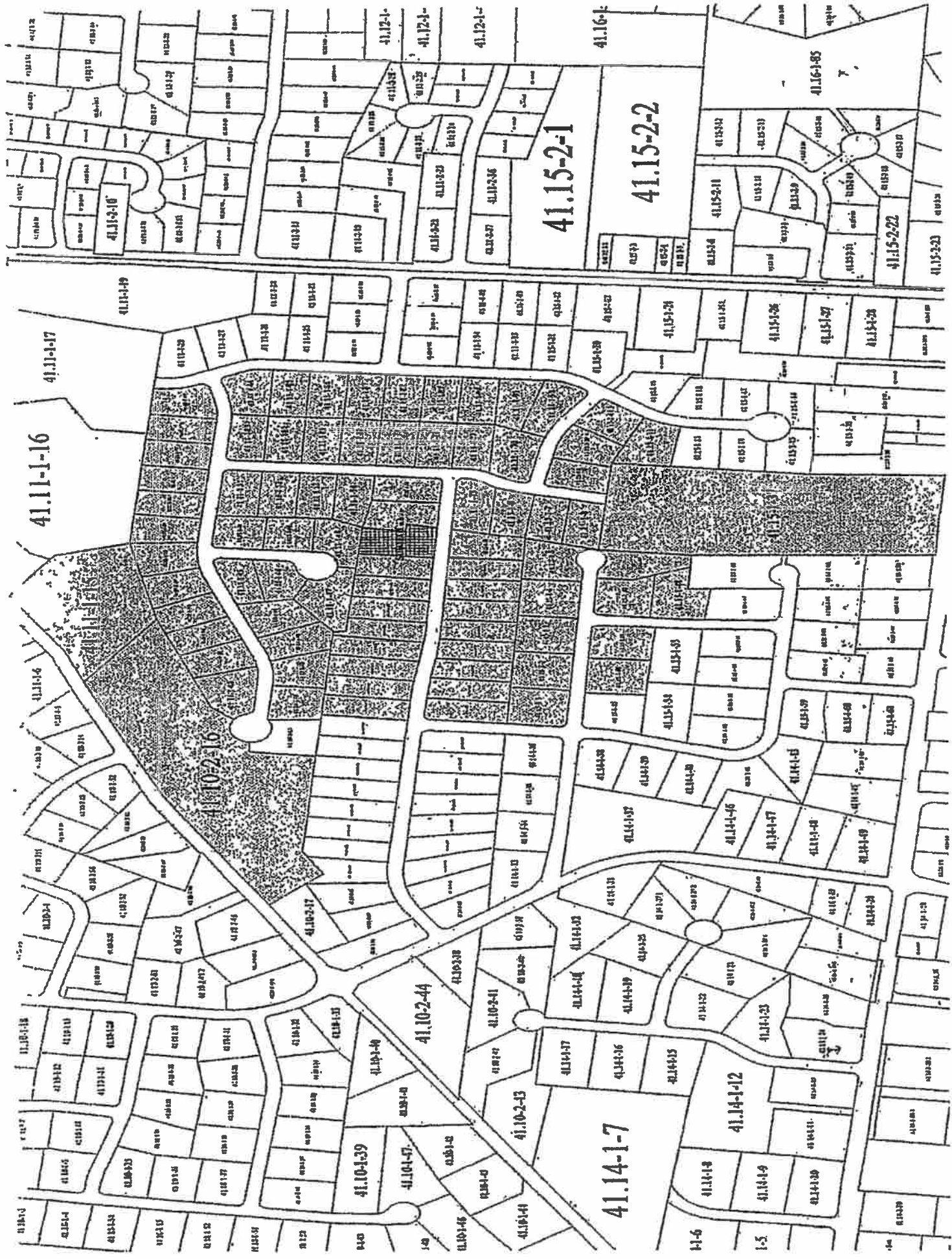


Sworn to before me this

30th day of December 2025

Tara S Roberts
Notary Public

TARA S ROBERTS
NOTARY PUBLIC STATE OF NEW YORK
RESIDING IN ROCKLAND COUNTY
NO. 01R06429066
MY COMMISSION EXPIRES 02/07/2026



41.11-1-16

41.10-2-16

41.15-2-1

41.15-2-2

41.14-1-7

41.10-2-44

41.14-1-2

11/41.11-1-92
ISHAKIS CHAIM & Yael
10 HOLLAND LA
MONSEY, NY 10952

11/41.11-1-70
MILLER LAWRENCE D + CAROL
12 GLENBROOK RD
MONSEY, NY 10952

11/41.11-1-67
18 GBH LLC
581 N FRANKLIN TPKE
RAMSEY, NJ 07446

11/41.11-1-61
RAUSMAN PHILIP & ESTHER
15 GLENBROOK ROAD
MONSEY, NY 10952

11/41.15-1-12
KLEIN SAMUEL
8 HOLLAND LN
MONSEY, NY 10952

11/41.15-1-50
PALACE ZACHARY & INESSA
6 BEDFORD RD
MONSEY, NY 10952

11/41.15-1-11
KLEIN MERVYN
38 WINESAP LA
MONSEY, NY 10952

11/41.15-1-9
LOWY MENACHEM M
12 NEIL RD
SPRING VALLEY, NY 10977

11/41.15-1-3
STROHLI MARK
14 HASTINGS RD
MONSEY, NY 10952

11/41.11-1-91
SCHAFAR JACOB & GALENA
1454 EAST 13TH STREET
BROOKLYN, NY 11230

11/41.15-1-5
SPIEGEL NATHAN & YAFIT
18 HASTINGS RD
MONSEY, NY 10952

11/41.11-1-69
NULMAN JEFFREY B & NINA S
14 GLENBROOK RD
MONSEY, NY 10952

11/41.11-1-80
HAKAKAIN PEDRAM
8 COUNTRY CLUB LA
MONSEY, NY 10952

11/41.11-1-65
REIFER IRA & MINDY
23 GLENBROOK RD
MONSEY, NY 10952

11/41.15-1-37
CNTRL SCHL DSTRCT NO 2
45-302
105 SO MADISON AV
SPRING VALLEY, NY 10977

11/41.15-1-51
GREENBERG MAYER & ROSALIE
11 HASTINGS RD
MONSEY, NY 10952

11/41.15-1-8
BOCHNER JOSEPH & ROBBIN
16 VAN WINKLE RD
MONSEY, NY 10952

11/41.15-1-7
STEINBERGER ROBERT
& JUDY
14 VAN WINKLE RD
MONSEY, NY 10952

11/41.15-1-2
SPIEGEL MORDECAI J &
GITTY
16 MOCCASIN PLACE
MONSEY, NY 10952

11/41.11-1-76
FRIEDMAN CHAIM & BLIMIE
15 VAN WINKLE RD
MONSEY, NY 10952

11/41.11-1-71
MINZER HILLEL & BROCHA C
10 GLENBROOK RD
MONSEY, NY 10952

11/41.11-1-68
16GBBH LLC
16 GLENBROOK ROAD
MONSEY, NY 10952

11/41.11-1-54
TSOUR CHAYA R
8 VAN WINKLE RD
WESLEY HILLS, NY 10952

11/41.15-1-48
GENUTH JOSHUA & EMILIE
4 BEDFORD RD
MONSEY, NY 10952

11/41.15-1-49
GROSZ JOSEPH & GORDON
ESTHER
17 HASTINGS RD
MONSEY, NY 10952

11/41.15-1-52
LEBOVIC CHAIM & LERNER
SHELLY
9 HASTINGS RD
MONSEY, NY 10952

11/41.15-1-10
BAUMAN FAMILY TRUST
315 N JUNE STREET
LOS ANGELES, CA 90004

11/41.15-1-4
LEBOVICS NACHUM B &
BRAUNSTEIN ANNE
APT 5N
83-15 LEFFERTS BLVD
KEW GARDENS, NY 11415

11/41.15-1-1
EISENBERGER JEFFREY &
LAUREN
10 HASTINGS RD.
MONSEY, NY 10952

11/41.15-1-6
SCHUCK AKIVA & ZIPORA
12 VAN WINKLE RD
MONSEY, NY 10952

11/41.11-1-90
MELANBY DR CORP
14 HOLLAND LA
MONSEY, NY 10952

11/41.11-1-74
GOTTDIENER YOSF S &
AHVA L E
4 GLENBROOK RD
MONSEY, NY 10952

11/41.11-1-66
KATZ ISRAEL & DASVA
20 GLENBROOK RD
MONSEY, NY 10952

11/41.11-1-62
EDELSTEIN ASHER &
SHARON STRUM
17 GLENBROOK RD
MONSEY, NY 10952

11/41.11-1-88
ERR 11-22 TRUST
18 HOLLAND LA
MONSEY, NY 10952

11/41.11-1-56
KATZ ALAN & DEBORAH
VERON
3 GLENBROOK RD
MONSEY, NY 10952

11/41.11-1-59
ORNSTEIN MARTON & JANEY
9 GLENBROOK RD
MONSEY, NY 10952

11/41.11-1-48
HERSHKOWITZ DAVID
1 JODI CT
MONSEY, NY 10952

11/41.11-1-47
FISCH JERALD & DEBORAH
SUE
2 JODI CT
MONSEY, NY 10952

11/41.11-1-75
SNOW ISRAEL & CHAVA
13 VAN WINKLE RD
MONSEY, NY 10952

11/41.11-1-73
GOLDSTEIN HAN & SIMONE
C/O PAYTRUST
PO BOX 00973706
SIOUX FALLS, SD 57186

11/41.11-1-89
MORRIS LEGACY TRUST
16 HOLLAND LA
MONSEY, NY 10952

11/41.11-1-63
VILNSKY RAFAEL &
AHVA
19 GLENBROOK RD
MONSEY, NY 10952

11/41.11-1-79
WEINSTOCK ELIOT & SARAH
9 VAN WINKLE RD
WESLEY HILLS, NY 10952

11/41.11-1-57
POMERANZ NORMAN & JULIA
PO BOX 67603
LOS ANGELES, CA 90067

11/41.11-1-60
HANDLER EDWARD & RACHEL
BERKOWITZ LEVY & RAIGY
11 GLENBROOK RD
MONSEY, NY 10952

11/41.11-1-44
KLAR DOV & RAIZY
18 AMSTERDAM AV
MONSEY, NY 10952

11/41.11-1-81
LEVITIN HARVEY & LORNA M
5 VAN WINKLE RD
MONSEY, NY 10952

11/41.11-1-42
MARKOWITZ HILTEL & RUTH
22 AMSTERDAM AV
MONSEY, NY 10952

11/41.11-1-72
SAPERSTEIN CHAIM & SARAH
8 GLENBROOK RD
MONSEY, NY 10952

11/41.11-1-78
ROSENBERG LOUIS & ALIZA
11 VAN WINKLE ROAD
MONSEY, NY 10952

11/41.11-1-64
YUROWITZ SAM T &
SHELLY
21 GLENBROOK RD
MONSEY, NY 10952

11/41.11-1-55
KOPITCK STEVEN & RIVKAH
10 VAN WINKLE RD
MONSEY, NY 10952

11/41.11-1-58
COHEN RICHARD & CHANA
7 GLENBROOK RD
MONSEY, NY 10952

11/41.11-1-87
BLACHORSKY SHIRAZ & LITA
20 HOLLAND LA
MONSEY, NY 10952

11/41.11-1-37
SCHLISSELFELD SIMRON
HILTEL & CHAYA
19 AMSTERDAM AV
MONSEY, NY 10952

11/41.11-1-83
YANOVSKY MARION
6 VAN WINKLE RD
MONSEY, NY 10952

11/41.11-1-85
WERTENTHER ARIELLE &
JOSHUA
24 HOLLAND LANE
MONSEY, NY 10952

11/41.11-1-41
GOLDMAN ARON & NECHAMA
24 AMSTERDAM AVENUE
WESLEY HILLS, NY 10952

11/41.11-1-82
SHIPPER LEGACY TRUST
3 VAN WINKLE ROAD
MONSEY, NY 10952

11/41.11-1-49
PEIKES NAOM & SHARON
3 JODI COURT
WESLEY HILLS, NY 10977

11/41.11-1-52
HERSKOVICH YEHUDIT LEORA
4 VAN WINKLE RD
MONSEY, NY 10952

11/41.11-1-43
TIAA FSB
3637 SENTARA WAY
VIRGINA BEACH, VA 23452

11/41.11-1-46
BALDINGER JACOB &
FOX JANET
4 JODI
MONSEY, NY 10952

11/41.11-1-83
HOLLANDER IRWIN J & EVE J
1 VAN WINKLE RD
MONSEY, NY 10952

11/41.11-1-84
KLITNICK MORDECHAI & EVA
26 HOLLAND LN
MONSEY, NY 10952

11/41.11-1-51
EISSENBERG YEHUDA &
MIRIAM
2 VAN WINKLE RD
MONSEY, NY 10952

11/41.11-1-45
MINDICK MOSHE MARK
16 AMSTERDAM AVE
MONSEY, NY 10952

11/41.11-1-50
JACOBSON EPHRAIM & ADEENA
5 JODI CT
MONSEY, NY 10952

11/41.11-1-40
MEIR MOSHE
25 AMSTERDAM AV
MONSEY, NY 10952

11/41.11-1-39
FRUCHTHANDLER BARUCH D
& CHERYL
23 AMSTERDAM AVENUE
MONSEY, NY 10952

11/41.11-1-38
FRUCHTHANDLER BARUCH D &
CHERYL
21 AMSTERDAM AV
MONSEY, NY 10952

11/41.10-2-16
RAMAPO TOWN OF
35-406 **
237 RT 59
SUFFERN, NY 10901

11/41.11-1-29
OKOLICA SHOLOM &
GINSBERG SARA
28 HOLLAND LA
MONSEY, NY 10952

11/41.11-1-30
GOLD SHARON
3 AMSTERDAM AVE
MONSEY, NY 10952

11/41.11-1-31
ZWEIG NECHEMIA & REBECCA
5 AMSTERDAM AV
MONSEY, NY 10952

11/41.11-1-36
KOBlick YEHUDA &
REBECCA
17 AMSTERDAM AV
MONSEY, NY 10952

11/41.11-1-32
GELB YITZCHAK & YEHUDIT
3206 AVENUE K
BROOKLYN, NY 11210

11/41.11-1-33
GEWIRTZ JONATHAN &
ESTHER T
9 AMSTERDAM AV
MONSEY, NY 10952

11/41.11-1-35
KRAM DAVID S & LISA
15 AMSTERDAM AVE
MONSEY, NY 10952

11/41.11-1-34
SCHLISSELFELD ISRAEL &
CHERYL
11 AMSTERDAM AV
MONSEY, NY 10952

11/41.11-1-15
RAMAPO TOWN OF
237 RT 59
SUFFERN, NY 10901

DISCLAIMER

APPLICANT TAKES FULL RESPONSIBILITY FOR RESEARCHING THE TAX MAP FOR THE LIST OF NAMES OF PROPERTY OWNERS ON THE ENCLOSED *AFFIDAVIT OF MAILING LIST*, AND SUPPLYING THE NECESSARY AMOUNT OF SELF-ADDRESSED STAMPED ENVELOPES.

THE APPLICANT'S ENVELOPES MUST COINCIDE WITH THE LIST. THE CLERK'S RESPONSIBILITY IS LIMITED TO CHECKING NAMES ON THE ENVELOPES AGAINST THE AFOREMENTIONED AFFIDAVIT BEFORE MAILING THEM.

RECEIPT OF THIS DISCLAIMER IS ACKNOWLEDGED

NORMA POMERANCE
APPLICANT

12/29/25
DATED



PART II

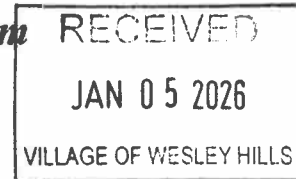
Application before the Zoning Board of Appeals

Application, petition or request is hereby submitted for:

- Variance from the requirement of Section 23^D _____;
- Special permit per the requirements of Section _____;
- Review of an administrative decision of the Building Inspector;
- An order to issue a Certificate of Occupancy;
- An order to issue a Building Permit;
- An interpretation of the Zoning Ordinance or Map;
- Certification of an existing non-conforming structure or use;
- Other (*explain*) _____;

To permit construction, maintenance and use of ADU ACCESSORY BUILDING
REQUIREMENTS, SIDE YARD, TOTAL SIDE YARD, ADU
FRONT YARD VARIANCES.

Short Environmental Assessment Form
Part 1 - Project Information



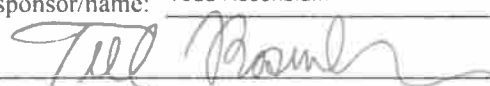
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Pomeranz Residence Cabana			
Project Location (describe, and attach a location map): 5 Glenbrook Road, Wesley Hills, NY			
Brief Description of Proposed Action: Application to the Wesley Hills Zoning Board of Appeals for three variances to construct a proposed accessory building. The cabana requires a side yard variance, total side yard variance, and rear yard variance. The side yard and total side yard variances are the same as previously granted for the single-family residence currently under construction on the property.			
Name of Applicant or Sponsor: Todd Rosenblum		Telephone: 845-364-0337 E-Mail: todd@adaparch.com	
Address: 221 Quaker Road			
City/PO: Pomona		State: NY	Zip Code: 10970
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Wesley Hills ZBA and Building Department		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		34,117 sf acres	
b. Total acreage to be physically disturbed?		4,000 sf acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		34,117 sf acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe: _____		
Existing Drywell drainage system. _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ Swimming pool.	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Todd Rosenblum</u> Date: <u>12/29/2025</u>		
Signature: <u></u> Title: <u>Architect</u>		



432 Route 306

Wesley Hills, N.Y. 10952-1221

Phone: 845-354-0400 Fax: 845-354-4097 www.wesleyhills.gov

Email: BuildingDept@wesleyhills.gov

Dated: January 7, 2026

Tax Parcel ID: 41.11-1-57

Address: 5 Glenbrook Road


Applicant: Henry Pomeranz

BUILDING AND ZONING DEPARTMENT:

Please be advised that your application for a building permit for a cabana has been denied. The requirements of the Zoning Law of the Village of Wesley Hills have not been satisfied. The following variances are required:

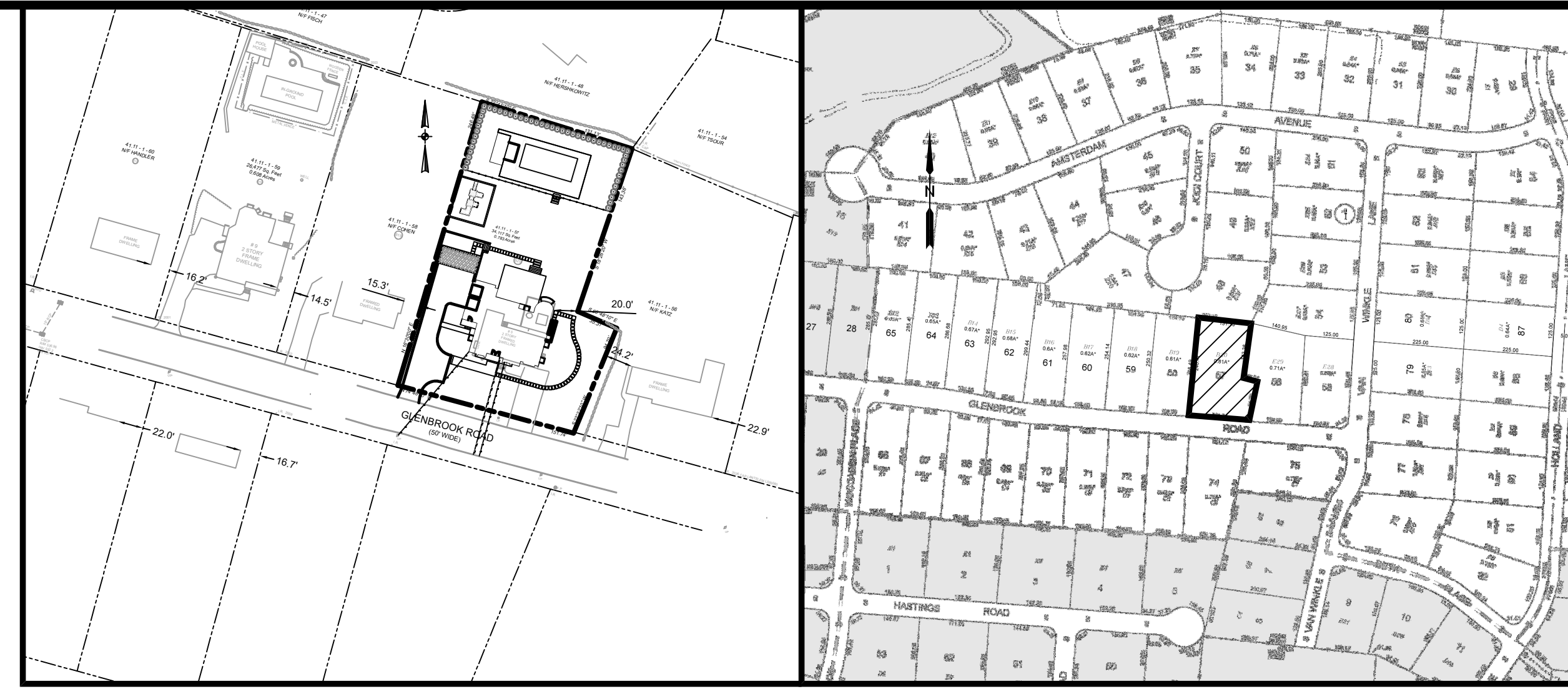
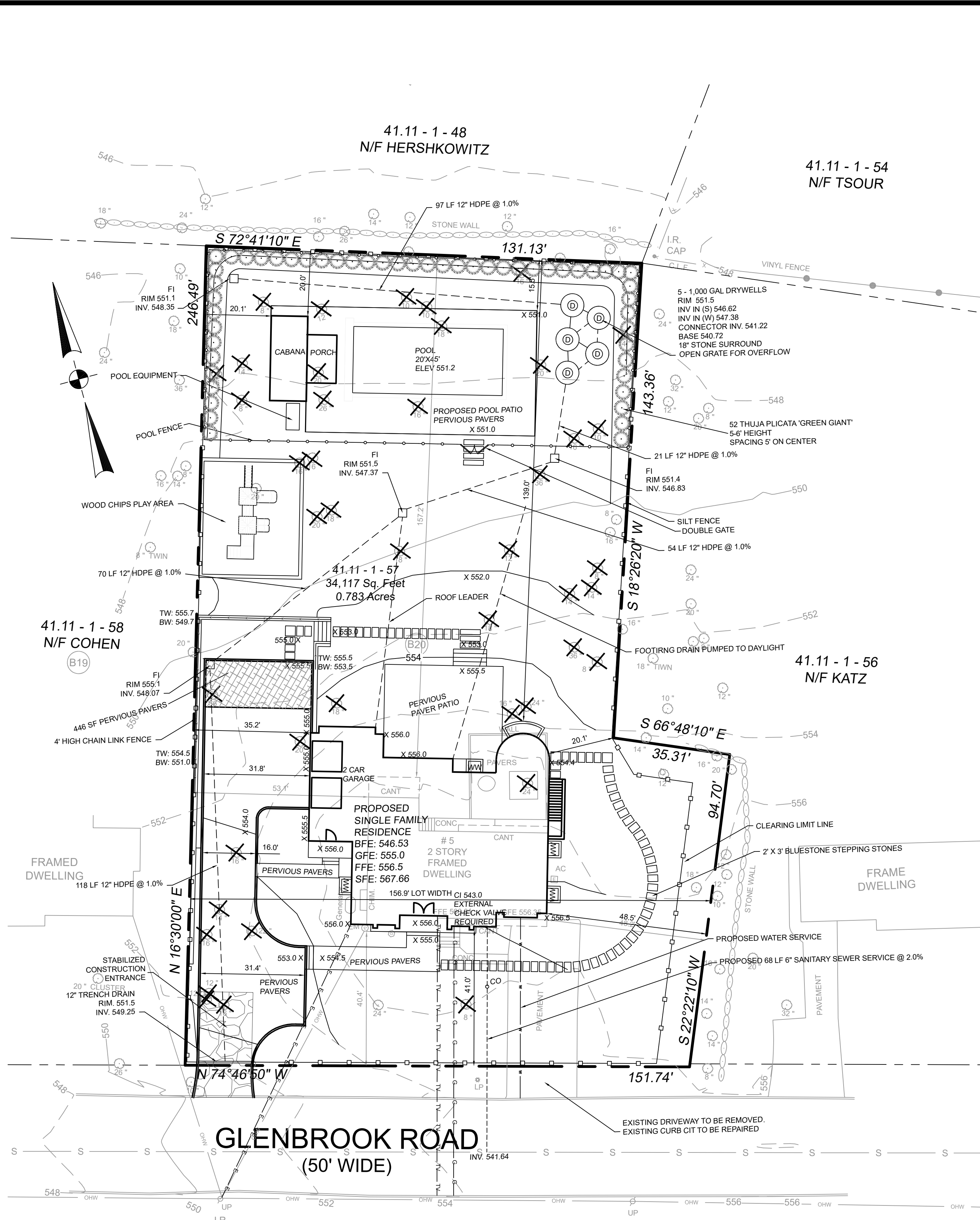
- ~Minimum side yard of 20.1' where 25' is required
- ~Minimum total side yard of 55.3' where 60' is required
- ~Minimum rear yard of 20' where 50' is required

In addition, the Zoning Board of Appeals may review any existing non-conforming items and previously granted variances.



John Layne
Building Inspector

cc: Zoning Board of Appeals



SCHEMATIC MAP
1" = 100'

VICINITY MAP
1" = 300'

BUILDING COVERAGE CALCULATION FROM ARCHITECT:
 1.5 STORY (1,390 SF HOUSE + 510 SF CABANA) 1,900 SF + 2.5 STORY @ 2,220 SF = 4,120 SF
 4,120 SF / 34,117 = ACTUAL BUILDING COVERAGE (0.121)
 1,900 / 4,120 = 0.46 X 0.05 = 0.023 + 0.100 = 0.123
 34,117 SF X 0.123 = 4,196 SF MAXIMUM ALLOWABLE BLDG. COVERAGE

Building Height	
Grade Plane Elevation	555.6
Top of 2nd Floor (Highest Pt)	577.8
Difference in Height	22.3

** Elevations to be confirmed by architect

Lot Coverage		Front Yard Impervious	
Driveway (excluding pervious pavers)	2779 SF	Driveway	692 SF
Dwelling	3443 SF	Stairs + Landings	59 SF
Stairs + Landings	187 SF	Walls	25 SF
Window Wells	152 SF		
Side stairs to basement	87 SF	Total	776 SF
Patio stairs	50 SF	Front Yard Area	6327 SF
Cabana + Porch	411 SF	Coverage	0.123
Pool	900 SF		
Stepping Stones	513 SF		
Total	8522 SF		
Coverage	0.250		

Bulk Requirements: R-35 Single Family Residence

	Min Lot Area	Min Lot Frontage	Min Lot Width	Min Effective Square Side	Min Front Yard	Min Side Yard	Min Side Pool	Min Side Accessory	Min Total Side Yard	Min Rear Yard	Min Rear Pool	Min Rear Accessory	Max Impervious Surface Ratio	Max Front Yard Impervious Surface Ratio	Max Building Coverage	Max Building Height	Max Exposed Building Height
Required	35,000 SF	100 FT	125 FT	125 FT	50 FT	25 FT	15 FT	25 FT	60 FT	50 FT	15 FT	50 FT	0.25	0.2	0.123	2.5 stories/25 FT	40 FT
Existing	34,117 SF	151.7 FT	156.9 FT	125 FT	40.4 FT	48.2 FT	N/A	N/A	101.3 FT	157.2 FT	N/A	N/A	0.11	0.16	0.05	2 stories	<40 FT
Provided	34,117 SF	151.7 FT	156.9 FT	125 FT	41 FT**	20.1 FT*	20 FT	20.1 FT*	55.3 FT*	139 FT	15.5 FT	20 FT**	0.25	0.123	0.121	22.5 FT	32.8 FT
Variance						Granted	Required	Granted	Required		Required	Required			Granted		

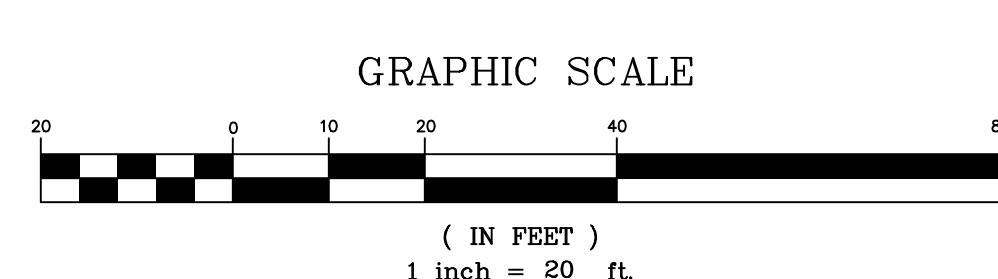
*Variances Granted on 4/17/24
 **40 FT is permitted as per the Glenbrook Knolls subdivision map which allows 40' front yard setbacks
 ***Variance Required

GENERAL NOTES

- RECORD OWNER AND APPLICANT: POMERANZ NORMAN & JULIA
5 GLENBROOK ROAD
MONSEY, NY 10952
- TAX REFERENCE: VILLAGE OF WESLEY HILLS: 41.11-1-57.
- AREA OF PROPERTY: 34,117 SQUARE FEET OR 0.783 ACRES
- BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED UPON A FIELD SURVEY COMPLETED BY CIVIL TEC ENGINEERING & SURVEYING PC. ON JULY 25, 2023
- PROFESSIONAL ENGINEER LICENSED IN NEW YORK MUST CERTIFY INSTALLATION OF PERMEABLE PAVERS. ENGINEER SHALL BE CONTACTED 48 HOURS PRIOR TO INSTALLATION TO SCHEDULE INSPECTION.
- VILLAGE ENGINEER MUST WITNESS SOIL PERCOLATION TESTING AND SHALL BE CONTACTED 48 HOURS IN ADVANCE OF THE TEST FOR SCHEDULING. VILLAGE ENGINEER MUST INSPECT ANY INFILTRATION SYSTEM INSTALLATION PRIOR TO BACKFILL OF ANY SOIL OR AGGREGATE. ANY INFILTRATION SYSTEM INSTALLED PRIOR TO SATISFACTORY TESTING OR NOT WITNESSED BY VILLAGE ENGINEER WILL NOT BE ACCEPTED.

REFERENCES

- BEING SECTION 41.11, BLOCK 1, LOT 57 OF THE VILLAGE OF WESLEY HILLS AND TOWN OF RAMAPO TAX MAPPING.
- LOT DESCRIBED BY DEED IN INSTRUMENT NO. 2022 AT PAGE 43099 AT THE ROCKLAND COUNTY CLERKS OFFICE.
- BEING LOT 20 IN BLOCK B ON A MAP ENTITLED "GLENBROOK KNOLLS EAST SECTION IN VIOLA", FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON MARCH 31, 1959 IN BOOK 60 ON PAGE 6 AS MAP NUMBER 2646.
- TOTAL AREA = 34,117 SQUARE FEET OR 0.783 ACRES.



DATE	ISSUE	DESCRIPTION	REVISIONS
DECEMBER 22, 2025	REV 6	REV PER LANDSCAPE ARCHITECT	
NOVEMBER 26, 2025	REV 5	REV CABANA	
OCTOBER 27, 2025	REV 4	REV POOL AND CABANA	
JUNE 6, 2025	REV 3	REV BULK TABLE	
JUNE 4, 2025	REV 2	REV PER VILLAGE ENGINEER	
APRIL 22, 2025	REV 1	REV PER VILLAGE ENGINEER	

S.B.L. 41.11 - 1-57
PLOT PLAN
 FOR
5 GLENBROOK ROAD
 VILLAGE OF WESLEY HILLS - ROCKLAND COUNTY - NEW YORK

CIVIL TEC Engineering & Surveying PC

DATE: 3/24/25

139 Lafayette Avenue, 2nd Fl. 111 Main Street
 Suffern, NY 10901 Chester, NY 10918
 P 845.547.2241 - F 845.547.2243 845.610.3621

DRAWN BY: DC

CHKD BY: RB/LT

JOB No. 4294

SCALE: 1"=20'

DWG No. 1 OF 2

Rachel B. Barese, P.E.
 N.Y. Lic. No. 90143

PART I

Name of Municipality VILLAGE OF WESLEY HILLS Date _____

Please check all that apply:

<input type="checkbox"/> Planning Board	<input type="checkbox"/> Architectural Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Municipal Board	
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Pre-preliminary/Sketch
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Zoning Code Amendment	<input type="checkbox"/> Zone Change
<input checked="" type="checkbox"/> Variance * (Fill out Part II of this form.)	

Project Name: GARFINKEL RESIDENCE

Applicant: 7 BRUCK COURT LLC Phone # 917-734-1836
Address 7 BRUCK COURT SPRING VALLEY, NY 10977
Street Name & Number (Post Office) State Zip code

Property Owner: 7 BRUCK COURT LLC Phone # 917-734-1836
Address 747 CHESTNUT RIDGE RD, SUITE 102, CHESTNUT RIDGE, NY 10977
Street Name & Number (Post Office) State Zip code

Engineer/Architect/Surveyor: TODD ROSENBLUM Phone # 845-364-0337
Address 221 QUAKER ROAD POMONA, NY 10970
Street Name & Number (Post Office) State Zip code

Attorney: _____ Phone # _____
Address _____
Street Name & Number (Post Office) State Zip code

Contact Person: STEVE SAFFER Phone # 845-494-7382
Address PO BOX 515 POMONA NY 10970
Street Name & Number (Post Office) State Zip code

Tax Map Designation:

Section 41.08 Block 2 Lot(s) 12

Section _____ Block _____ Lot(s) _____

Location: On the WEST side of BRUCK COURT,
160 feet NORTH of CHARLOTTE DRIVE.

Acreeage of Parcel 43,602 Zoning District R-35

School District EAST RAMAPO Postal District SPRING VALLEY

Project Description: *(If additional space required, please attach a narrative summary.)*

SEE ATTACHED NARRATIVE LETTER

If subdivision: N/A

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____

Project History: Has this project ever been reviewed before? NO

If so, list case number, name, date, and the board you appeared before.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

N/A

"Permission is hereby granted to the Village of Wesley Hills, its agents, servants and employees to enter upon the above described property solely for the purposes incidental to the within application at reasonable times upon reasonable notice to the owner or tenant in possession."

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 K, L, M, AND N.

- | | |
|---|---|
| <input type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path | <input type="checkbox"/> County Stream |
| <input type="checkbox"/> Municipal Boundary | <input type="checkbox"/> County Facility |

List name(s) of facility checked above. N/A

Applicant's Signature and Certification

State of New York)
County of Rockland) SS.:
Town/Village of WESLEY HILLS)

I, SARA GOLDA GARFINKEL, hereby depose and say that all the above statements contained in the papers submitted herewith are true.

Mailing Address

Sara Golda Garfinkel MANAGING MEMBER
7 BROCK COURT LLC
747 CHESTNUT RIDGE RD., SUITE 102
CHESTNUT RIDGE, NY 10977

SWORN to before this
5 day of JANUARY, 20 26

Rebecca Garfinkel
Notary Public

REBECCA GARFINKEL
Notary Public - State of New York
No. 01GA0013848
Qualified in Rockland County
My Commission Expires 09/27/2027

Affidavit of Ownership/Owner's Consent

State of New York)
County of Rockland) SS.:
Town/Village of WESLEY HILLS)

I, SARA GOLDA GARFINKEL being duly sworn, hereby
depose and say that I reside at: 10 WILSON COURT, SPRING VALLEY,
WESLEY HILLS, NEW YORK 10977
in the county of ROCKLAND in the state of NEW YORK.

I am the * MANAGING MEMBER OF 7 BRUCK COURT LLC owner in fee simple of premises located at:
7 BRUCK COURT LLC

described in a certain deed of said premises recorded in the Rockland County Clerk's
Office in Liber _____ of conveyances, page _____: INSTRUMENT
NUMBER 2024-00018878,

Said premises have been in my/its possession since 2024. Said premises are
also known and designated on the Town of RAMAPO Tax Map as:
section 41.08 block 2 lot(s) 12

I hereby authorize the within application on my behalf, and that the statements of fact
contained in said application are true, and agree to be bound by the determination of the
board.

Owner
Mailing Address

Sam Gulde Gynel MANAGING MEMBER
7 BRUCK COURT LLC
747 CHESTNUT RIDGE RD, SUITE 102
CHESTNUT RIDGE, NEW YORK 10977

SWORN to before this
5 day of JANUARY, 2026

Rebecca Garfinkel
Notary Public

REBECCA GARFINKEL
Notary Public - State of New York
No. 01GA0013848
Qualified in Rockland County
My Commission Expires 09/27/2027

* If owner is a corporation, fill in the office held by deponent and name of corporation,
and provide a list of all directors, officers and stockholders owning more than 5% of
any class of stock.

Affidavit Pursuant to Section 809 of the General Municipal Law

State of New York)

County of Rockland) SS.:

Town/Village of WESLEY HILLS)

I, SARA GOLDA GARFINKEL, being duly sworn, hereby depose and say that all the following statements and the statements contained in the papers submitted herewith are true and that the nature and extent of any interests set forth are disclosed to the extent that they are known to the applicant.

1. Print or type full name and post office address

SARA GOLDA GARFINKEL, MANAGING MEMBER OF
7 BROCK COURT LLC, OWNER
747 CHESTNUT RIDGE ROAD, SUITE 102
CHESTNUT RIDGE, NEW YORK 10977

certifies that he is owner or agent of all that certain lot, piece or parcel of land and/or building described in this application **and if not the owner that he has been duly and properly authorized to make this application and to assume responsibility for the owner in connection with this application for the relief below set forth:**

2. To the ZONING BOARD OF APPEALS of the Town/Village of
(Board, Commission or Agency)
WESLEY HILLS, Rockland County, New York:

Application, petition or request is hereby submitted for:

- Variance or modification from the requirement of Section 230 BUILDING COVERAGE
- Special permit per the requirements of Section _____;
- Review and approval of proposed subdivision plat;
- Exemption from a plat or official map;
- An order to issue a certificate, permit or license;
- An amendment to the Zoning Ordinance or Official Map or change thereof;
- Other (explain) _____;

To permit construction, maintenance and use of FRONT PORCH, SIDE PORCH
AND CABANA

3. Premises affected are in a R-35 zone and from the town of RNMAPD tax map, the property is know as Section 41.08, Block, 2, Lot(s) 12.

4. There is no state officer, Rockland County Officer or employee or town/village officer or employee nor his or her spouse, brother, sister, parent, child or grandchild, or a spouse of any of these relatives who is the applicant or who has an interest in the person, partnership or association making this application, petition or request, or is an officer, director, partner or employee of the applicant, or that such officer or employee, if this applicant is a corporation, legally or beneficially owns or controls any stock of the applicant in excess of 5% of the total of the corporation if its stock is listed on the New York or American Stock Exchanges; or is a member or partner of the applicant, if the applicant is an association or a partnership; nor that such town/village officer or employee nor any member of his family in any of the foregoing classes is a party to an agreement with the applicant, express or implied, whereby such officer or employee may receive any payment or other benefit, whether or not for service rendered, which is dependent or contingent upon the favorable approval of this application, petition or request.

5. That to the extent that the same is known to your applicant, and to the owner of the subject premises **there is disclosed herewith** the interest of the following officer or employee of the State of New York or the County of Rockland or of the Town/Village of WESLEY HILLS in the petition, request or application or in the property or subject matter to which it relates:

(if none, so state)

a. Name and address of officer or employee NONE

b. Nature of interest _____

c. If stockholder, number of shares _____

d. If officer or partner, nature of office and name of partnership _____

e. If a spouse or brother, sister, parent, child, grandchild or the spouse of any of these blood relatives of such state, county or town/village officer or employee, state name and address of such relative and nature of relationship to officer and employee and nature and extent of office, interest or participation or association having an interest in such ownership or in any business entity sharing in such ownership. _____

f. In the event of corporate ownership: A list of all directors, officers and stockholders of each corporation owning more than five (5%) percent of any class of stock, must be attached, if any of these are officers or employees of the State of New York, or of the County of Rockland, or of the Town/Village of _____.

I, _____, do hereby depose and say that all the above statements and statements contained in the papers submitted herewith are true, knowing that a person who knowingly and intentionally violates this section is guilty of a misdemeanor.

Mailing Address

Jim Gilda Gynul
TBRUCK COURT LLC
247 CHESTNUT RIDGE ROAD, SUITE 102
CHESTNUT RIDGE, NEW YORK 10917

SWORN to before this

5 day of JANUARY, 2026

Rebecca Garfinkel
Notary Public

REBECCA GARFINKEL
Notary Public - State of New York
No. 01GA0013848
Qualified in Rockland County
My Commission Expires 09/27/2027

VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

AFFIDAVIT OF OWNERSHIP

STATE OF NEW YORK }
COUNTY OF ROCKLAND } SS:
VILLAGE OF WESLEY HILLS }

SARA GOLDA GARFINKEL being duly sworn, deposes and
says that ~~he~~ she resides at 10 WILSON COURT
WESLEY HILLS, SPRING VALLEY, NEW YORK 10977

in the County of Rockland, State of New York; that he/she is the owner in
fee of all that certain lot, piece or parcel of land situated, lying and being
in the Village of Wesley Hills, and designated on the Town of Ramapo
Map as Section No. 41.08 Lot No. 2-12 and that he/she hereby
authorizes the attached application to be submitted in his/her behalf and
that the statements of fact contained in said application are true.

The applicant is the (owner) (contract vendee) of the said property.

Owner: Sara Golda Garfinkel, MANAGING MEMBER
Address: 7 BRUCK COURT LLC
747 CHESTNUT RIDGE ROAD, SUITE 102
CHESTNUT RIDGE, NEW YORK 10977

Sworn to before me this

5 day of JANUARY 2026

Rebecca Garfinkel
Notary Public

REBECCA GARFINKEL
Notary Public - State of New York
No. 01GA0013848
Qualified in Rockland County
My Commission Expires 09/27/2027

AFFIDAVIT

State of New York)

County of Rockland) SS.:

Town/Village of WESLEY HILLS)

I, SARA GOLDA GARFINKEL being duly sworn deposes and says that he is the applicant, agent or attorney for applicant, in the matter of the petition before the ZONING BOARD OF APPEALS (board) in the town/village of WESLEY HILLS affecting property located at 7 BROCKCOURT, SPRING VALLEY, Rockland County, New York.

That the following are all of the owners of property 750 feet (distance) from the premises as to which this application is being taken.

SECTION/BLOCK/LOT NAME ADDRESS

SEE ATTACHED LIST

SWORN to before this

5 day of JANUARY, 2026

Rebecca Garfinkel
Notary Public

Sara Golda Garfinkel
MANAGING MEMBER
7 BROCK COURT LLC

REBECCA GARFINKEL
Notary Public - State of New York
No. 01GA0013848
Qualified in Rockland County
My Commission Expires 09/27/2027



SUBJECT

41.07-1-22

41.07-1-23

41.08-2-58.7

42.05-1-3

41.08-2-33

42.05-1-1

41.08-2-32

42.05-1-11

42.05-1-15

42.05-1-16

42.09-1-1

42.09-1-6

42.09-1-7

42.05-2-1-1

42.05-2-1-2

42.05-2-2

42.05-2-3

42.05-2-4

42.05-2-5

42.05-2-6

42.05-2-7

42.05-2-8

11/41.08-1-22
BUCHWEITZ FRANK & SUSAN
25 DEERWOOD RD
SUFFERN, NY 10901

11/41.08-2-16
CEKLENIAK JEAN
29 BRUCK CT
SPRING VALLEY, NY 10977

11/41.08-2-30
LEVERTON ESTY YIDES
22 POMONA LANE
SUFFERN, NY 10901

11/41.08-2-29
NEIMAN MARTIN & JANET
24 POMONA LA
SUFFERN, NY 10901

11/41.08-2-56
HOOK JONATHAN & NAOMI
6 DEERWOOD RD
WESLEY HILLS, NY 10977

11/41.08-2-58.12
ADLER ESTHER M & MEYER
10 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.08-2-58.13
MAMMON LAURENCE &
MICHELLE
8 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.08-2-58.3
BRAUNSTEIN SHALOM &
ELIANA
5 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.08-2-55
LOEBENBERG LEGACY TRUST
8 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-1-41
ENGELSTEIN YARON
7 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-2-54
GREENWALD MOISHE &
NICOLE A
10 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-2-58.7
MESSNER ALAN & TOVA
15 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.08-2-58.6
FISHKIND ARI & DEBORAH
11 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.08-2-58.5
GRUBER BRENDA
9 ROCHELLE LANE
SPRING VALLEY, NY 10977

11/41.08-2-58.4
ZUPNIK JOSEPH & ELISA
7 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.08-1-44.2
JAY COURT HOLDINGS LLC
6 JAY COURT
MONSEY, NY 10952

11/41.08-1-40
MAKOWSKY FRADY & ABRAHAM
9 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-2-53
KURTZ SETH & CHAYA
REVOCABLE TRUST
12 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-2-43
BUSH PHILIP & LAUREL H
30 CHARLOTTE DR
SPRING VALLEY, NY 10977

11/41.08-2-44
SUSSHOLZ CHANINA
28 CHARLOTTE DR
SPRING VALLEY, NY 10977

11/41.08-2-45
ROSEN YEHUDIS
26 CHARLOTTE DR
SPRING VALLEY, NY 10977

11/41.08-2-46
HOROWITZ BRUCE & JOANNE
REDDEN
24 CHARLOTTE DR
SPRING VALLEY, NY 10977

11/41.08-2-47
SHATZKES AVRUM
22 CHARLOTTE DR
SPRING VALLEY, NY 10977

11/41.08-2-49
STERN YOAV & GILAH
18 CHARLOTTE DR
SPRING VALLEY, NY 10977

11/41.08-2-48
DAHAN ISRAEL & MELANIE
20 CHARLOTTE DR
SPRING VALLEY, NY 10977

11/41.08-1-34
JAY COURT HOLDINGS LLC
6 JAY COURT
MONSEY, NY 10952

11/41.08-2-50
CONG ATERES ROSH INC
16 CHARLOTTE DR
SPRING VALLEY, NY 10977

11/41.08-1-39
TAUB SAMUEL & GITY
1363 EAST 31ST
BROOKLYN, NY 11210

11/41.08-2-51
COHN HENOCH & MIRJAM
14 CHARLOTTE DR
SPRING VALLEY, NY 10977

11/41.08-2-52
POLLAK STUART & ESTHER
14 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-1-35
SPIRA ABRAHAM & TZIPORA
4 CHARLOTTE DR
SPRING VALLEY, NY 10977

11/41.08-1-38
BOOK SAMUEL &
ZICHERMAN-BOOK ZIPORA
15 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-2-22
PARSONS FAMILY TRUST
21 CHARLOTTE DR
WESLEY HILLS, NY 10977

11/41.08-2-11
KLEIN ALAN D &
ELANA G
19 CHARLOTTE DR
SPRING VALLEY, NY 10977

11/41.08-1-37
GLUBERMAN KAREN
47 WAATERS EDGE
CONGERS, NY 10920

11/41.08-2-37
WENZ SILVIA
29 CHARLOTTE DR
SPRING VALLEY, NY 10977

11/41.08-2-36
PONZONI GEORGE B +
PHYLLIS TRUSTS
2 LAURA LA
SPRING VALLEY, NY 10977

11/41.08-2-24
MACK STANLEY
1 LAURA LA
SPRING VALLEY, NY 10977

11/41.08-2-23
DEROSA DOMINICK J & KAREN
23 CHARLOTTE DR
SPRING VALLEY, NY 10977

11/41.08-2-10
POLLACK MENACHEM M & JUDY
17 CHARLOTTE DR
SPRING VALLEY, NY 10977

11/41.08-1-36
ROSENBERG MOSHE
16 RYAN RD
EDISON, NJ 08817

11/41.08-2-21
FRIEDMAN MARK & SHARON
8 BRUCK CT
SPRING VALLEY, NY 10977

11/41.08-2-35
MORRISON RICHARD J
4 LAURA LA
SP VALLEY, NY 10977

11/41.08-1-26
MULLER ISAAC & MICHELLE
17 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-2-12
7 BRUCK COURT LLC
C/O GARFINKEL
10 WILSON CT
SPRING VALLEY, NY 10977

11/41.08-2-25
LUGER ELLIOT
3 LAURA LANE
WESLEY HILLS, NY 10977

11/41.08-2-9
WOLF DAVID & SHOSHONA
20 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-2-34
KUZNICKI NOSSON & ALIZA
6 LAURA LA
SPRING VALLEY, NY 10977

11/41.08-2-20
KLEIMAN TZVI N
14 BRUCK CT
SPRING VALLEY, NY 10977

11/41.08-1-25
DEERWOOD TRUST
5 FIELDCREST DR
MONSEY, NY 10952

11/41.08-2-26
SCHUSTER DAVID & YAEL
5 LAURA LANE
WESLEY HILLS, NY 10977

11/41.08-2-13
HERSCHMANN LIORA D &
ASHLEY N
11 BRUCK CT
SP VALLEY, NY 10977

11/41.08-1-27
PERKOWSKI JOEL & MIRIAM
13 CHARLOTTE DR
SPRING VALLEY, NY 10977

11/41.08-1-28
DAVIDSON NICHOLAS &
JENNIFER
11 CHARLOTTE DR
SPRING VALLEY, NY 10977

11/41.08-2-8
REICHNER KENNETH J &
HORWITZ LYNN D
22 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-2-19
SAFRIN JACOB & SHIFRA
20 BRUCK CT
SPRING VALLEY, NY 10977

11/41.08-1-24
HASSAN ISAAC MICHAEL &
ELAHE
21 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-2-28
GROSS MARC & BARBARA
8 LAURA LA
SPRING VALLEY, NY 10977

11/41.08-2-14
MAYERFELD STANLEY &
MALKY & DAVID
17 BRUCK CT
SPRING VALLEY, NY 10977

11/41.08-2-27
KREISMANN JAY D & MIRIAM
7 LAURA LA
SPRING VALLEY, NY 10977

11/41.08-2-7
EISENBERG SUSAN
24 DEERWOOD RD
SUFFERN, NY 10901

11/41.08-1-15
JOSEPH XUE LI SUN
21 HILLSIDE CT
SUFFERN, NY 10901

11/41.08-1-23
CHASEN MICHAEL & DORIT
23 DEERWOOD RD
SUFFERN, NY 10901

11/41.08-2-18
PILCHICK JONATHAN & CHANI
24 BRUCK CT
WESLEY HILLS, NY 10977

11/41.08-1-16
SCHUH ADAM & JENNAH
23 HILLSIDE CT
SUFFERN, NY 10901

11/41.08-2-15
FRANKEL YITZCHOK
25 BRUCK CT
SPRING VALLEY, NY 10977

11/41.08-2-6
ROSENBERG DAVID & YONINA
26 DEERWOOD RD
SUFFERN, NY 10901

11/41.08-2-17
ZELMAN NAFTALI SHIMON
& HEATHER
28 BRUCK CT
SPRING VALLEY, NY 10977

11/41.08-1-17
STARK MOSES & ESTHER
UNIT 36
585 MARCY AVE
BROOKLYN, NY 11206

11/41.08-2-5
KUSHNER AHARON & SHARON
28 DEERWOOD RD
SUFFERN, NY 10901

11/41.08-1-21
HERSHKOWITZ DAVID &
JUDITH
6 CARA DR
SUFFERN, NY 10901

11/41.08-1-18
BENNARD STACEY
2 CARA DR
SUFFERN, NY 10901

11/41.08-2-4
REDISCH MITCHELL & SUSAN
30 DEERWOOD RD
SUFFERN, NY 10901

11/41.08-2-3
HERZLIYA HOLDINGS LLC
156 WEST 56TH ST SUITE 1
NEW YORK, NY 10019

11/41.08-1-20
GORELICK TZVI ARYEH
& BATYA F
44 MOHAWK LA
POMONA, NY 10970

11/41.08-2-2
HERZLIYA HOLDINGS LLC
STE 1701
156 WEST 56TH ST
NEW YORK, NY 10019

VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

AFFIDAVIT OF POSTING

STATE OF NEW YORK }
COUNTY OF ROCKLAND } SS:
VILLAGE OF WESLEY HILLS }

_____ being duly sworn, deposes and
says that he/she is the applicant in the matter of an application before the
Village of Wesley Hills Zoning Board affecting property located at
_____, Wesley Hills, Town of Ramapo,
Rockland County, New York.

That on the _____ day of _____ 200__, he/she posted the
posters provided by the Zoning Board of the Village of Wesley Hills
giving notice of the hearing on this application in a conspicuous place
visible from every street along the frontage of the plot affected by this
application.

Sworn to before me this

_____ day of _____ 200__

Notary Public

DISCLAIMER

APPLICANT TAKES FULL RESPONSIBILITY FOR RESEARCHING THE TAX MAP FOR THE LIST OF NAMES OF PROPERTY OWNERS ON THE ENCLOSED *AFFIDAVIT OF MAILING LIST*, AND SUPPLYING THE NECESSARY AMOUNT OF SELF-ADDRESSED STAMPED ENVELOPES.

THE APPLICANT'S ENVELOPES MUST COINCIDE WITH THE LIST. THE CLERK'S RESPONSIBILITY IS LIMITED TO CHECKING NAMES ON THE ENVELOPES AGAINST THE AFOREMENTIONED AFFIDAVIT BEFORE MAILING THEM.

RECEIPT OF THIS DISCLAIMER IS ACKNOWLEDGED

Sara Golda Garfinkel
APPLICANT SARA GOLDA GARFINKEL, MANAGING MEMBER
7 BRUCK COURT LLC
JANUARY 5, 2026
DATED

PART II

Application before the Zoning Board of Appeals

Application, petition or request is hereby submitted for:

- Variance from the requirement of Section 230 BUILDING COVERAGE ;
- Special permit per the requirements of Section _____;
- Review of an administrative decision of the Building Inspector;
- An order to issue a Certificate of Occupancy;
- An order to issue a Building Permit;
- An interpretation of the Zoning Ordinance or Map;
- Certification of an existing non-conforming structure or use;
- Other (*explain*) _____;

To permit construction, maintenance and use of FRONT PORCH, SIDE PORCH
AND CABANA



December 17, 2025

Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

Re: *The Garfinkel Residence 7 Bruck Court, Wesley Hills, NY*

To the Wesley Hills Zoning Board of Appeals,

My client, Howard Garfinkel, is requesting a variance to construct a new single-family residence and cabana. The proposed project requires a variance for exceeding the allowable *Maximum Building Coverage* as stated in Section 230 and the Villages Table of Dimensional Requirements.

We believe that the threshold of "practical difficulty" has been met and therefore the variance should be granted. In making its determination, the Zoning Board of Appeals should consider the following factors:

- A) Due to the nature of the variance being sought, the benefits to the applicant, if the variance is granted, outweigh any detriment to the health, safety, and welfare of the neighborhood or community.
- B) Due to the nature of the variance, no undesirable changes will be produced in the character of the neighborhood and no detriment to nearby properties will be created by the granting of the variance.
- C) The benefits sought by the applicant cannot be achieved by some other feasible method due to the size of property and the Owner's programmatic requirements.
- D) The Maximum Building Coverage Variance is from the allowable 13.8% to 15% (1.2% overage).
- E) The variance will be mitigated in several ways. The mitigating factors are as follows:
 - 1. The building coverage variance is for a proposed front porch, side porch, and cabana. The house itself is compliant and is currently under construction. Both the front and side porches are open and are comprised of extended roof overhangs, with no columns or walls. Since the house is wheelchair accessible, with no steps at these doors, the homeowner would like to protect them by adding these porches.
 - 2. The cabana is one-story, 156 square feet, with an attached 242 square foot screened porch. The cabana is attached to the master suite. Due to its location, and diminutive size and height, it is not readily visible from the street or adjoining properties.

TEL # 845.364.0337

EMAIL # info@adaparch.com

WEB # rosenblumarchitecture.com

ADDRESS # 221 QUAKER ROAD, POMONA, NY 10970

The proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood due to the reasons outlined in items A-E. Thank you for your attention in this matter.

Sincerely,



Short Environmental Assessment Form



Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: GARFINKEL RESIDENCE			
Project Location (describe, and attach a location map): 7 BRUCK COURT, WESLEY HILLS, NEW YORK			
Brief Description of Proposed Action: APPLICATION TO VILLAGE OF WESLEY HILLS ZONING BOARD OF APPEALS FOR MAXIMUM BUILDING COVERAGE VARIANCE FOR PROPOSED FRONT PORCH, SIDE PORCH, AND CABANA			
Name of Applicant or Sponsor: TODD ROSENBLUM		Telephone: 845-364-0337	
Address: 221 QUAKER ROAD		E-Mail: TODD@ADAPARCH.COM	
City/PO: POMONA		State: NY	Zip Code: 10970
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: ZBA APPROVAL AND BUILDING PERMIT FROM VILLAGE OF WESLEY HILLS			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		43,062 SF acres	
b. Total acreage to be physically disturbed?		40,000 SF acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		43,062 SF acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

		NO	YES	N/A
5. Is the proposed action,				
a. A permitted use under the zoning regulations?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		NO	YES	
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?		NO	YES	
If Yes, identify: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		NO	YES	
b. Are public transportation services available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?		NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?		NO	YES	
If No, describe method for providing potable water: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?		NO	YES	
If No, describe method for providing wastewater treatment: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____				

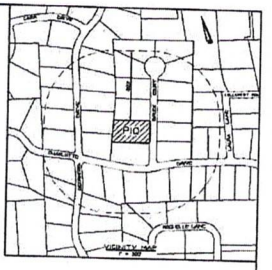
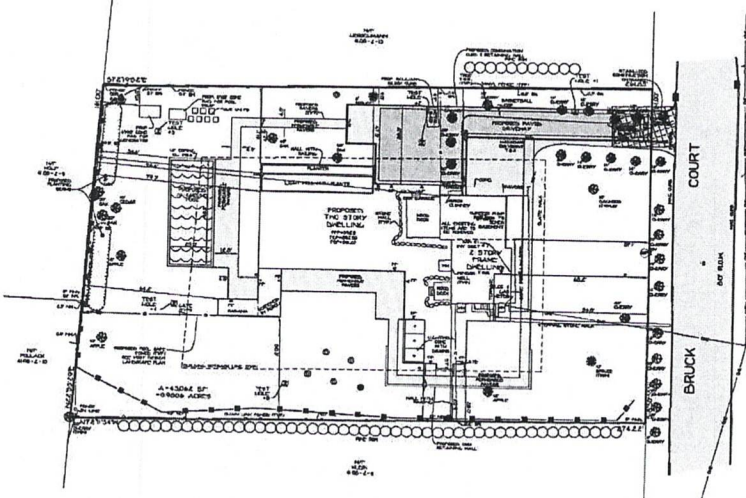
TAX LOT SECTION 416A, BLOCK 2, LOT 12

MAP INFORMATION
 BEING REVIEWED AND DESIGNATED AS
 LOT 12, BLOCK 2 OF A CONTAINING
 MAP SUTTERFIELD SUBDIVISION MAP OF
 SECTION 4, T. 2 S. R. 10 E. S. 23 E.
 TOWNSHIP 2 SOUTH, RANGE 10 EAST,
 COUNTY OF RAMAPO, NEW YORK
 CLEARED OFFICE ON NOVEMBER 21, 1942
 AND MAP NUMBER 187712

TEST HOLE DATA

NO.	DATE	DEPTH	LOCATION	REMARKS
1	10/15/42	10'	LOT 12	TOP OF ROCK
2	10/15/42	10'	LOT 12	TOP OF ROCK
3	10/15/42	10'	LOT 12	TOP OF ROCK
4	10/15/42	10'	LOT 12	TOP OF ROCK
5	10/15/42	10'	LOT 12	TOP OF ROCK
6	10/15/42	10'	LOT 12	TOP OF ROCK
7	10/15/42	10'	LOT 12	TOP OF ROCK
8	10/15/42	10'	LOT 12	TOP OF ROCK
9	10/15/42	10'	LOT 12	TOP OF ROCK
10	10/15/42	10'	LOT 12	TOP OF ROCK

- GENERAL NOTES**
1. REFER TO THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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LEGEND

Symbol	Description
—	PROPERTY LINE
—	BOUNDARY BETWEEN LOTS
—	EXISTING UTILITY
—	PROPOSED UTILITY
—	PROPOSED ELEC. LINE
—	PROPOSED GAS LINE
—	PROPOSED WATER LINE
—	PROPOSED SEWER LINE
—	PROPOSED RAILROAD
—	PROPOSED HIGHWAY
—	PROPOSED AIRWAY
—	PROPOSED CANAL
—	PROPOSED DRAINAGE
—	PROPOSED FENCE
—	PROPOSED WALL
—	PROPOSED CURB
—	PROPOSED DRIVE
—	PROPOSED WALKWAY
—	PROPOSED BIKEWAY
—	PROPOSED TRAIL
—	PROPOSED PATH
—	PROPOSED BRIDGE
—	PROPOSED TUNNEL
—	PROPOSED UNDERPASS
—	PROPOSED OVERPASS
—	PROPOSED ELEVATED
—	PROPOSED DEGRADED
—	PROPOSED REMOVED
—	PROPOSED ADDED
—	PROPOSED CHANGED
—	PROPOSED DELETED
—	PROPOSED REINSTATED
—	PROPOSED RESTORED
—	PROPOSED RECONSTRUCTED
—	PROPOSED REPAIRED
—	PROPOSED MAINTAINED
—	PROPOSED MONITORED
—	PROPOSED INSPECTED
—	PROPOSED TESTED
—	PROPOSED MEASURED
—	PROPOSED CALCULATED
—	PROPOSED ESTIMATED
—	PROPOSED ASSUMED
—	PROPOSED UNKNOWN
—	PROPOSED UNDETERMINED
—	PROPOSED UNCLASSIFIED
—	PROPOSED UNIDENTIFIED
—	PROPOSED UNRECORDED
—	PROPOSED UNFILED
—	PROPOSED UNINDEXED
—	PROPOSED UNSEARCHED
—	PROPOSED UNREVIEWED
—	PROPOSED UNAPPROVED
—	PROPOSED UNLICENSED
—	PROPOSED UNREGISTERED
—	PROPOSED UNNOTARIZED
—	PROPOSED UNWITNESSED
—	PROPOSED UNCORRECTED
—	PROPOSED UNREVISED
—	PROPOSED UNUPDATED
—	PROPOSED UNMAINTAINED
—	PROPOSED UNOPERATED
—	PROPOSED UNOCCUPIED
—	PROPOSED UNINhabited
—	PROPOSED UNVACANT
—	PROPOSED UNAVAILABLE
—	PROPOSED UNACCESSIBLE
—	PROPOSED UNREACHABLE
—	PROPOSED UNCONTACTABLE
—	PROPOSED UNCOMMUNICABLE
—	PROPOSED UNREPRESENTATIVE
—	PROPOSED UNCHARACTERISTIC
—	PROPOSED UNREPRESENTATIVE
—	PROPOSED UNCHARACTERISTIC
—	PROPOSED UNREPRESENTATIVE
—	PROPOSED UNCHARACTERISTIC

BULK TABLE

NO.	DATE	DEPTH	LOCATION	REMARKS
1	10/15/42	10'	LOT 12	TOP OF ROCK
2	10/15/42	10'	LOT 12	TOP OF ROCK
3	10/15/42	10'	LOT 12	TOP OF ROCK
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7	10/15/42	10'	LOT 12	TOP OF ROCK
8	10/15/42	10'	LOT 12	TOP OF ROCK
9	10/15/42	10'	LOT 12	TOP OF ROCK
10	10/15/42	10'	LOT 12	TOP OF ROCK

- STANDARD CONDITIONS, CONTRACT, ETC.**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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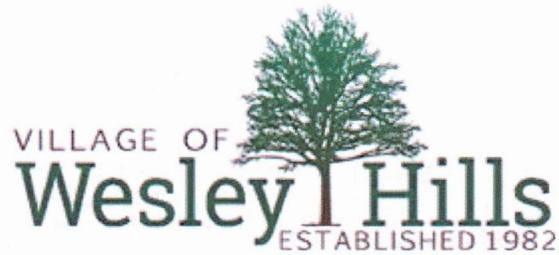
SURVEY / LOT PLAN
 FOR THE PURPOSES ONLY OF
 7 BRUCK COURT
 LOCATED IN
 VILLAGE OF HOELY HILLS
 TOWN OF RAMAPO
 ROCKLAND COUNTY, NEW YORK

0 10 20 30 40 50
 FEET

11/15/2013
 11/15/2013
 11/15/2013

SPARACO & YOUNGBLOOD, P.L.L.C.
 CIVIL ENGINEERING & LAND SURVEYING
 510 PLAZA
 100 WEST STREET
 NEW YORK, NY 10038
 TEL: 212-691-1000
 FAX: 212-691-1001
 WWW.SPACOCO.COM

5Y-1890



432 Route 306

Wesley Hills, N.Y. 10952-1221

Phone: 845-354-0400 Fax: 845-354-4097 www.wesleyhills.gov

Email: BuildingDept@wesleyhills.gov

Dated: January 9, 2026

Tax Parcel ID: 41.08-2-12

Address: 7 Bruck Court

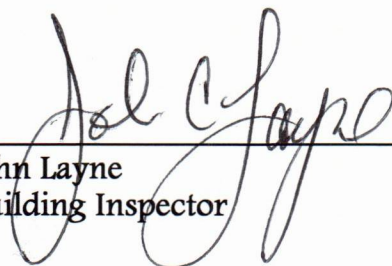
Applicant: Howard Garfinkel

BUILDING AND ZONING DEPARTMENT:

Please be advised that your request for an application for a single-family home has been denied. The requirements of the Zoning Law of the Village of Wesley Hills have not been satisfied. The following variances are required:

~Maximum building coverage of 15% where 13.8% is required

In addition, the Zoning Board of Appeals may review any pre-existing non-conforming items and previously granted variances.



John Layne
Building Inspector

cc: Zoning Board of Appeals

TAX LOT: SECTION 41.08, BLOCK 2, LOT 12

MAP REFERENCE:
BEING KNOWN AND DESIGNATED AS LOT 5, IN BLOCK 'B' ON A CERTAIN MAP ENTITLED 'SUBDIVISION MAP OF SECTION 2 & 3 OF RAINBOW RIDGE' FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON NOVEMBER 21, 1962 AS MAP #3056.

DEED REFERENCE:
2012/22370
2015/45035
2018/4558
2022/17466
1999/40682
1997/8101

TEST HOLE DATA						TEST DATE
HOLE NO.	EXIST. ELEV.	PERC. ELEV.	PERC. TIME	BOTTOM ELEV.	HOLE CONDITION	4/22/2025
TH-01	590.2	588.2	10:00	584.2	NO ROCK, NO WATER	
TH-02	589.3	587.3	12:00	583.3	NO ROCK, NO WATER	
TH-03	587.4	580.9	2:00	578.9	ROCK, NO WATER	
TH-04	587.2	483.2	3:00	581.2	ROCK, NO WATER	
TH-05	587.6	579.6	3:00	577.6	ROCK, NO WATER	

- GENERAL NOTES:**
- CONTRACTOR TO VERIFY LOCATION, SIZE AND INVERTS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL UTILITIES FIELD LOCATED BY RESPECTIVE UTILITY COMPANY AND SHALL ASSUME FULL RESPONSIBILITY AND SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING CONTINUOUS UTILITY SERVICE AND REPAIRS TO ANY DAMAGE.
 - ALL EXISTING OFF-SITE PAVEMENT, FENCES, CURBS, WALKS AND OTHER FACILITIES DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST.
 - EXISTING UTILITIES & STRUCTURES THAT ARE TO BE REMOVED AND/OR REPLACED SHALL BE REMOVED AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
 - PROJECT SAFETY AND TRAFFIC MAINTENANCE ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - UTILITIES AND UTILITY STRUCTURES WHOSE LOCATIONS ARE UNKNOWN MAY BE AFFECTED BY THE PROPOSED WORK. UPON FINDING SUCH UTILITIES, THE CONTRACTOR'S RESPONSIBILITY SHALL BE TO NOTIFY THE OWNER AND MAINTAIN THE UTILITIES IN WORKING ORDER UNTIL THEIR DISPOSITION IS RESOLVED.
 - CONTRACTOR TO COORDINATE WITH ALL COMPANIES TO ASSURE ADEQUATE SUPPLY AND SCHEDULING OF NEW SERVICE WHERE REQUIRED, TO FIT THE CONSTRUCTION SCHEDULING AND SEQUENCE TO ASSURE NO DAMAGE OR DISTURBANCE TO COMPLETED WORK.
 - ALL NEW UTILITY SERVICE CONNECTIONS, INCLUDING LINES AND EQUIPMENT FOR PROVIDING POWER AND/OR COMMUNICATIONS, ARE TO BE INSTALLED UNDERGROUND.
 - THE EXTENT OF THE CONSTRUCTION AND DISTURBANCE AREAS SHALL BE THE MINIMUM REQUIRED TO PERFORM THE CONTRACT WORK WITH AS MINIMAL EFFECT ON ADJACENT AREAS AS POSSIBLE.
 - ALL NEW STORM DRAINAGE PIPING TO BE SMOOTH BORE CORRUGATED HIGH DENSITY POLYETHYLENE HDPE UNLESS OTHERWISE SPECIFIED.
 - ROOF LEADERS (WHERE REQUIRED) TO BE 4" DIA. SDR 35 PVC PIPE AND WILL OUTLET TO DOWNSPOUTS ADJACENT TO THE PROPOSED BUILDINGS.
 - ALL NEW WATER MAINS AND RELATED APPURTENANCES TO BE SPECIFIED BY ARCHITECT'S MECHANICAL ENGINEER.
 - ALL SANITARY HOUSE CONNECTIONS TO BE 4" DIA. CAST IRON WITH A MINIMUM GRADE OF .2% TO THE FIRST CLEAN OUT OUTSIDE THE BUILDING. BEYOND THE FIRST CLEAN OUT, SDR 35 PVC MAY BE USED IN LIEU OF CAST IRON.
 - ANY SUBSTITUTIONS TO BE REQUESTED IN WRITING AND APPROVED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS WITH REGARDS TO DEMOLITION AND LEGAL DISPOSAL OF EXISTING STRUCTURES, WALKS AND DRIVEWAYS.
 - ANY EXISTING HOUSE CONNECTION PROPOSED TO BE ABANDONED MUST BE PLUGGED BETWEEN THE EDGE OF THE RIGHT-OF-WAY AND THE CURB LINE WITH A PERMANENT WATER-TIGHT PLUG OR CAP ENCASED IN CONCRETE.
 - WHERE FINISHED GRADE ELEVATION AT BUILDING WALL IS LESS THAN 24" BELOW THE FINISHED FLOOR CONSULT WITH ARCHITECT FOR CHANGES IN FOUNDATION AND SILL DESIGN.
 - CONTRACTOR TO OBTAIN AND SUBMIT SHOP DRAWINGS FOR ALL STRUCTURES TO DESIGN ENGINEER FOR REVIEW AND APPROVAL BEFORE MANUFACTURING.
 - RETAINING WALLS SHALL BE LESS THAN 4 FEET IN HEIGHT. RETAINING WALLS MORE THAN 4 FEET IN HEIGHT ARE REQUIRED TO BE DESIGNED BY A CERTIFIED STRUCTURAL ENGINEER.
 - THIS PLAN IS BASED ON ARCHITECTURAL PLANS BY ROSENBLUM ARCHITECTURE DATED 4/21/25.
 - AN EXTERIOR CHECK VALVE SHALL BE PROVIDED ON THE SOIL LINE IF CAST IRON INVERT IS BELOW THE UPSTREAM MANHOLE RIM ELEVATION.
 - THIS PLAN IS BASED ON SURVEY PREPARED BY "SPARACO & YOUNGBLOOD, LLC" DATED 5/29/24.
 - DEEP HOLE & SOIL PERCOLATION TESTING PERFORMED ON 4/22/25 AND WITNESSED BY VILLAGE ENG. STUART STROK PE.
 - VILLAGE ENGINEER MUST INSPECT ANY INFILTRATION SYSTEM INSTALLATION PRIOR TO BACKFILL OF ANY SOIL OR AGGREGATE.
 - ANY INFILTRATION SYSTEM INSTALLED PRIOR TO SATISFACTORY TESTING OR NOT WITNESSED BY VILLAGE ENGINEER WILL NOT BE ACCEPTED.
 - 20 TREES PROPOSED TO BE REMOVED. MAY REQUIRE PERMIT FROM THE PLANNING BOARD IN ACCORDANCE WITH SECTION 95-5A.11(e).

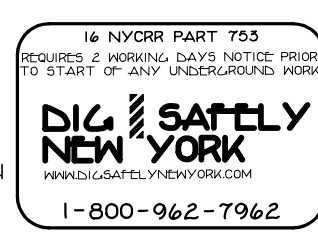
EROSION CONTROL INFORMATION:

- EROSION AND SEDIMENT CONTROL PLAN - CONSTRUCTION SEQUENCE**
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATIONS AND INSTALLATION OF PROPOSED STRUCTURES AND/OR UTILITIES.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETED AND/OR STABILIZED.
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE AS INDICATED ON PLAN.
 - INSTALL SILT FENCE DOWN SLOPE OF ALL AREAS TO BE DISTURBED AND DOWN SLOPE OF ALL AREAS DESIGNATED FOR TOPSOIL STOCKPILING.
 - CONSTRUCT BERMS, TEMPORARY SWALES AND PIPES AS NECESSARY TO DIRECT RUNOFF TO TEMPORARY SEDIMENTATION ENTRAPMENT AREAS.
 - CLEAR EXISTING TREES, VEGETATION AND EXISTING STRUCTURES FROM AREAS TO BE FILLED OR EXCAVATED. STRIP AND STOCKPILE TOPSOIL FROM AREAS TO BE DISTURBED. SEED STOCKPILED TOPSOIL WITH TEMPORARY RYE GRASS COVER.
 - PERFORM EXCAVATION AND FILL TO BRING LAND TO DESIRED GRADE. ANY DISTURBED AREAS TO REMAIN BARE SHOULD BE SEEDS WITH TEMPORARY RYE GRASS.
 - INSTALL UNDERGROUND UTILITIES, MANHOLES AND CATCH BASINS. GRATES OF CURB AND FIELD INLETS SHOULD BE LEFT AT ELEVATIONS WHICH PERMIT PROPER COLLECTION OF SURFACE RUNOFF.
 - INSTALL INLET PROTECTION AT CURB AND FIELD INLETS.
 - CONSTRUCT CURBS AND INSTALL BASE AND BINDER COURSES OF PAVED AREAS. RAISE GRATES OF THE CURB AND FIELD INLETS ACCORDINGLY.
 - COMPLETE THE GRADING.
 - INSTALL SURFACE COURSE OF PAVEMENT. RAISE GRATES OF CURBS AND FIELD INLETS TO FINAL ELEVATION.
 - UPON COMPLETION OF CONSTRUCTION ALL DISTURBED AREAS ARE TO BE SEEDS WITH 1/2 LB. OF RYE GRASS PER 1000 SQUARE FEET OR DISTURBED AREA. ALL TEMPORARY DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
 - FOR INDIVIDUAL HOUSE & SEPTIC CONSTRUCTION FOLLOW STEPS #1 TO #15 WHERE APPLICABLE.
 - BARE SOIL SHOULD BE SEEDS WITHIN 14 DAYS OF EXPOSURE. WHENEVER CONSTRUCTION IS SUSPENDED OR COMPLETED, AREAS SHOULD BE SEEDS DOWN OR MULCHED IMMEDIATELY. UPON COMPLETION, A PERENNIAL MIX NEEDS TO BE USED TO ENSURE CONTINUAL STABILIZATION.

STANDARD EROSION CONTROL NOTES

- AN EROSION CONTROL SYSTEM WILL BE UTILIZED BY THE DEVELOPER TO MINIMIZE THE PRODUCTION OF SEDIMENT FROM THE SITE. METHODS TO BE UTILIZED WILL BE THOSE FOUND MOST EFFECTIVE FOR THE SITE AND SHALL INCLUDE ONE OR MORE OF THE FOLLOWING AS APPLICABLE:
- TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP, CRUSHED STONE DAMS, OR OTHER SUITABLE MATERIALS. DIVERSION SWALES, BERMS, OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
 - ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFINISHED FOR MORE THAN 14 DAYS SHALL BE TEMPORARILY SEEDS WITH 1/2 LB. OF RYE GRASS OR MULCHED WITH 100 LBS. OF STRAW OR LAY PER 1000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICAL BY INSTALLATION OF THE BARE COURSE.
 - SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
 - AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED, OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
 - PROVIDE INLET PROTECTION TO ALL INLETS ON SITE. (SEE DETAILS)

ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUNDS FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.



NOTE: THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY EASEMENTS, RESTRICTIONS OR COVENANTS THAT AN ACCURATE AND UP TO DATE TITLE REPORT MAY REVEAL.

BULK TABLE

ZONE	MINIMUM LOT AREA	LOT FRONTAGE (FEET)	LOT WIDTH (FEET)	MINIMUM EFFECTIVE SQUARE	FRONT YARD (FEET)	SIDE YARD (FEET)	TOTAL SIDE YARD (FEET)	REAR YARD (FEET)	MAXIMUM BUILDING COVERAGE	MAXIMUM IMPERVIOUS SURFACE RATIO	MAXIMUM FRONT YARD IMPERVIOUS SURFACE RATIO	MAXIMUM BUILDING HEIGHT	MAXIMUM EXPOSED BUILDING HEIGHT
REQUIRED	35,000	100	125	125	50	25	60	50	0.138***	0.25	0.20	2 1/2 STY.	25' 40'
EXISTING	43,062	161.0	161.0	125	56.8	50.5	107.6	165.1	0.05	0.11	0.10	<2 1/2 STY.	<25' <40'
PROVIDED	43,062	161.0	161.0	125	65.2	25.9	73.2	64.2	0.15***	0.25*	0.08*	1 1/2 STY.	21.5' 28.5'
VARIANCE									YES				

BUILDING COVERAGE CALCULATIONS:

EXISTING BUILDING FOOTPRINT=2,082 SF.
EXISTING SHED FOOTPRINT=53 SF.
EXISTING TOTAL BUILDING FOOTPRINT AREA=2,135 SF.
2,135/43,062=0.0496
PROPOSED BUILDING COVERAGE=0.05
PROPOSED DWELLING FOOTPRINT=6416 SF.***
6416/43,062=0.1490
PROPOSED BUILDING COVERAGE=0.15
***PROVIDED BY ARCHITECT

IMPERVIOUS SURFACE LIST:

BUILDING FOOTPRINT= 5,896 SF.
DRIVEWAY PAVEMENT (C) CURB= 2,572 SF.
PORCH & CABANA= 398 SF.
LIGHT WELL CONC.= 210 SF.
TERRACES= 170 SF.
POOL= 133 SF.
POOL FILTERS & A/C UNITS = 84 SF.
GENERATOR PAD= 60 SF.
TOTAL AREA= 10,523 SF.

PERMEABLE SURFACE LIST:

WALKS & PATIOS= 2,840 SF.
DRIVEWAY AREA= 763 SF.

FRONT YARD IMPERVIOUS SURFACE RATIO CALCULATIONS:

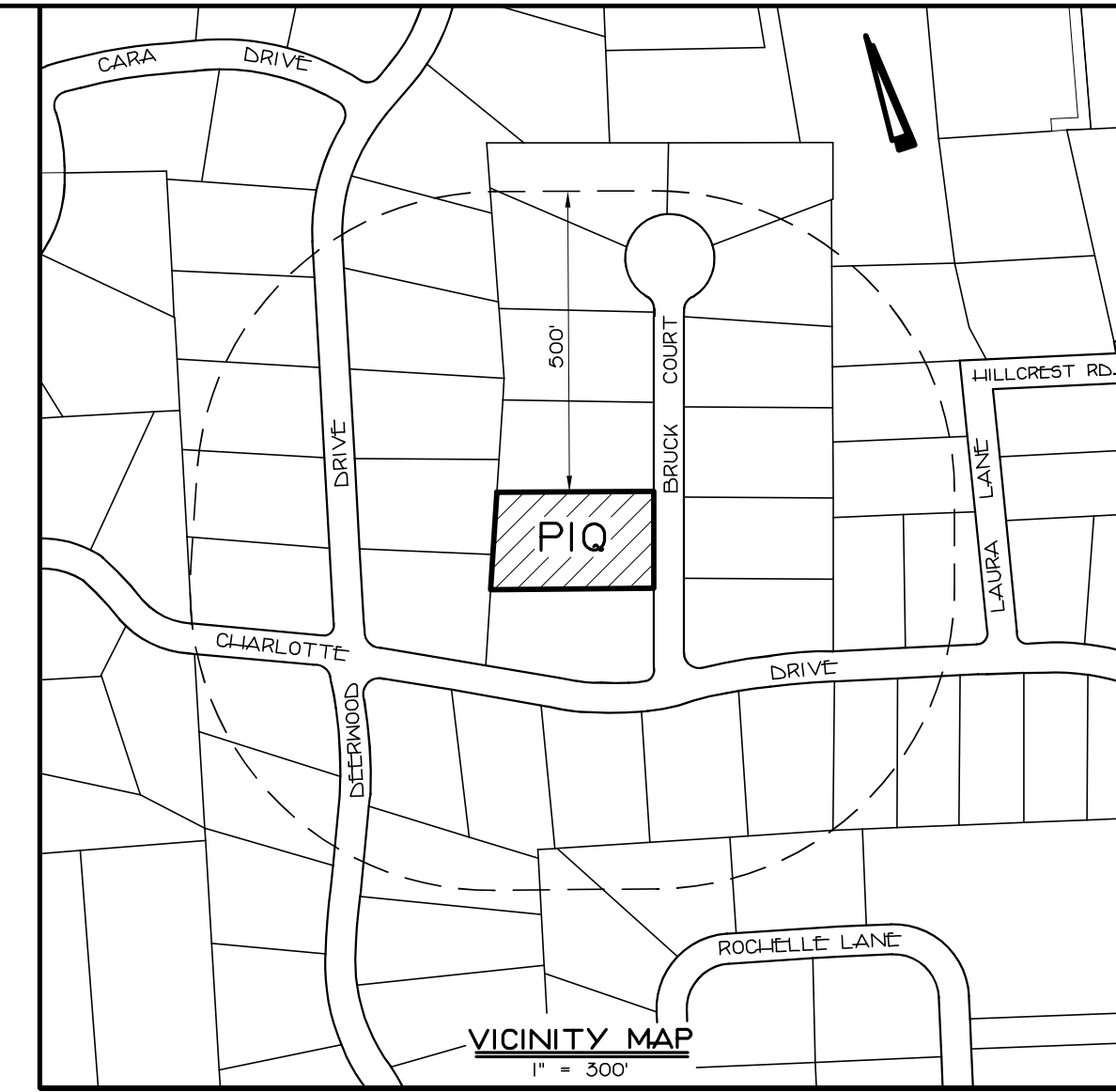
EXISTING FRONT YARD AREA=936 SF.
EXISTING IMPERVIOUS SURFACE IN FRONT YARD=823 SF.
911/936=0.0997
EXISTING FRONT YARD IMPERVIOUS SURFACE RATIO=0.10
PROPOSED FRONT YARD AREA=10,488 SF.
PROPOSED IMPERVIOUS SURFACE IN FRONT YARD=823 SF.
823/10,488=0.0785
PROPOSED FRONT YARD IMPERVIOUS SURFACE RATIO=0.08
***INCLUDING HARD SCAPE 10,523 SF. + PERMEABLE 5,603 SF. = 14,126/43,062=0.3280

IMPERVIOUS SURFACE RATIO CALCULATIONS:

EXISTING TOTAL IMPERVIOUS SURFACE AREA=4,414 SF.
4,414/43,062=0.1025
EXISTING IMPERVIOUS SURFACE RATIO=0.11
PROPOSED TOTAL IMPERVIOUS SURFACE AREA=10,523 SF.
10,523/43,062=0.2444
PROPOSED IMPERVIOUS SURFACE RATIO=0.25
***INCLUDING HARD SCAPE 10,523 SF. + PERMEABLE 5,603 SF. = 14,126/43,062=0.3280

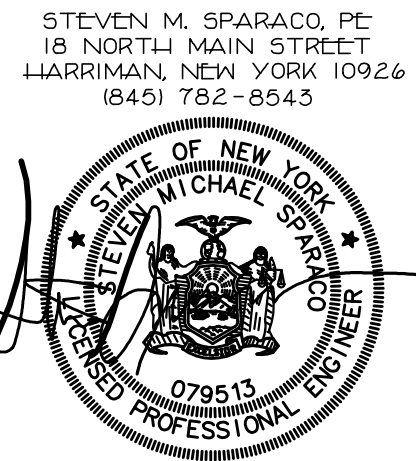
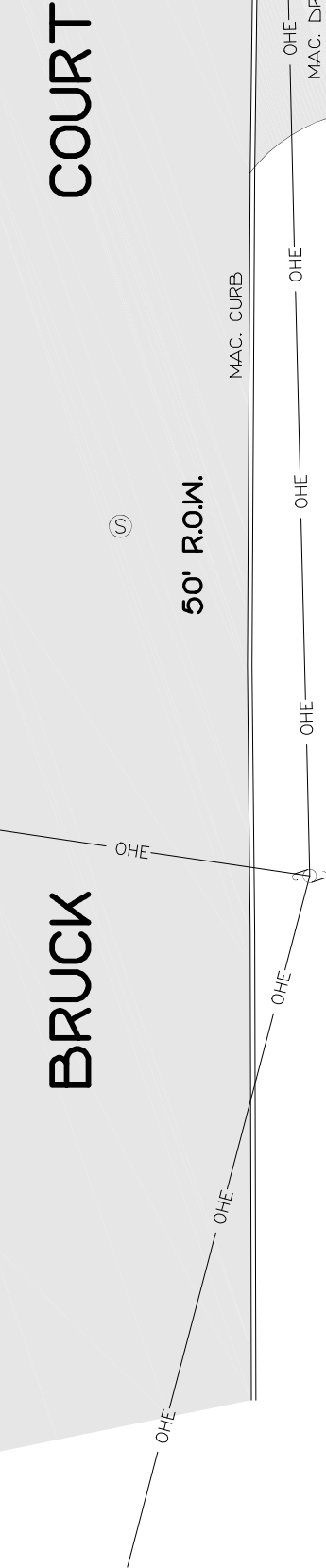
FRONT YARD IMPERVIOUS SURFACE RATIO CALCULATIONS:

EXISTING FRONT YARD AREA=936 SF.
EXISTING IMPERVIOUS SURFACE IN FRONT YARD=823 SF.
911/936=0.0997
EXISTING FRONT YARD IMPERVIOUS SURFACE RATIO=0.10
PROPOSED FRONT YARD AREA=10,488 SF.
PROPOSED IMPERVIOUS SURFACE IN FRONT YARD=823 SF.
823/10,488=0.0785
PROPOSED FRONT YARD IMPERVIOUS SURFACE RATIO=0.08
***INCLUDING HARD SCAPE 10,523 SF. + PERMEABLE 5,603 SF. = 14,126/43,062=0.3280



LEGEND

EXISTING	PROPOSED	ITEMS
- - - -	- - - -	PROPERTY LINE
- - - -	- - - -	BUILDING SETBACK LINE
⊙	⊙	SAN SEWER MANHOLE
○	○	CLEAN-OUT
⊕	⊕	WATER VALVE
⊕	⊕	GAS VALVE
⊕	⊕	DRAINAGE MANHOLE
⊕	⊕	CATCH BASIN
⊕	⊕	UTILITY POLE
⊕	⊕	OVERHEAD ELECTRIC
⊕	⊕	SILT FENCE
⊕	⊕	STABILIZED CONSTRUCTION ENTRANCE



SPARACO & YOUNGBLOOD, PLLC
CIVIL ENGINEERING • LAND SURVEYING
SITE PLANNING
18 NORTH MAIN STREET
P.O. BOX 818
LIARIMAN, N.Y. 10926
TEL: (845) 782-8545
FAX: (845) 782-8501
SPARACO.STEVE@SELSNY.COM WYLS18@GMAIL.COM

SY-1890
NOV. 19, 2025
1"=20'

ZONING BOARD OF APPEALS
VILLAGE OF WESLEY HILLS

NARRATIVE SUMMARY*

12A MARTHA ROAD
Tax Lot 41.14-1-62

Mark and Devorah Friedman are building their new home at 12A Martha Road. In 2020, they applied for and received variances, largely due to the unusual shape and configuration of the lot. As the design progressed, the Friedmans realized that additional work was needed. The revised plan adds a tennis court, relocate the swimming pool, replace a gazebo with a pool cabana, and reconfigure the driveway and parking pad, so additional variances are needed.

The site is on the east side of Martha Road, approximately 350 feet from Grandview Avenue in an R-50 zone. The existing home was demolished. In its place the Friedmans are building a new single-family home with decks, patios, a swimming pool and a pool cabana. To accomplish this, this Board granted the following variances:

<u>Dimension</u>	<u>Required</u>	<u>Approved</u>
Rear yard (swimming pool and poolhouse)	50ft	33ft
Impervious surface ratio	0.20	0.26
Front yard impervious surface ratio	0.15	0.169

A copy of the variance resolution dated September 16, 2020, is annexed as Exhibit 1.

The original driveway included a circular turnaround and small parking pad. The new driveway reduces the radius of the turnaround and enlarges the parking pad.

The Friedmans also want to slightly relocate the swimming pool and replace a gazebo with a pool cabana. Their home and pool are clustered at the north end of their lot, leaving the entire southern half open. This half of the site is relatively flat, having the perfect topography for the court. The tennis court is to be located in the southeastern corner of the lot.¹ A gravel walkway will lead to an open pergola adjacent to the tennis court.

*Corrected as of January 9, 2026.

¹ Tennis courts may be located 15 feet from a side or rear lot line. Zoning Code § 230-14.O.(4)(a).

The swimming pool will be moved inward. The pool cabana will also be more inward than was the gazebo. However, the pool patio will be wider than originally proposed.

The changes are shown on an overlay drawing, submitted herewith as Sheet 4 of 5. The changes trigger the need for additional variances:

<u>Dimension</u>	<u>Required</u>	<u>Proposed</u>
Side yard (to Pool Cabana) ²	30 ft	25 ft
Rear yard (to House Corner)	33 ft ³	31.9 ft
Impervious surface ratio	0.26 ²	0.39
Front yard impervious surface ratio	0.169 ²	0.23
Number of Accessory structures	2	4 ⁴

(The required side setback for an inground swimming pool is 15 feet per § 230-14.O(4)(a). The proposed swimming pool complies with this dimension.)

SEQRA and GML status

This is an Unlisted action under SEQRA. The Planning Board is the lead agency under SEQRA. It issued a negative declaration on December 18, 2025.

The property is within 500 feet of Grandview Avenue (County Route 80), the Town of Ramapo, and the Village of Montebello. As such, referral to the Rockland County Planning Department is required under General Municipal Law § 239-m and -nn.

Criteria for Variance

One of the purposes of a zoning board of appeals, and of the ability to grant variances, is to provide a “safety valve” where the strict application of a zoning code cannot allow an otherwise appropriate use of property because of the peculiar circumstances applicable to that property. For this reason, any municipality that adopts a zoning code must also establish a board of appeals.⁵

In determining to grant an area variance, a board of appeals “shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant.”⁶ The board must also consider five questions when engaging in this balancing test. The questions, and the applicant’s responses, are set forth below:

² Since the street is to the West, the northern lot line is the side lot line and the eastern lot line is the rear lot line.

³ Per variance granted Sept. 16, 2020.

⁴ Swimming pool, pool cabana, tennis court, pergola. Zoning Code, § 230-14.O(6).

⁵ See, 2 Salkin, *New York Zoning Law and Practice* (3d ed.), §§27:07 – 27:10; *McKinney’s Town Law*, Practice Commentary to § 267-a; Town L. § 267.2; *McKinney’s Village Law*, Practice Commentary to § 7-712-a; Village L. § 7-712(2).

⁶ Town L. § 267-b.3(b); Village L. § 7-712-b.3(b).

(1) “whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance”:

The surrounding neighborhood is improved by single-family dwellings on large lots, consistent with its R-50 zoning. The subject parcel has a lot area of 80,253sf, 60% larger than required.

Many homes in the area have swimming pools and/or tennis courts. The nearest affected house is 125 feet from the side lot line and 150 feet from the pool cabana.

The driveway reconfiguration provides a safer and more efficient parking area.

The additional accessory structures will not impact the area and are consistent with a house of this size.

(2) “whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance”:

The driveway is an existing condition that is being reconfigured. The proposed features necessarily add to impervious surface coverage. The other variances are insubstantial.

(3) “whether the requested area variance is substantial”:

Whether a requested variance is “substantial” is more than simple arithmetic. It requires an understanding of the general area and of the existing conditions.⁷

The proposed development is consistent with homes of this size. The Zoning Code limits homes to only two accessory structures irrespective of the lot size. Numerous similar variances have been granted.

(4) “whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district”:

The construction will offset the additional impervious surface area with upgraded storm water management facilities.

(5) “whether the alleged difficulty was self-created”:

The difficulty is based on the existing lot configuration.

On balance, therefore, the requested variances are beneficial to both the applicant and the community.

⁷ See, 2 New York Zoning Law and Practice, § 29:15.


Relief requested

Accordingly, the applicant requests the following variances:

<u>Dimension</u>	<u>Required</u>	<u>Proposed</u>
Side yard (to Pool Cabana)	30 ft	25 ft
Rear yard (to House Corner)	33 ft	31.9 ft
Impervious surface ratio	0.262	0.39
Front yard impervious surface ratio	0.1692	0.23
Number of Accessory structures	2	4

Dated: January 9, 2026
New City, New York

EMANUEL LAW P.C.

By: 
Ira M. Emanuel, Esq.
Attorney for Applicant

PART I

Name of Municipality VILLAGE OF WESLEY HILLS Date JUNE 12, 2025

Please check all that apply:

<input type="checkbox"/> Planning Board	<input type="checkbox"/> Architectural Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Municipal Board	
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Pre-preliminary/Sketch
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Zoning Code Amendment	<input type="checkbox"/> Zone Change
<input checked="" type="checkbox"/> Variance * (Fill out Part II of this form.)	

Project Name: 12A Martha Road

Applicant: Mark Friedman Phone #

Address 12A Martha Road Wesley Hills NY 10952
Street Name & Number (Post Office) State Zip code

Property Owner: SAME Phone #

Address
Street Name & Number (Post Office) State Zip code

Engineer/Architect/Surveyor: Civil Tech Phone # 845-547-2241

Address 139 Lafayette Ave, 2nd Floor Suffern NY 10901
Street Name & Number (Post Office) State Zip code

Attorney: Emanuel Law, PC - Ira M. Emanuel, Esq. Phone # 845-634-4141

Address 4 Laurel Road New City NY 10956
Street Name & Number (Post Office) State Zip code

Contact Person: Ira Emanuel Phone # 845-634-4141

Address 4 Laurel Road New City NY 10956
Street Name & Number (Post Office) State Zip code

Tax Map Designation:

Section 41.14 Block 1 Lot(s) 62
Section _____ Block _____ Lot(s) _____

Location: On the East side of Martha Drive,
approx 350 feet South of Grandview Avenue.

Acreage of Parcel 1.8 ac. **Zoning District** R-50
School District Suffern CSD **Postal District** Monsey

Project Description: *(If additional space required, please attach a narrative summary.)*

See attached narrative

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? If so, what amount? _____

Project History: Has this project ever been reviewed before? Yes

If so, list case number, name, date, and the board you appeared before.

ZBA approval - 9/16/2020; PB-Special Permit submitted 3/17/2025

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

None

“Permission is hereby granted to the Village of Wesley Hills, its agents, servants and employees to enter upon the above described property solely for the purposes incidental to the within application at reasonable times upon reasonable notice to the owner or tenant in possession.”

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 K, L, M, AND N.

- State or County Road
- State or County Park
- Long Path
- County Stream
- Municipal Boundary
- County Facility

List name(s) of facility checked above. _____
RC Route 80/Grandview Avenue; Village of Montebello and unincorporated
~~Town of Ramapo~~

Applicant's Signature and Certification

State of ^{NJ} New York)
County of ^{Rockland} Rockland) SS.: Englewood Cliffs
Town/Village of _____)

I, Mark Friedman, hereby depose and say that all the above statements contained in the papers submitted herewith are true.

PLEASE SIGN HERE

Mailing Address

Mark Friedman
12A Martha Road
Wesley Hills, NY 10952

SWORN to before this
12 day of June, 20 25

Carole R. Kiss
Notary Public

CAROLE R. KISS
NOTARY PUBLIC - STATE OF NEW JERSEY
COMM #50044607
My Commission Expires August 25, 2026

Affidavit of Ownership/Owner's Consent

State of ~~New York~~ NEW JERSEY)
County of ~~Rockland~~ SS: BERGEN) SS:
Town/Village of _____)


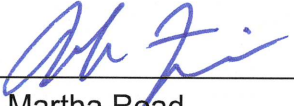
I, Mark Friedman being duly sworn, hereby
depose and say that I reside at: _____
12A Martha Road, Wesley Hills
in the county of Rockland in the state of New York.

I am the * XXXXXXXXXXXXXXXXXXXX owner in fee simple of premises located at:
12A Martha Road, Wesley Hills

described in a certain deed of said premises recorded in the Rockland County Clerk's
Office in Instrument Number 2020-1027

Said premises have been in my/its possession since 2020. Said premises are
also known and designated on the Town of Ramapo Tax Map as:
section 41.14 block 1 lot(s) 62

I hereby authorize the within application on my behalf, and that the statements of fact
contained in said application are true, and agree to be bound by the determination of the
board.

Owner  
Mailing Address 12A Martha Road
Wesley Hills, NY 10952

SWORN to before this
12 day of June, 20 25



Notary Public 

* *If owner is a corporation, fill in the office held by deponent and name of corporation, and provide a list of all directors, officers and stockholders owning more than 5% of any class of stock.*

Affidavit Pursuant to Section 809 of the General Municipal Law

State of ~~New York~~ NEW JERSEY)
County of ~~Rockland~~ BERGEN) SS:
Town/Village of _____)

I, Mark Friedman, being duly sworn, hereby depose and say that all the following statements and the statements contained in the papers submitted herewith are true and that the nature and extent of any interests set forth are disclosed to the extent that they are known to the applicant.

1. Print or type full name and post office address

Mark Friedman
12A Martha Drive
Wesley Hills, NY 10952

certifies that he is owner or agent of all that certain lot, piece or parcel of land and/or building described in this application **and if not the owner that he has been duly and properly authorized to make this application and to assume responsibility for the owner in connection with this application for the relief below set forth:**

2. To the Zoning Board of Appeals of the Town/Village of _____
(Board, Commission or Agency)
Wesley Hills, Rockland County, New York:

Application, petition or request is hereby submitted for:

- Variance or modification from the requirement of Section Table of Dimensional Reqts ;
- Special permit per the requirements of Section _____ ;
- Review and approval of proposed subdivision plat;
- Exemption from a plat or official map;
- An order to issue a certificate, permit or license;
- An amendment to the Zoning Ordinance or Official Map or change thereof;
- Other (*explain*) _____ ;

Variance - Sec. 230-14.O(6)-more than two accessory structures on a lot

To permit construction, maintenance and use of _____
See attached narrative

3. Premises affected are in a R-50 zone and from the town of Ramapo tax map, the property is know as Section 41.14, Block, 1, Lot(s) 62.

4. There is no state officer, Rockland County Officer or employee or town/village officer or employee nor his or her spouse, brother, sister, parent, child or grandchild, or a spouse of any of these relatives who is the applicant or who has an interest in the person, partnership or association making this application, petition or request, or is an officer, director, partner or employee of the applicant, or that such officer or employee, if this applicant is a corporation, legally or beneficially owns or controls any stock of the applicant in excess of 5% of the total of the corporation if its stock is listed on the New York or American Stock Exchanges; or is a member or partner of the applicant, if the applicant is an association or a partnership; nor that such town/village officer or employee nor any member of his family in any of the foregoing classes is a party to an agreement with the applicant, express or implied, whereby such officer or employee may receive any payment or other benefit, whether or not for service rendered, which is dependent or contingent upon the favorable approval of this application, petition or request.

5. That to the extent that the same is known to your applicant, and to the owner of the subject premises **there is disclosed herewith** the interest of the following officer or employee of the State of New York or the County of Rockland or of the Town/Village of Wesley Hills in the petition, request or application or in the property or subject matter to which it relates:

(if none, so state)

- a. Name and address of officer or employee NONE
- b. Nature of interest _____
- c. If stockholder, number of shares _____
- d. If officer or partner, nature of office and name of partnership _____
- e. If a spouse or brother, sister, parent, child, grandchild or the spouse of any of these blood relatives of such state, county or town/village officer or employee, state name and address of such relative and nature of relationship to officer and employee and nature and extent of office, interest or participation or association having an interest in such ownership or in any business entity sharing in such ownership. _____

f. In the event of corporate ownership: A list of all directors, officers and stockholders of each corporation owning more than five (5%) percent of any class of stock, must be attached, if any of these are officers or employees of the State of New York, or of the County of Rockland, or of the Town/Village of _____.

I, _____, do hereby depose and say that all the above statements and statements contained in the papers submitted herewith are true, knowing that a person who knowingly and intentionally violates this section is guilty of a misdemeanor.

PLEASE SIGN HERE

Mailing Address

12A Martha Road
Wesley Hills, NY 10952

SWORN to before this

12 day of June, 2005

Carole R. Kiss
Notary Public

CAROLE R. KISS
NOTARY PUBLIC - STATE OF NEW JERSEY
COMM #50044607
My Commission Expires August 25, 2026

VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

AFFIDAVIT OF OWNERSHIP

^{NJ}
STATE OF NEW YORK }
COUNTY OF ROCKLAND } SS: Englewood Cliffs
VILLAGE OF WESLEY HILLS }

Mark Friedman _____ being duly sworn, deposes and
says that he/she resides at _____
12A Martha Drive, Wesley Hills

in the County of Rockland, State of New York; that he/she is the owner in
fee of all that certain lot, piece or parcel of land situated, lying and being
in the Village of Wesley Hills, and designated on the Town of Ramapo
Map as Section No. 41.14-1 Lot No. 62 and that he/she hereby
authorizes the attached application to be submitted in his/her behalf and
that the statements of fact contained in said application are true.

The applicant is the (owner) (contract vendee) of the said property.

PLEASE SIGN HERE → Owner: *M Kiss*
Address: _____
12A Martha Drive
Wesley Hills, NY 10952

Sworn to before me this
12 day of June 2025

Carole R. Kiss
Notary Public

CAROLE R. KISS
NOTARY PUBLIC - STATE OF NEW JERSEY
COMM #50044607
My Commission Expires August 25, 2026

AFFIDAVIT

State of ^{NJ} New York)
County of ^{Rockland} Rockland) SS.: Englewood Cliffs
Town/Village of _____)

I, Mark Friedman being duly sworn deposes and says that he is the applicant, agent or attorney for applicant, in the matter of the petition before the Zoning Board of Appeals (board) in the town/village of Wesley Hills affecting property located at 12A Martha Road, Rockland County, New York.

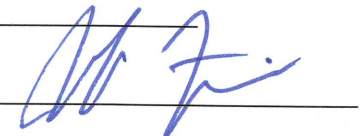
That the following are all of the owners of property _____ 500' (distance) from the premises as to which this application is being taken.

SECTION/BLOCK/LOT NAME ADDRESS

Please see attached list.

SWORN to before this _____
12 day of June, 2025

PLEASE SIGN HERE 



Carole R. Kiss
Notary Public

CAROLE R. KISS
NOTARY PUBLIC - STATE OF NEW JERSEY
COMM #50044607
My Commission Expires August 25, 2026

11/41.14-1-64
9 MARTHA ROAD LLC
1076 EAST 23RD ST
BROOKLYN, NY 11210

11/41.14-1-68
GOLDA JANICE TRUST
16 MARTHA RD
MONSEY, NY 10952

11/41.14-1-67
JOSEPH ZVI
17 MARTHA RD
MONSEY, NY 10952

11/41.18-1-47
MOSES CHANA
3 MARTHA ROAD
MONSEY, NY 10952

11/41.18-1-29
LAYMAN LAIBEL & HELENE
4 MARTHA RD
MONSEY, NY 10952

11/41.18-1-48
CHANDOHA HELEN
JARAPOLK
5 MARTHA RD
MONSEY, NY 10952

11/41.18-1-27
WEINBERGER JACOB & FAGIE
21 JUDITH LA
MONSEY, NY 10952

11/41.18-1-28
PARNES JOSEPH FAMILY
TRUST THE
6 MARTHA ROAD
MONSEY, NY 10952

11/41.18-1-49
SONTAG ISRAEL
7 MARTHA RD
MONSEY, NY 10952

11/41.18-1-2
ZELINGER MARYAM
8 MARTHA RD
MONSEY, NY 10952

11/41.18-1-5
BEREN NOAH & CHAYA MEIRA
RIEDER
18 JUDITH LA
MONSEY, NY 10952

11/41.18-1-4
FRIEDMAN MARK & DEVORAH
1076 E 23RD ST
BROOKLYN, NY 11210

11/41.18-1-3
WOLF LISA &
FIALKOFF JEFFERY & IRIS
22 JUDITH LANE
MONSEY, NY 10952

11/41.18-1-1
10 MARTHA ROAD LLC
1076 EAST 23RD ST
BROOKLYN, NY 11210

11/41.14-1-65
WINTER JANET & HARVEY
11 MARTHA RD
MONSEY, NY 10952

11/41.14-1-63
ROZENBERG MICHAEL &
VIVIAN
12 MARTHA ROAD
MONSEY, NY 10952

11/41.14-1-62
FRIEDMAN MARK & DEVORAH
1076 E 23RD ST
BROOKLYN, NY 11210

11/41.14-1-69
KATZ LARRY & SARAH
79 FORSHAY RD
MONSEY, NY 10952

11/41.14-1-66
CONG K'HAL CHASIDIM
STE 1
1985 CEDAR BRIDGE AVE
LAKEWOOD, NJ 08701

11/41.14-1-60.2
BARNETT AYALA
45 WILDER RD
MONSEY, NY 10952

11/41.14-1-60.1
BARNETT AYALA
26 ASTOR PL
MONSEY, NY 10952

11/41.14-1-61
194 GRANDVIEW AVENUE LLC
194 GRANDVIEW AVE
MONSEY, NY 10952

11/41.14-1-70
196 GRANDVIEW
HOLDINGS LLC
78A N BOUNDARY ROAD
JAMAICA, NY 11430

17/41.13-2-9
202 GRANDVIEW TRUST
202 GRANDVIEW AVE
MONSEY, NY 10952

17/41.13-2-8
ZILBERBERG MENDEL
206 GRANDVIEW AV
MONSEY, NY 10952

11/41.14-1-10
BARUCH YINON & SUSAN
2 GRAND PARK DR
MONSEY, NY 10952

17/41.13-2-91
GV HOLDING LLC &
GRANDVIEW ENTERPRISES LLC
% WEINBERGER
1757 E 23RD ST
BROOKLYN, NY 11229

11/41.14-1-4
GREENFIELD MARTIN &
ESTHER
1 GRAND PARK DR
MONSEY, NY 10952

11/41.14-1-11
CICES SIMON & ALTHEA
195 GRANDVIEW AV
MONSEY, NY 10952

11/41.13-1-35
62 WESLEY ESP LLC
175 BELGROVE DRIVE
KEARNEY, NJ 07032

11/41.14-1-9
FOUR GRAND PARK DRIVE LLC
1985 CEDAR BRIDGE AVE.
LAKEWOOD, NJ 08701

11/41.14-1-5
ZELEFSKY DAVID &
CHANA
3 GRAND PARK DR
MONSEY, NY 10952

11/41.13-1-36
DENLINGER PHILIP &
URBAN JOAN
242 WILLOW TREE RD
MONSEY, NY 10952

11/41.13-1-38.2
LICHTENSTEIN DAVID
C/O THE LIGHTSTONE GROUP
1985 CEDAR BRIDGE AVE
LAKEWOOD, NJ 08701

11/41.13-1-38.1
CONG K'HAL CHASIDIM
1985 CEDAR BRIDGE AV
LAKEWOOD, NJ 08701

11/41.14-1-8
SIX GRAND PARK DRIVE LLC
1985 CEDARBRIDGE AVE
LAKEWOOD, NJ 08701

11/41.14-1-6
FIVE ON GRAND PARK LLC
1985 CEDAR BRIDGE AVE STE
LAKEWOOD, NJ 08701

11/41.14-1-3
LWD FAMILY HOLDINGS LLC
ATT: HUDI SIMCHA
1985 CEDAR BRIDGE AVE
LAKEWOOD, NJ 08701

11/41.13-1-37
FRIEDMAN SAUL & EVA
238 WILLOW TREE RD
MONSEY, NY 10952

17/41.13-2-7
MUSCHEL MICHAEL J &
ELIZABETH L
208 GRANDVIEW AVE
MONSEY, NY 10952

VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

AFFIDAVIT OF POSTING

STATE OF NEW YORK }
COUNTY OF ROCKLAND } SS:
VILLAGE OF WESLEY HILLS }

_____ being duly sworn, deposes and
says that he/she is the applicant in the matter of an application before the
Village of Wesley Hills Zoning Board affecting property located at
_____, Wesley Hills, Town of Ramapo,
Rockland County, New York.

That on the _____ day of _____ 200__, he/she posted the
posters provided by the Zoning Board of the Village of Wesley Hills
giving notice of the hearing on this application in a conspicuous place
visible from every street along the frontage of the plot affected by this
application.

Sworn to before me this

_____ day of _____ 200__


Notary Public

DISCLAIMER

APPLICANT TAKES FULL RESPONSIBILITY FOR RESEARCHING THE TAX MAP FOR THE LIST OF NAMES OF PROPERTY OWNERS ON THE ENCLOSED *AFFIDAVIT OF MAILING LIST*, AND SUPPLYING THE NECESSARY AMOUNT OF SELF-ADDRESSED STAMPED ENVELOPES.

THE APPLICANT'S ENVELOPES MUST COINCIDE WITH THE LIST. THE CLERK'S RESPONSIBILITY IS LIMITED TO CHECKING NAMES ON THE ENVELOPES AGAINST THE AFOREMENTIONED AFFIDAVIT BEFORE MAILING THEM.

RECEIPT OF THIS DISCLAIMER IS ACKNOWLEDGED

PLEASE SIGN HERE 



APPLICANT

JUNE 12, 2025

DATED

PART II

Application before the Zoning Board of Appeals

Application, petition or request is hereby submitted for:

- Variance from the requirement of Section Table of Dimensional Reqts _____;
- Special permit per the requirements of Section _____;
- Review of an administrative decision of the Building Inspector;
- An order to issue a Certificate of Occupancy;
- An order to issue a Building Permit;
- An interpretation of the Zoning Ordinance or Map;
- Certification of an existing non-conforming structure or use;
- Other (*explain*) _____;

Variance - Sec. 230-14.O(6)-more than two accessory structures on a lot

To permit construction, maintenance and use of _____
See attached narrative _____

VILLAGE OF
Wesley Hills
ESTABLISHED 1982

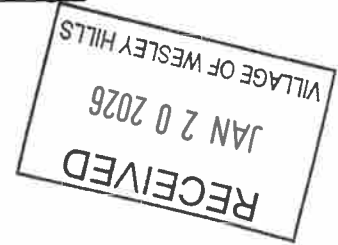
432 Route 306

Wesley Hills, N.Y. 10952-1221

Phone: 845-354-0400 Fax: 845-354-4097 www.wesleyhills.gov

Email: BuildingDept@wesleyhills.gov

Dated: January 16, 2026
Tax Parcel ID: 41.14-1-62
Address: 12A Martha Road
Applicant: Mark & Devorah Friedman

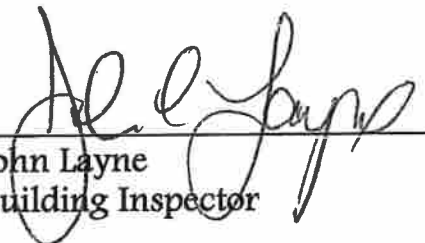


BUILDING AND ZONING DEPARTMENT:

Please be advised that your application for a building permit for a single family house to include tennis court, swimming pool & cabana has been denied. The requirements of the Zoning Law of the Village of Wesley Hills have not been satisfied. The following variances are required:

- ~Maximum impervious surface ratio of 0.39 where 0.262 is required.
- ~Maximum front yard impervious surface ratio of 0.1692 where 0.23 is required.
- ~Minimum side yard (cabana) of 25' where 30' is required.
- ~Minimum rear yard (house) of 31.9' where 33' is required.
- ~Maximum number of accessory structures of 4 where 2 is required.

In addition, the Zoning Board of Appeals may review any existing non-conforming items and previously granted variances.


John Layne
Building Inspector

cc: Zoning Board of Appeals

Mayor: Marshall Katz Deputy Mayor: Milton Schwartz
Trustees: Yisroel Cherns, Tova Krull, Joseph Mause
Village Clerk: Camille Guido-Downey Village Attorneys: Howard Richman

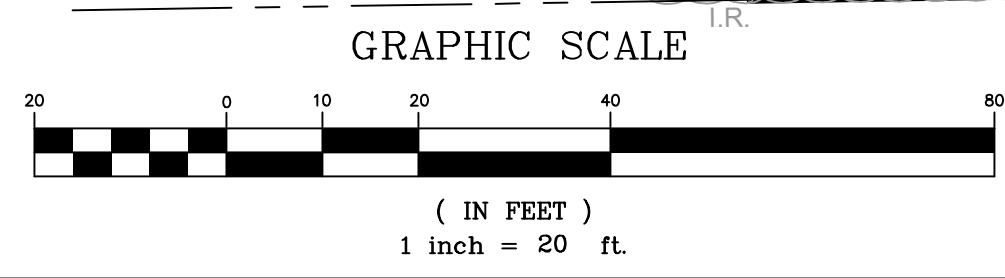


SURVEY NOTES:

1. IT IS A VIOLATION OF THE STATE EDUCATION LAW SECT 7209 (2) FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY ONLY COPIES OF THIS SURVEY MARKED WITH THE LAND SURVEYOR'S SIGNATURE AND AN ORIGINAL EMBOSSED SEAL ARE A VALID ORIGINAL PRODUCT OF THE LAND SURVEYOR. THIS SURVEY IS PREPARED ONLY FOR THE PARTIES AND PURPOSE INDICATED HEREON ANY CLAIM FOR LIABILITY SHALL NOT EXCEED THE AMOUNT OF THE AGREEMENT ANY EXTENSION OF USE BEYOND THE PURPOSE AGREED TO BETWEEN THE CLIENT AND THE SURVEYOR EXCEEDS THE SCOPE OF THE ENGAGEMENT HOLDS THE SURVEYOR HARMLESS FOR UNAUTHORIZED USE BY OTHER PARTIES PERSONS OR GOVERNMENTAL APPROVALS AND RENDERS THIS SURVEY MAP NULL & VOID. THIS SURVEY MAP IS SUBJECT TO AN ACCURATE ABSTRACT OF TITLE.
2. THIS SURVEY MAP IS BASED ON AN ACTUAL FIELD SURVEY CONDUCTED FOR A SPECIFIC PURPOSE AND IS BASED ON SPECIFIC CONTRACTUAL REQUIREMENTS FOR THIS TRANSACTION. USE OF THIS MAP FOR SURVEY INSPECTION UPDATES IS STRICTLY PROHIBITED. THIS MAP MAY NOT BE COPIED IN WHOLE OR IN PART. THIS MAP MAY NOT BE USED FOR OTHER PURPOSES OR TRANSACTIONS. THIS MAP MAY NOT BE SOLD, RENTED, LEASED, PHOTOCOPIED, ENLARGED, REDUCED, TRACED OR TRANSFERRED IN ANY OTHER WAY WITHOUT THE PRIOR WRITTEN CONSENT OF A CIVIL TEC ENGINEERING & SURVEYING PC REPRESENTATIVE WHO'S SIGNATURE & SEAL APPEAR HEREON.
3. PROPERTY CORNER MARKERS WERE NOT INSTALLED AS PART OF THIS SURVEY.
4. VERTICAL DATUM IS NAVD88.

REFERENCES

1. BEING SECTION 41.14, BLOCK 1, LOT 62 OF THE VILLAGE OF WESLEY HILLS AND TOWN OF RAMAPO TAX MAPING.
2. LOT DESCRIBED BY DEED IN INSTRUMENT NO. 2020 AT PAGE 1027 AT THE ROCKLAND COUNTY CLERKS OFFICE.
3. BEING LOT 1 ON A MAP ENTITLED "ARNOLD C. GILBERT", FILED IN THE ROCKLAND COUNTY CLERKS OFFICE ON OCTOBER 12, 1973 IN BOOK 86 ON PAGE 42 AS MAP NUMBER 4464.
4. TOTAL AREA = 80,253 SQUARE FEET OR 1.8424 ACRES.



DATE	ISSUE	DESCRIPTION	REVISIONS
S.B.L. 41.14 - 1 - 62			
SURVEY MAP			
FOR			
12A MARTHA ROAD			
VILLAGE OF WESLEY HILLS - ROCKLAND COUNTY - NEW YORK			
CIVIL TEC Engineering & Surveying PC			DATE: 7/06/20
139 Lafayette Avenue, 2nd Fl. Suffern, NY 10901 P 845.547.2241 - F 845.547.2243		111 Main Street Chester, NY 10918 845.610.3621	DRAWN BY: WPD
Civil Engineering & Land Surveying Services that Build Communities www.Civil-Tec.com			CHKD BY: SPD
			JOB No. 3814
			SCALE: 1"=20'
			DWG No. 1 OF 5
STEPHEN P. DOLSON, P.L.S. N.Y. Lic. No. 50554			



VICINITY MAP
1" = 300'

GENERAL NOTES

1. BASED ON THE VILLAGE OF WESLEY HILLS TAX MAP, THIS LOT IS 62 ON MAP 41.14 BLOCK 1.
2. AREA OF TRACT: 80,253 SQ FT OR 1.8424 AC
3. ZONE: R-50
4. NUMBER OF PROPOSED LOTS: 1
5. RECORD OWNER: DEVORAH & MARK FRIEDMAN
12A MARTHA ROAD
MONSEY, NY 10952
SAME
6. APPLICANT:
7. EXISTING USE: RESIDENTIAL
8. PROPOSED USE: SINGLE FAMILY RESIDENCE
9. THIS PLAT DOES NOT CONFLICT WITH THE OFFICIAL COUNTY MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239N OF THE GENERAL MUNICIPAL LAW.
10. ALL HOUSES TO BE SEWERED BY GRAVITY WITH A MIN. SLOPE OF 2%.
11. THE INDIVIDUAL LOTS ARE DESIGNATED WITH THE TAX LOT NUMBER SHOWN THUS
12. 3/4" CORNER IRON PIPES TO BE SET BEFORE C.O. IS ISSUED.
13. ALL NEW UTILITIES TO BE UNDERGROUND.
14. FIRE DISTRICT - MOLESTON
15. SCHOOL DISTRICT - SUFFERN CENTRAL
16. WATER DISTRICT - RAMAPO CONSOLIDATED WATER DISTRICT. WATER SUPPLY BY SUEZ WATER
17. ALL ELEVATIONS SHOWN ARE BASED ON U.S.C. & G.S. DATUM.
18. ELECTRIC DISTRICT - ORANGE & ROCKLAND
19. SEWER DISTRICT - BENEFITED AREA NO. 5
20. THERE ARE NO COVENANTS, DEED RESTRICTIONS, EASEMENTS, OR OTHER RESERVATIONS OF LAND RELATIVE TO THIS SITE, EXCEPT AS SHOWN ON THIS MAP, SUBJECT TO THE FINDINGS OF A COMPLETE AND UP TO DATE TITLE REPORT.
21. BASEMAP FROM A SURVEY COMPLETED BY CIVIL TEC ENGINEERING & SURVEYING PC DATED JULY 6, 2020.
22. ALL FOOTING DRAINS SHALL BE PUMPED AND DAYLIGHTED.
23. BASEMENT SHALL HAVE A ZOEGLER 1/2 HP SUBMERSIBLE SUMP PUMP OR APPROVED EQUAL.

IMPERVIOUS IN FRONT YARD:
4,347 SF (DRIVEWAY)

AREA OF FRONT YARD: 22,624 SF

FRONT YARD IMPERVIOUS RATIO:
4,347 SF IMPERVIOUS/22,624 SF = 0.19

BUILDING COVERAGE CALCULATION:
9,371 SF TOTAL LIVING FLOOR AREA
TOTAL FLOOR AREA INCLUSIVE: 9,766 SF
3,272 SF IN SINGLE STORY HEIGHT (GAZEBO INCLUDED)
3,272 SF/8,805 (5,533 SF IN TWO STORY HEIGHT) TOTAL
BUILDING AREA = 0.37
0.37 X 0.05 = 0.0185
0.0185 + 0.10 = 0.1185
80,253 SF (LOT AREA) X 0.1185 = 9,509.98 SF MAXIMUM
ALLOWABLE BUILDING COVERAGE
PROVIDED BUILDING COVERAGE
8,805 SF TOTAL BUILDING COVERAGE < 9,509.98 SF MAXIMUM
BUILDING COVERAGE ALLOWED
0.110 < 0.1185

*ALL EXISTING STRUCTURES ARE TO BE REMOVED

LOT COVERAGE:
DRIVEWAY 5,446 SF
DWELLING 5,275 SF
GAZEBO, POOL EQUIPMENT 560 SF
POOL, SPA, HOT TUB 1,100 SF
POOL PATIO 2,280 SF
WALKWAYS, WINDOW WELLS, STAIRS, TERRACES, ETC. 2,558 SF

TOTAL 17,199 SF

TOTAL IMPERVIOUS COVERAGE:
17,199 SF/80,253 SF = 0.21

NO STEEP SLOPES

PARKING CALCULATION:
SINGLE FAMILY HOME REQUIRES 2 SPACES
2 GARAGE SPACES PROVIDED

Bulk Requirements: R-50 Single Family Residence												
	Min. Lot Area	Min. Lot Frontage	Min. Lot Width	Min. Front Yard	Min. Side Yard	Min. Total Side Yard	Min. Rear Yard	Max. Impervious Surface Ratio	Max. Front Yard Impervious Surface Ratio	Max. Building Coverage	Max. Building Height	Max. Exposed Building Height
Required	50,000 SF	100 FT	150 FT	50 FT	30 FT	75 FT	50 FT	0.2	0.15	0.1185	2.5 stories/ 25 FT	40 FT
Provided	80,253 SF	20.3 FT	381.6 FT	50 FT	87 FT	281 FT	28 FT	0.21	0.19	0.11	2 stories/ 23 FT	40 FT
Variances		Existing					Yes	Yes	Yes			

VARIANCES GRANTED ON SEPTEMBER 16, 2020

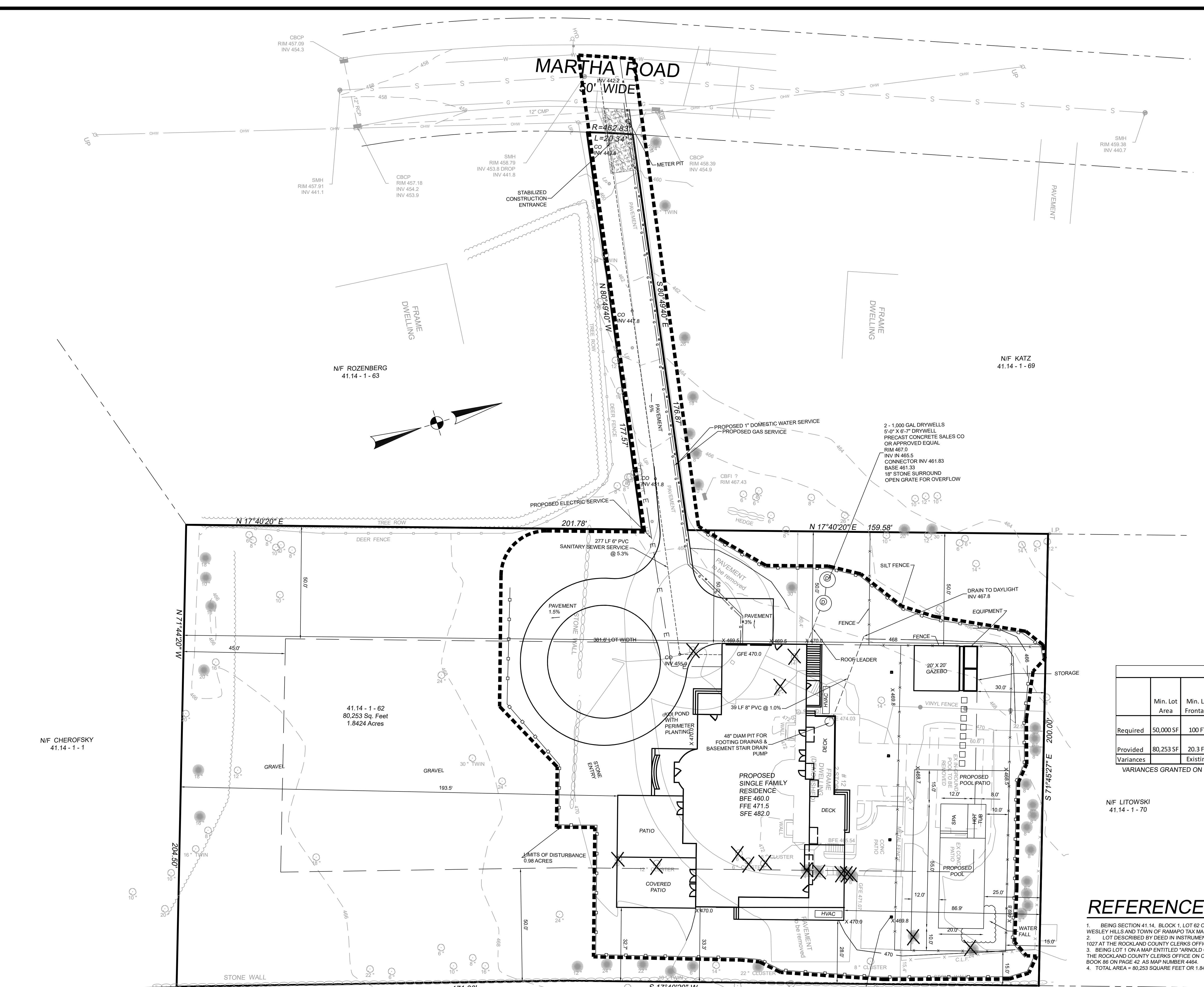
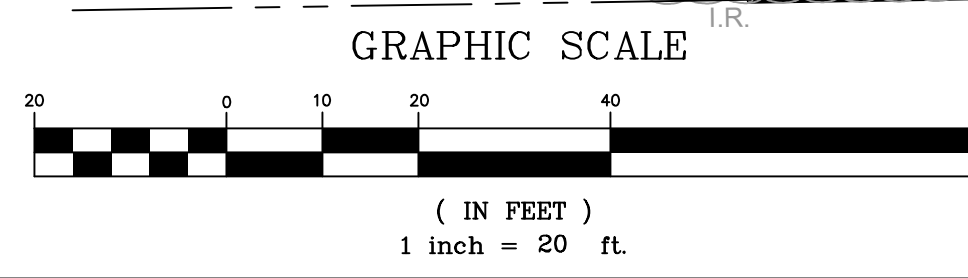
N/F LITOWSKI
41.14 - 1 - 70

- | | | |
|-------------------|-------|-------------------------------------|
| NOVEMBER 15, 2021 | REV 4 | REV PER VILLAGE ENGINEER'S COMMENTS |
| OCTOBER 27, 2021 | REV 3 | REV PER VILLAGE ENGINEER'S COMMENTS |
| OCTOBER 14, 2021 | REV 2 | REV PER SOIL TESTING |
| OCTOBER 6, 2021 | REV 1 | REV PER VILLAGE ENGINEER'S COMMENTS |

REFERENCES

1. BEING SECTION 41.14, BLOCK 1, LOT 62 OF THE VILLAGE OF WESLEY HILLS AND TOWN OF RAMAPO TAX MAPPING.
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3. BEING LOT 1 ON A MAP ENTITLED "ARNOLD C. GILBERT", FILED IN THE ROCKLAND COUNTY CLERKS OFFICE ON OCTOBER 12, 1973 IN BOOK 86 ON PAGE 42 AS MAP NUMBER 4464.
4. TOTAL AREA = 80,253 SQUARE FEET OR 1.8424 ACRES.

DATE	ISSUE	DESCRIPTION	REVISIONS
S.B.L. 41.14 - 1 - 62			
BUILDING PERMIT PLAN APPROVED 2021			
FOR			
12A MARTHA ROAD			
VILLAGE OF WESLEY HILLS - ROCKLAND COUNTY - NEW YORK			
CIVIL TEC Engineering & Surveying PC			DATE: 12/7/2020
139 Lafayette Avenue, 2nd Fl. Suffern, NY 10901 P 845.547.2241 - F 845.547.2243			DRAWN BY: RB/LT
111 Main Street Chester, NY 10918 845.610.3621			CHKD BY: RB/LT
Civil Engineering & Land Surveying Services that Build Communities www.Civil-Tec.com			
Rachel B. Barese, P.E. N.Y. Lic. No. 90143			JOB No. 3814
			SCALE: 1"=20'
			DWG No. 2 OF 5





VICINITY MAP
1" = 300'

GENERAL NOTES

1. BASED ON THE VILLAGE OF WESLEY HILLS TAX MAP, THIS LOT IS 62 ON MAP 41.14 BLOCK 1.
2. AREA OF TRACT: 80,253 SQ FT OR 1.8424 AC
3. ZONE: R-50
4. NUMBER OF PROPOSED LOTS: 1
5. RECORD OWNER: DEVORAH & MARK FRIEDMAN
12A MARTHA ROAD
MONSEY, NY 10952
6. APPLICANT: SAME
7. EXISTING USE: RESIDENTIAL
8. PROPOSED USE: SINGLE FAMILY RESIDENCE
9. THIS PLAT DOES NOT CONFLICT WITH THE OFFICIAL COUNTY MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239N OF THE GENERAL MUNICIPAL LAW.
10. ALL HOUSES TO BE SEWERED BY GRAVITY WITH A MIN. SLOPE OF 2%.
11. THE INDIVIDUAL LOTS ARE DESIGNATED WITH THE TAX LOT NUMBER SHOWN THUS
12. 3/4" CORNER IRON PIPES TO BE SET BEFORE C.O. IS ISSUED.
13. ALL NEW UTILITIES TO BE UNDERGROUND.
14. FIRE DISTRICT - MOLESTON
15. SCHOOL DISTRICT - SUFFERN CENTRAL
16. WATER DISTRICT - RAMAPO CONSOLIDATED WATER DISTRICT. WATER SUPPLY BY SUEZ WATER
17. ALL ELEVATIONS SHOWN ARE BASED ON U.S.C. & G.S. DATUM.
18. ELECTRIC DISTRICT - ORANGE & ROCKLAND
19. SEWER DISTRICT - BENEFITED AREA NO. 5
20. THERE ARE NO COVENANTS, DEED RESTRICTIONS, EASEMENTS, OR OTHER RESERVATIONS OF LAND RELATIVE TO THIS SITE, EXCEPT AS SHOWN ON THIS MAP, SUBJECT TO THE FINDINGS OF A COMPLETE AND UP TO DATE TITLE REPORT.
21. BASEMAP FROM A SURVEY COMPLETED BY CIVIL TEC ENGINEERING & SURVEYING PC DATED JULY 6, 2020.
22. ALL FOOTING DRAINS SHALL BE PUMPED AND DAYLIGHTED.
23. BASEMENT SHALL HAVE A ZOEGLER 1/2 HP SUBMERSIBLE SUMP PUMP OR APPROVED EQUAL.

Lot Coverage:

Dwelling	5,510 SF
Covered Patio	422 SF
Deck	891 SF
Pergola (by Tennis)	1,048 SF
Front ramp/Walk/Canopy	625 SF
Patios	863 SF
Rear basement stairs	184 SF
Sunroom	545 SF
Cabana/Storage/Equipment	600 SF
Pool	1,144 SF
Pool patio	3,345 SF
Fire Pit	44 SF
Driveway	6,991 SF
Tennis Court	6,999 SF
Gravel Walkway & Area near	1,580 SF
Tennis	1,580 SF
Total	30,771 SF
Total Impervious Coverage	0.383
Variance Required	

BUILDING COVERAGE CALCULATION:
 9,371 SF TOTAL LIVING FLOOR AREA
 TOTAL FLOOR AREA INCLUSIVE: 9,766 SF
 3,272 SF IN SINGLE STORY HEIGHT (GAZEBO INCLUDED)
 3,272 SF/8,805 (5,533 SF IN TWO STORY HEIGHT) TOTAL
 BUILDING AREA = 0.37
 0.37 X 0.05 = 0.0185
 0.0185 + 0.10 = 0.1185
 80,253 SF (LOT AREA) X 0.1185 = 9,509.98 SF MAXIMUM
 ALLOWABLE BUILDING COVERAGE
 PROVIDED BUILDING COVERAGE
 9,005 SF TOTAL BUILDING COVERAGE < 9,509.98 SF MAXIMUM
 BUILDING COVERAGE ALLOWED
 0.112 < 0.1185

*ALL EXISTING STRUCTURES ARE TO BE REMOVED
 NO STEEP SLOPES

PARKING CALCULATION: FRONT YARD IMPERVIOUS DRIVEWAY 5,300 SF
 SINGLE FAMILY HOME REQUIRES 2 SPACES
 2 GARAGE SPACES PROVIDED
 5,300 SF IMPERVIOUS/22,624 SF FRONT YARD = 0.23

Bulk Requirements: R-50 Single Family Residence

	Min. Lot Area	Min. Lot Frontage	Min. Lot Width	Min. Front Yard	Min. Side Yard	Min. Total Side Yard	Min. Rear Yard	Max. Impervious Surface Ratio	Max. Front Yard Impervious Surface Ratio	Max. Building Coverage	Max. Building Height	Max. Exposed Building Height
Required	50,000 SF	100 FT	150 FT	50 FT	30 FT	75 FT	50 FT	0.2	0.15	0.1185	2.5 stories/ 25 FT	40 FT
Variations Previously Granted		20.3 FT					33 FT	0.26	0.169			
Provided	80,253 SF	20.3 FT	381.6 FT	50 FT	25 FT	281 FT	31.9 FT	0.39	0.23	0.112	2 stories/ 23 FT	40 FT
Variations		Existing		Yes			Yes	Yes	Yes			

VARIANCES ORIGINALLY GRANTED ON SEPTEMBER 16, 2020
 VARIANCE REQUIRED FOR 230-14.0(6) FOR MORE THAN TWO ACCESSORY STRUCTURES.
 SPECIAL PERMIT REQUIRED FOR AN ACCESSORY SPORTS COURT GREATER THAN 2,500 SF

N/F LITOWSKI
 41.14 - 1 - 70

- | | | |
|-------------------|-------|-------------------------------------|
| NOVEMBER 21, 2025 | REV 8 | REV PER COMMENTS |
| JANUARY 17, 2025 | REV 7 | REV FOR ZBA |
| DECEMBER 31, 2024 | REV 6 | REV UTILITIES |
| AUGUST 7, 2024 | REV 5 | REV FOR TENNIS COURT |
| NOVEMBER 15, 2021 | REV 4 | REV PER VILLAGE ENGINEER'S COMMENTS |
| OCTOBER 27, 2021 | REV 3 | REV PER VILLAGE ENGINEER'S COMMENTS |
| OCTOBER 14, 2021 | REV 2 | REV PER SOIL TESTING |
| OCTOBER 6, 2021 | REV 1 | REV PER VILLAGE ENGINEER'S COMMENTS |

REFERENCES

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3. BEING LOT 1 ON A MAP ENTITLED "ARNOLD C. GILBERT", FILED IN THE ROCKLAND COUNTY CLERKS OFFICE ON OCTOBER 12, 1973 IN BOOK 86 ON PAGE 42 AS MAP NUMBER 4464.
4. TOTAL AREA = 80,253 SQUARE FEET OR 1.8424 ACRES.

S.B.L. 41.14 - 1 - 62
BUILDING PERMIT PLAN FOR 12A MARTHA ROAD
 VILLAGE OF WESLEY HILLS - ROCKLAND COUNTY - NEW YORK

CIVIL TEC Engineering & Surveying PC

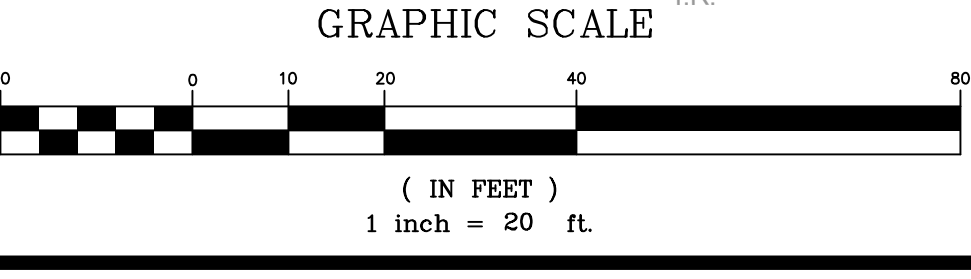
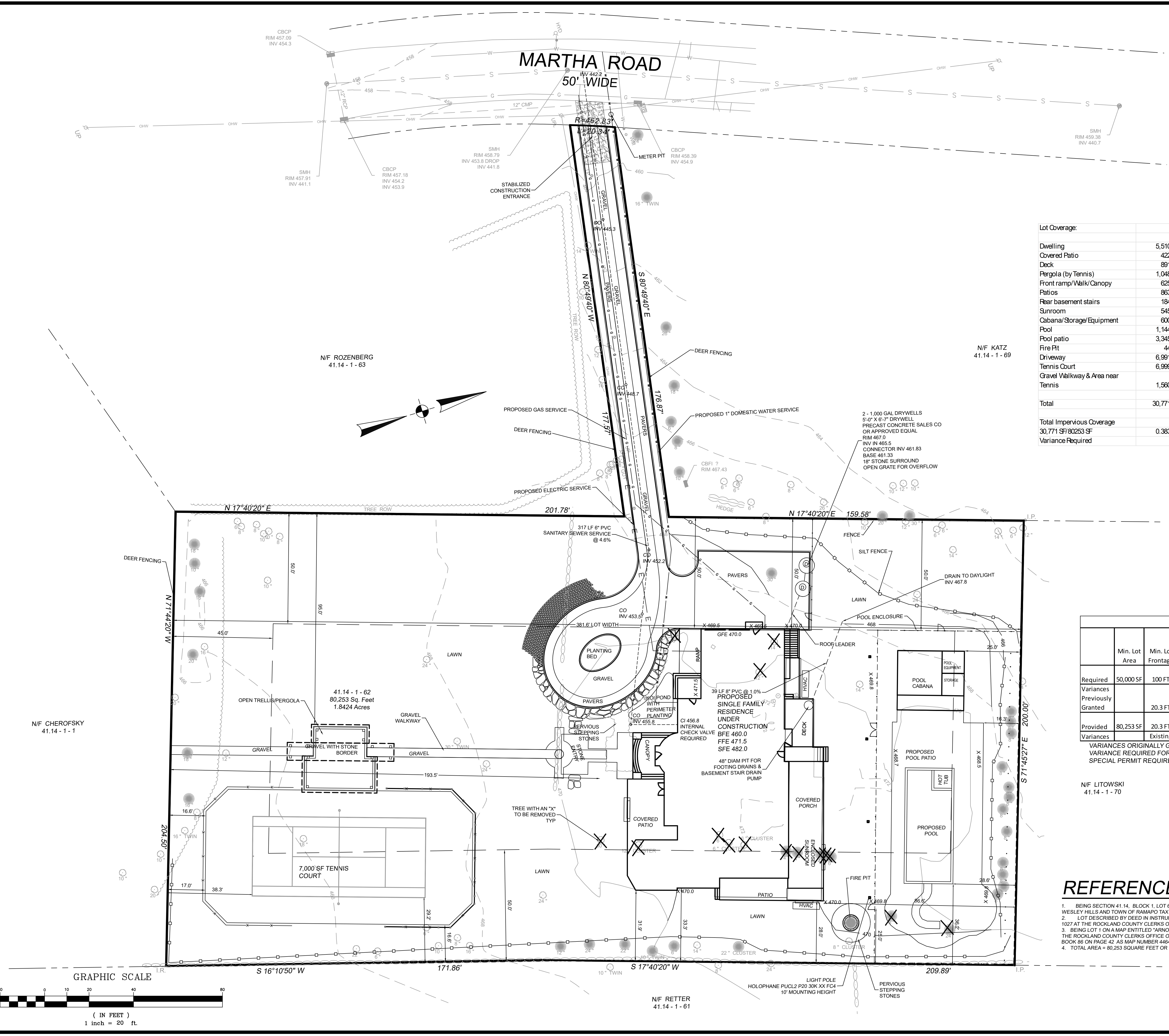
DATE: 12/7/2020

139 Lafayette Avenue, 2nd Fl. 111 Main Street
 Suffern, NY 10901 Chester, NY 10918
 P 845.547.2241 - F 845.547.2243 845.610.3621

Civil Engineering & Land Surveying Services that Build Communities
 www.Civil-Tec.com

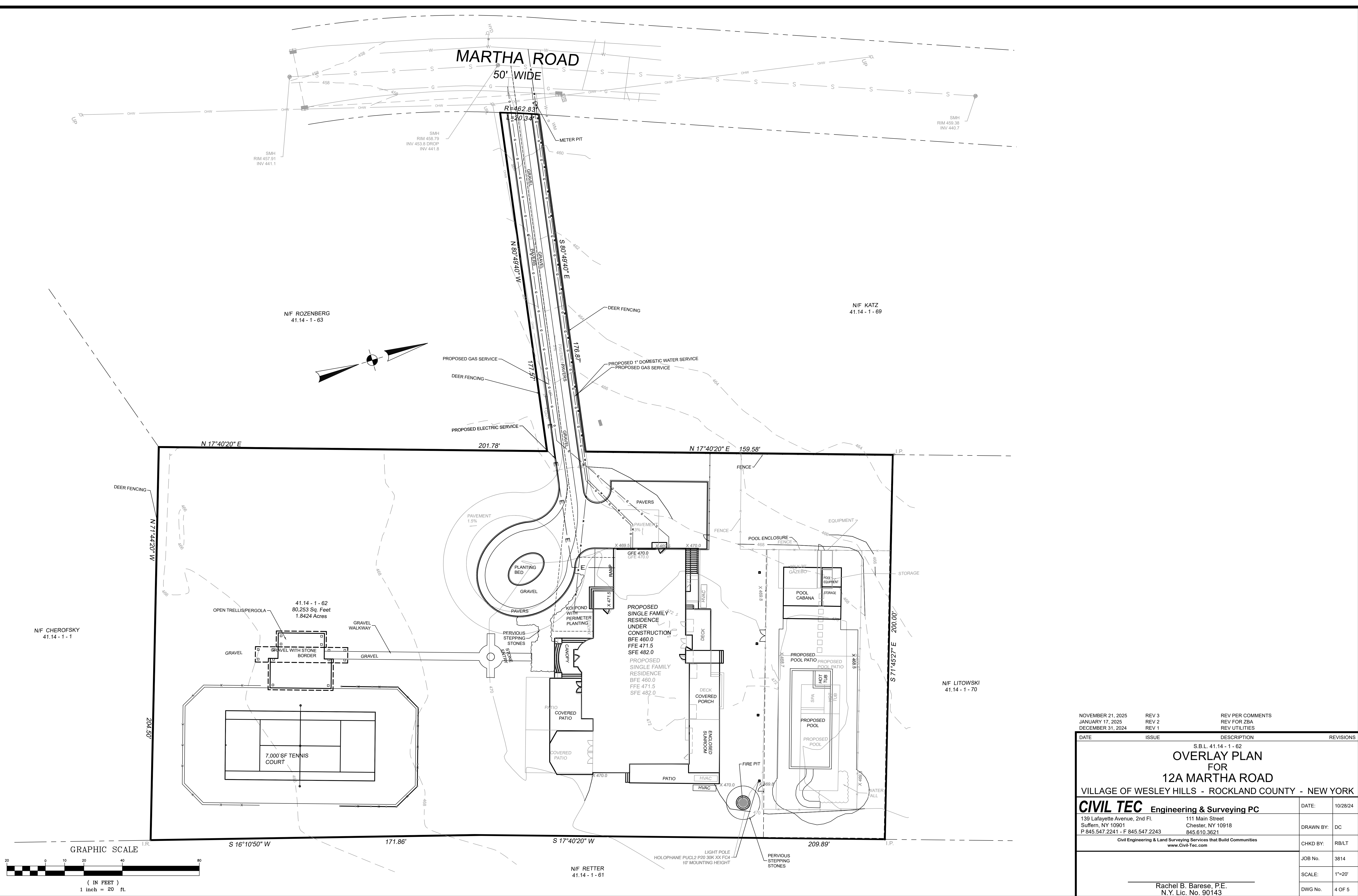
DRAWN BY: RB/LT
 CHKD BY: RB/LT
 JOB No. 3814
 SCALE: 1"=20'
 DWG No. 3 OF 5

Rachel B. Barese, P.E.
 N.Y. Lic. No. 90143



MARTHA ROAD

50' WIDE



N/F ROZENBERG
41.14 - 1 - 63

N/F KATZ
41.14 - 1 - 69

N/F CHEROFSKY
41.14 - 1 - 1

N/F LITOWSKI
41.14 - 1 - 70

N/F RETTER
41.14 - 1 - 61

DATE	ISSUE	DESCRIPTION	REVISIONS
NOVEMBER 21, 2025	REV 3	REV PER COMMENTS	
JANUARY 17, 2025	REV 2	REV FOR ZBA	
DECEMBER 31, 2024	REV 1	REV UTILITIES	

S.B.L. 41.14 - 1 - 62
OVERLAY PLAN
FOR
12A MARTHA ROAD
VILLAGE OF WESLEY HILLS - ROCKLAND COUNTY - NEW YORK

CIVIL TEC Engineering & Surveying PC

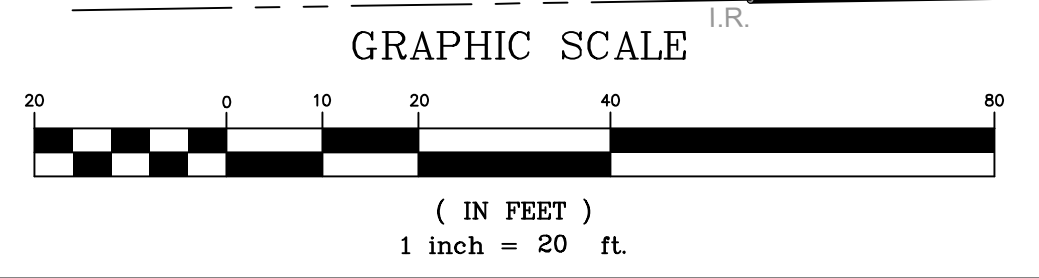
139 Lafayette Avenue, 2nd Fl. Suffern, NY 10901
P 845.547.2241 - F 845.547.2243

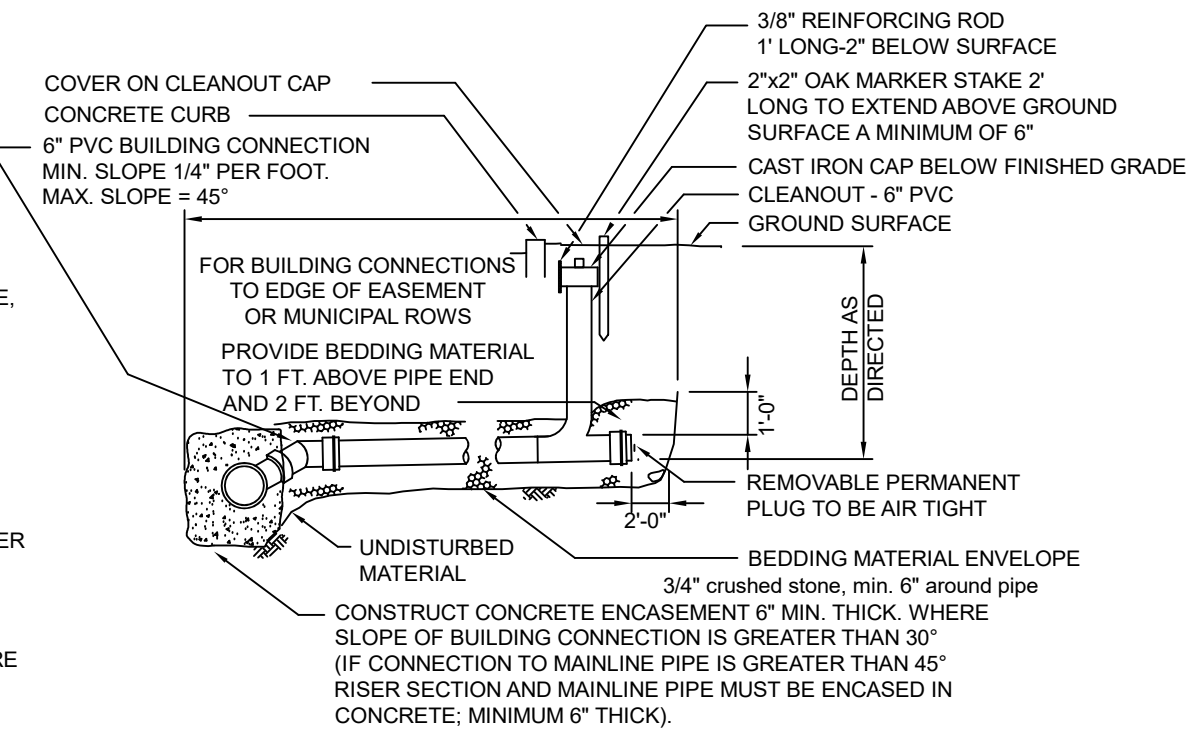
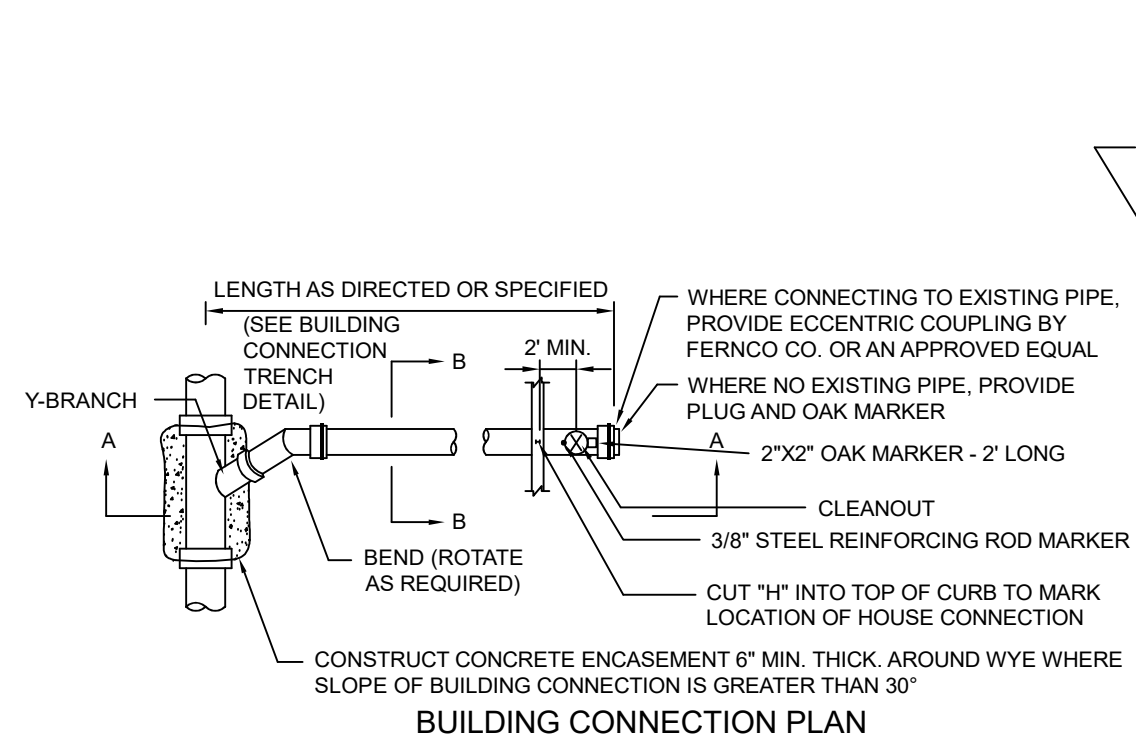
111 Main Street Chester, NY 10918
845.610.3621

Civil Engineering & Land Surveying Services that Build Communities
www.Civil-Tec.com

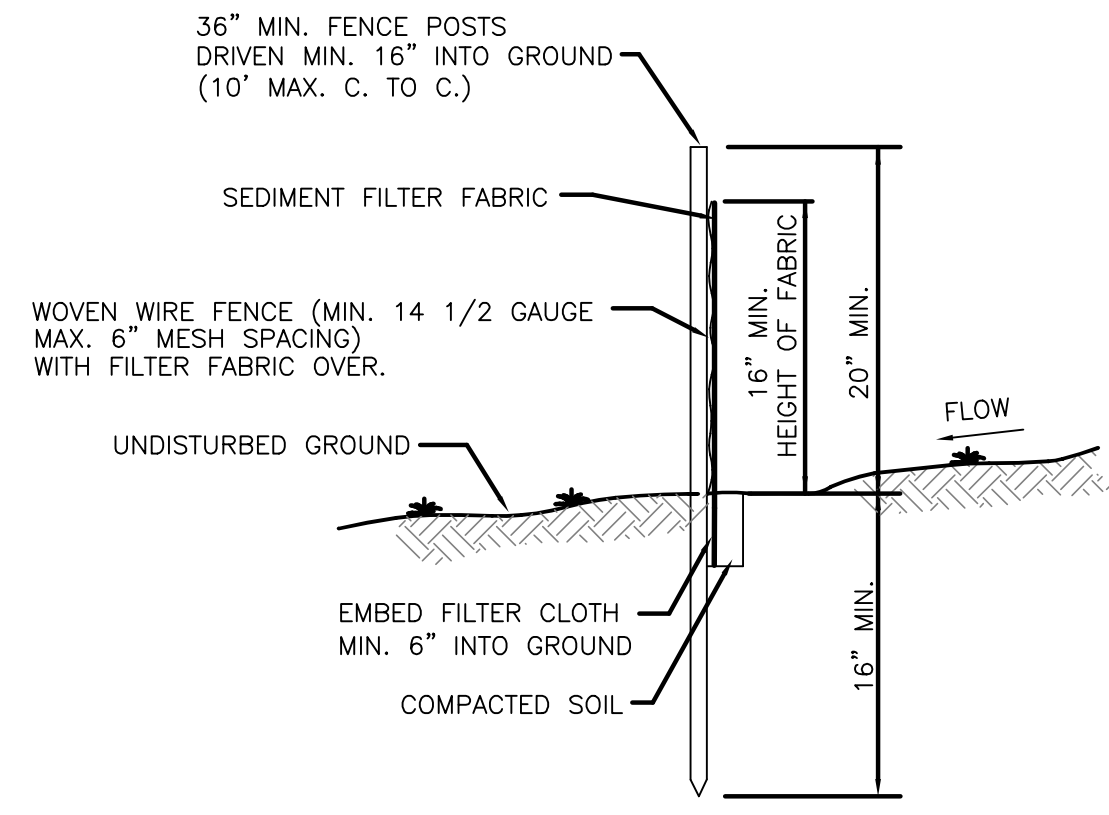
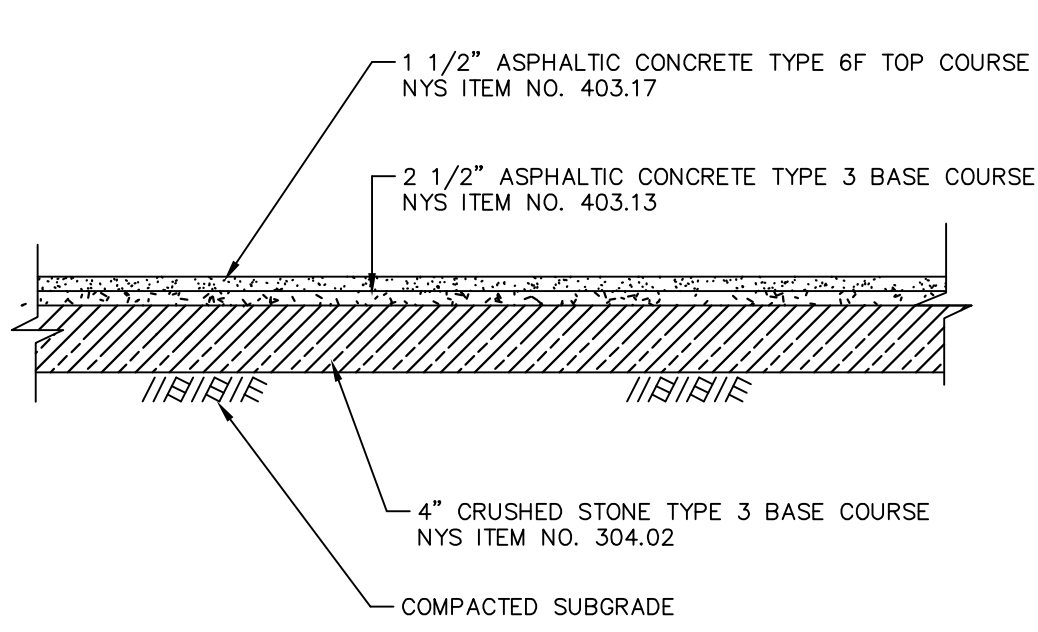
DATE: 10/28/24
DRAWN BY: DC
CHKD BY: RB/LT
JOB No. 3814
SCALE: 1"=20'
DWG No. 4 OF 5

Rachel B. Barese, P.E.
N.Y. Lic. No. 90143

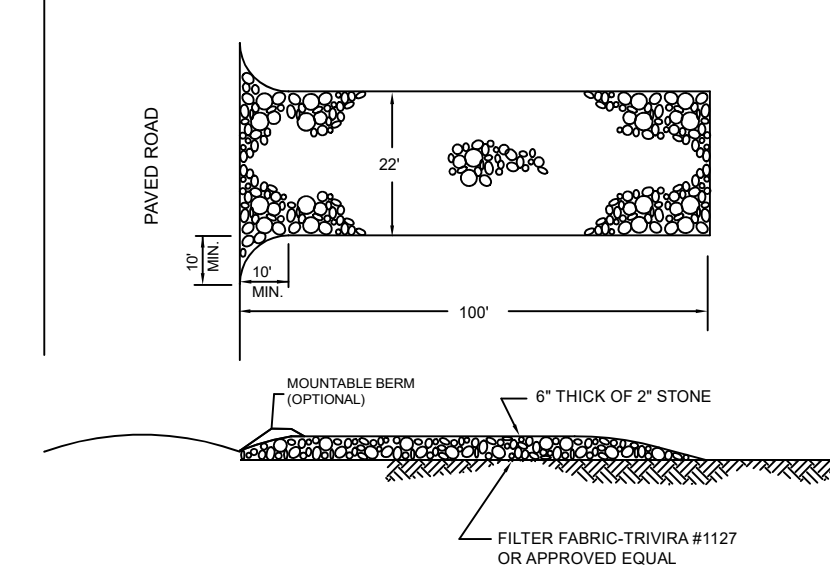




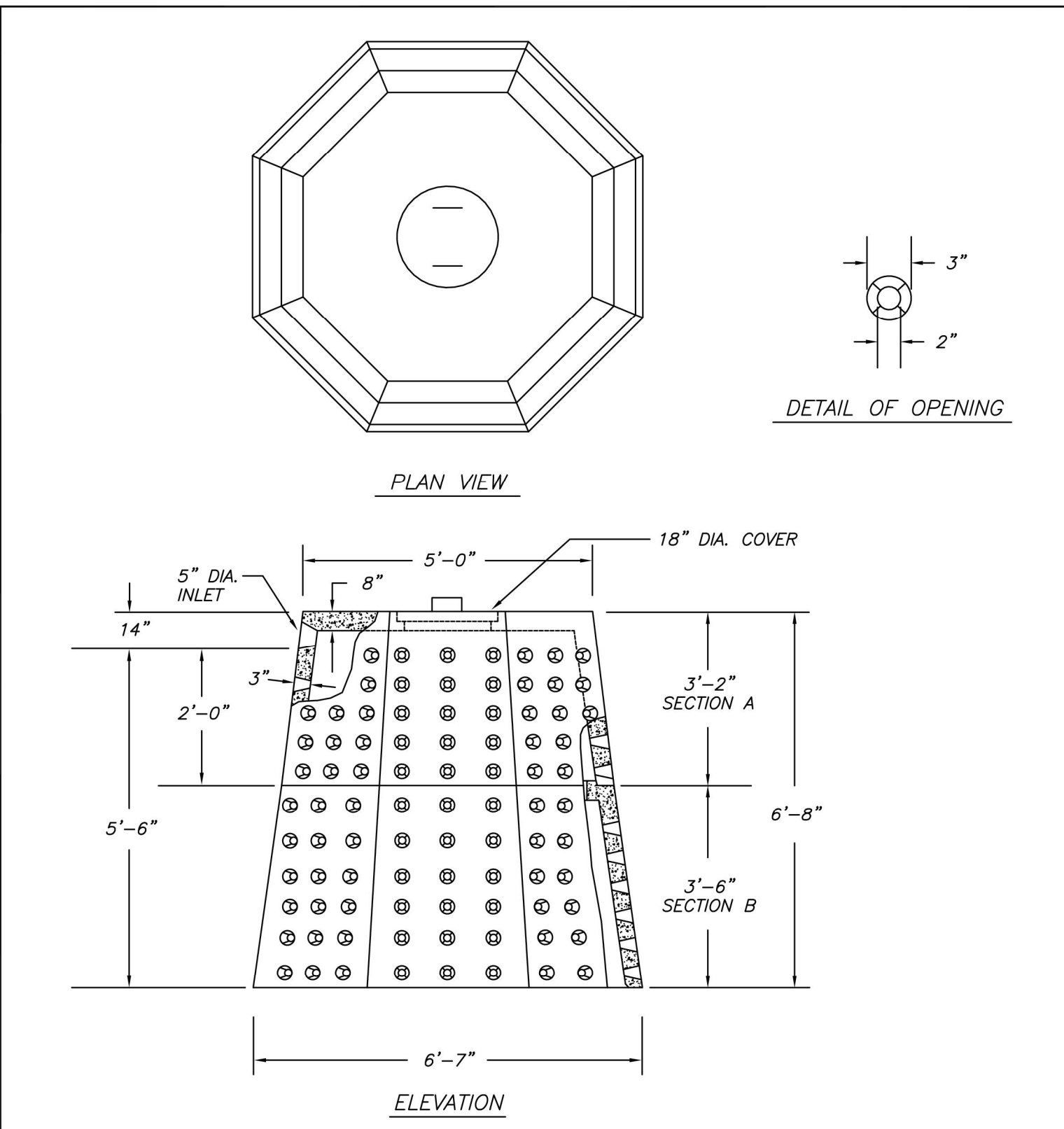
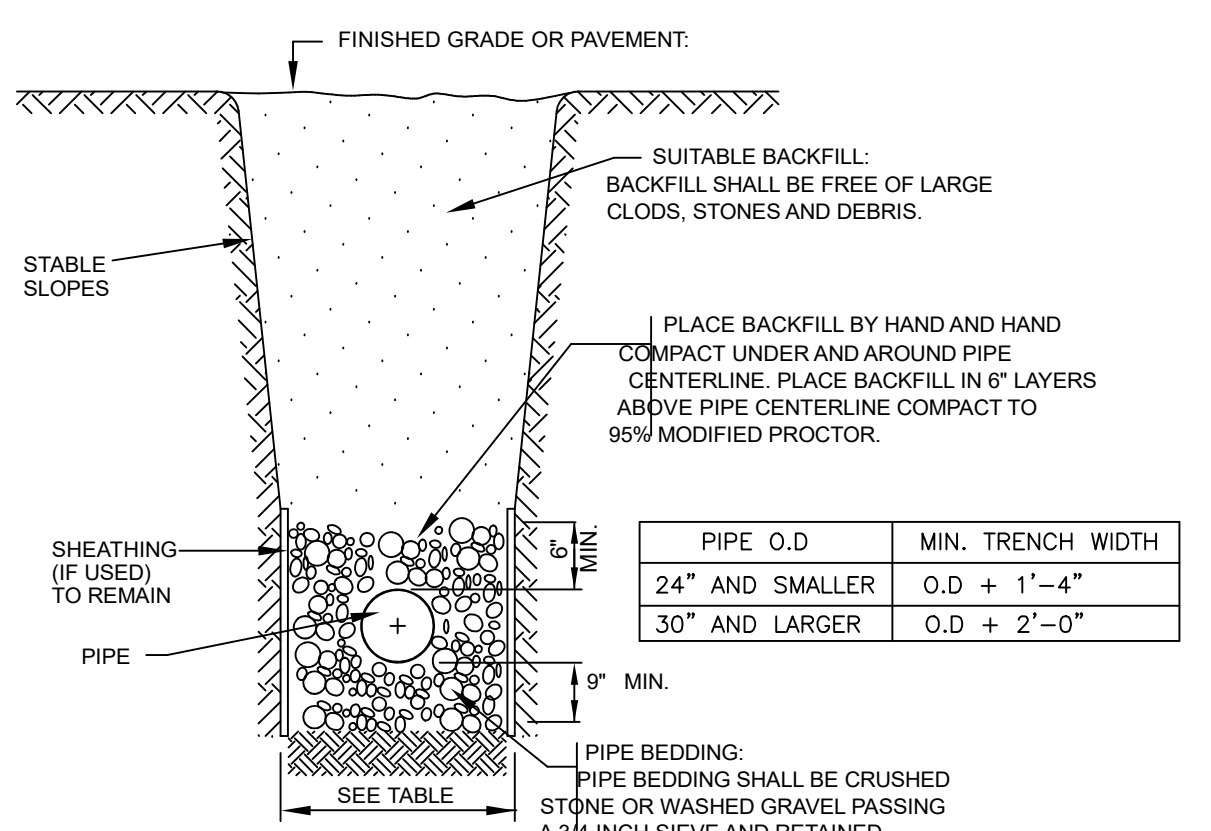
BUILDING CONNECTION DETAIL
N.T.S.



- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN BULGES DEVELOP IN THE SILT FENCE.
 - POST TO BE STEEL EITHER "T" OR "U" TYPE OR 2" HARDWOOD.
 - FILTER CLOTH TO BE MIRAFI 100X STABILINKA T140N OR APPROVED EQUAL.
 - PREFABRICATED UNIT - GEOFAB. ENVIROFENCE OR APPROVED EQUAL.



- CONSTRUCTION SPECIFICATIONS**
- STONE SIZE - USE 2 INCHES STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 - THICKNESS - NOT LESS THAN 6 INCHES.
 - WIDTH - 12 FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY FOUR FEET IF SINGLE ENTRANCE TO SITE.
 - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



NOTES :

- CONCRETE TO TEST 4000 PSI @ 28 DAYS
- STEEL REINFORCEMENT-ASTM-A-615
- SECTION A - 370 GALLONS 6'-0" ACROSS BOTTOM WEIGHT - 2,000 LBS.
- SECTION B - 630 GALLONS 6'-7" ACROSS BOTTOM WEIGHT - 4050 LBS
- LOAD RATING - HS20

Precast Concrete Sales Co.
123 Route 303 Valley Cottage, N.Y. 10989
Tel. (845) 268-4949 - Fax (845) 268-4376

CONT.	5'-0" x 6'-7" DRYWELL TWO SECTIONS	
JOB	DATE	DRAWN BY
	02/09	AT
		DRAWING NO.
		705-A/B

- EROSION CONTROL & SEDIMENT NOTES**
- A TEMPORARY SEEDING SHALL BE APPLIED TO DISTURBED AREAS THAT ARE LEFT BARE FOR 15 DAYS UNLESS CONSTRUCTION WILL BEGIN WITHIN 30 DAYS. IF CONSTRUCTION IS SUSPENDED OR COMPLETED, AREAS SHALL BE SEEDED DOWN OR MULCHED IMMEDIATELY.
 - STRUCTURAL MEASURES MUST BE MAINTAINED TO BE EFFECTIVE. IN GENERAL, THESE MEASURES MUST BE PERIODICALLY INSPECTED TO INSURE STRUCTURAL INTEGRITY, DETECT VANDALISM DAMAGE, AND FOR CLEANING AND REPAIR WHENEVER NECESSARY.
 - DURING CONSTRUCTION, ALL STRUCTURES SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAIN.
 - AFTER CONSTRUCTION, INSPECTION SHALL BE MADE AT LEAST SEMI-ANNUALLY AND AFTER EVERY RAIN.
 - THE STORM DRAIN INLET STRUCTURES SHALL BE PROTECTED WITH A FILTER BERM UNTIL THE AREA IS STABILIZED WITH VEGETATION OR THE BASE COURSE OF PAVEMENT IS INSTALLED.
 - CONSIDER LIMITING LAND DISTURBANCE TO ONLY THAT AREA NECESSARY FOR DEVELOPMENT.
 - THE MACADAM SURFACE SHALL BE SWEEPED "BROOM CLEAN" AT THE END OF EACH DAY DURING THE CONSTRUCTION PHASE OF THE SIDEWALKS AND CURB.
 - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT ALL POINTS WHERE A DISTURBED AREA MEETS AN IMPERVIOUS SURFACE, THIS INCLUDES ALL NEW DRIVEWAY CONNECTIONS ALONG THE NEW ROADWAY.
 - CONSTRUCTION EQUIPMENT SHALL BE LIMITED TO THOSE AREAS WITHIN THE SILT FENCE SEDIMENT PROTECTION. AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, THE AREA COMPACTED BY MACHINERY SHALL BE DICED OR OTHERWISE LOOSENEED TO A DEPTH OF 12 INCHES PRIOR TO FINAL GRADING WITH TOPSOIL AND SEEDING.

DATE	ISSUE	DESCRIPTION	REVISIONS
NOVEMBER 21, 2025	REV 8		REV PER COMMENTS
JANUARY 17, 2025	REV 7		REV FOR ZBA
DECEMBER 31, 2024	REV 6		REV UTILITIES
AUGUST 7, 2024	REV 5		REV FOR TENNIS COURT
NOVEMBER 15, 2021	REV 4		REV PER VILLAGE ENGINEER'S COMMENTS
OCTOBER 27, 2021	REV 3		REV PER VILLAGE ENGINEER'S COMMENTS
OCTOBER 14, 2021	REV 2		REV PER SOIL TESTING
OCTOBER 6, 2021	REV 1		REV PER VILLAGE ENGINEER'S COMMENTS

S.B.L. 41.14 - 1 - 62

BUILDING PERMIT PLAN
FOR
12A MARTHA ROAD
VILLAGE OF WESLEY HILLS - ROCKLAND COUNTY - NEW YORK

CIVIL TEC Engineering & Surveying PC

139 Lafayette Avenue, 2nd Fl. Suffern, NY 10901 P 845.547.2241 - F 845.547.2243	111 Main Street Chester, NY 10918 845.610.3621	DATE: 7/21/21
Civil Engineering & Land Surveying Services that Build Communities www.Civil-Tec.com		DRAWN BY: RB/LT
		CHKD BY: RB/LT
		JOB No. 3814
		SCALE: AS SHOWN
		DWG No. 5 OF 5

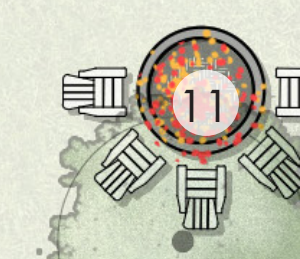
Rachel B. Barese, P.E.
N.Y. Lic. No. 90143

FRIEDMAN RESIDENCE
12A MARTHA ROAD • VILLAGE OF WESLEY HILLS, NEW YORK



LEGEND

- | | |
|---|---|
| 1. Gravel Circular Driveway & Median (PERVIOUS) | 8. Open Lawn & Garden |
| 2. Cobblestone Pave Driveway & Parking Court (IMPERVIOUS) | 9. Front & Side Entry Stone Walkways |
| 3. Irregular Stepping Stone Walkway w/ Grass Joints | 10. Front & Rear Terraces |
| 4. Koi Pond Garden Feature | 11. Wood-burning Stone Firepit |
| 5. Gravel Walkway | 12. Swimming Pool & Terrace |
| 6. Tennis & Garden Terrace w/ Pergola | 13. Raised Rock Garden Feature & Slide Area |
| 7. Tennis Court 60'x120' | |



Narrative regarding variance sought at 21 Rochelle Lane

Dear Village of Wesley Hills

We have been living in the village approximately 22 years – since 2004. My parents lived in Pennsylvania at that time. As they aged, they became less independent and requested living with one of their children. My wife and I agreed to have them live with us and they moved into our home around 2009.

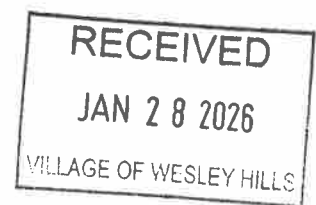
My father wanted to have a deck to sit outside, and he set about having a deck built at the back of the house on the second-floor level. I had nothing to do with the construction or planning of the deck as my father found the contractor/s to work with. The deck has been there for many years and to the best of my knowledge it was permitted. I thought so because my father worked with reputable and honest contractors, and I simply assumed that they took care of the variance. I was unaware of the fact that a zoning variance was not applied for. We are going back about 16 years.

We recently added on a room in the back of our home and when we requested the final approval from the Village, I became aware of the fact that the deck never had a Zoning approval.

I ask the Zoning Board to kindly approve the deck. It is used mostly by my father who is now 88 and he loves to sit outside. (My other passed away in 2023.)

Thank you

Saul Horowitz



PART I

Name of Municipality VILLAGE OF WESLEY HILLS Date 9/19/25

Please check all that apply:

<input type="checkbox"/> Planning Board	<input type="checkbox"/> Architectural Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Municipal Board	
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Pre-preliminary/Sketch
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Zoning Code Amendment	<input type="checkbox"/> Zone Change
<input checked="" type="checkbox"/> Variance * (Fill out Part II of this form.)	

Project Name: Horowitz Residence

Applicant: Saul Horowitz Phone #

Address 21 Rochelle Lane, Spring Valley, NY 10977
Street Name & Number (Post Office) State Zip code

Property Owner: Same as applicant Phone #

Address
Street Name & Number (Post Office) State Zip code

Engineer/Architect/Surveyor: Sparaco & Youngblood PLLC Phone # 845-782-8543

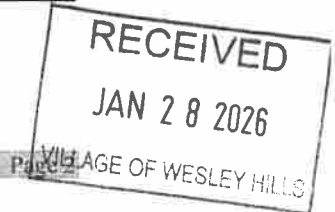
Address 18 North Main Street, Harriman, NY 10926
Street Name & Number (Post Office) State Zip code

Attorney: Paul S. Baum of Sarajian & Baum PLLC Phone # 845-205-4556

Address 155 North Main Street, New City, NY 10956
Street Name & Number (Post Office) State Zip code

Contact Person: Attorney Phone #

Address
Street Name & Number (Post Office) State Zip code



Tax Map Designation:

Section 41.08 Block 2 Lot(s) 58.8
Section _____ Block _____ Lot(s) _____

Location: On the north side of East Willow Tree Road,
120 feet west of Arcadian Drive.

Acreage of Parcel 108,584 SF Zoning District R-35
School District East Ramapo Postal District Spring Valley

Project Description: *(If additional space required, please attach a narrative summary.)*

Variance to legalize the location of an existing nonconforming deck which will have less than the minimum side yard of 25' and minimum total side yard of 60'. See narrative summary

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____

Project History: Has this project ever been reviewed before? _____

If so, list case number, name, date, and the board you appeared before.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

"Permission is hereby granted to the Village of Wesley Hills, its agents, servants and employees to enter upon the above described property solely for the purposes incidental to the within application at reasonable times upon reasonable notice to the owner or tenant in possession."

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 K, L, M, AND N.

- | | |
|---|---|
| <input type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path | <input type="checkbox"/> County Stream |
| <input type="checkbox"/> Municipal Boundary | <input type="checkbox"/> County Facility |

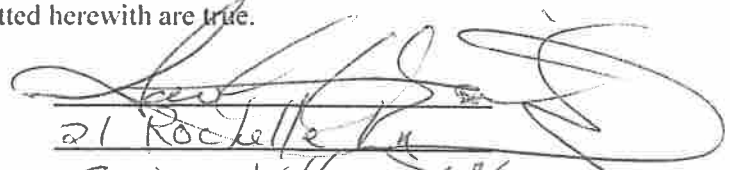
List name(s) of facility checked above. _____

Applicant's Signature and Certification

State of New York)
County of Rockland) SS.:
Town/Village of _____)

I, Saul Horowitz, hereby depose and say that all the above statements contained in the papers submitted herewith are true.

Mailing Address


21 Rockelle Ln
Spring Valley NY
10977

SWORN to before this 26th day of December, 2025

Tara Roberts
Notary Public

TARA S ROBERTS
NOTARY PUBLIC STATE OF NEW YORK
RESIDING IN ROCKLAND COUNTY
NO. 01R06429066
MY COMMISSION EXPIRES 02/07/2026

RECEIVED
JAN 28 2026
VILLAGE OF WESLEY HILLS

Affidavit of Ownership/Owner's Consent

State of New York)
County of Rockland) SS.:
Town/Village of _____)

I, Saul Horowitz being duly sworn, hereby
depose and say that I reside at: 21 Rochelle Lane

in the county of Rockland in the state of New York.

I am the * _____ owner in fee simple of premises located at:
21 Rochelle Lane, Spring Valley, NY 10977

described in a certain deed of said premises recorded in the Rockland County Clerk's
Office in Liber 2003-47303 of conveyances, page _____ .

Said premises have been in my/its possession since 19 2003 . Said premises are
also known and designated on the Town of Ramapo Tax Map as:
section 41.08 block 2 lot(s) 58.8

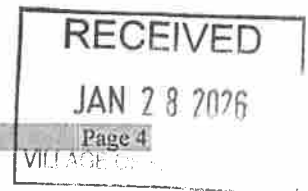
I hereby authorize the within application on my behalf, and that the statements of fact
contained in said application are true, and agree to be bound by the determination of the
board.

Owner _____
Mailing Address 21 Rochelle Ln
Spring Vly NY 10977

SWORN to before this
21st day of December, 2025
Tara S Roberts
Notary Public

TARA S ROBERTS
NOTARY PUBLIC STATE OF NEW YORK
RESIDING IN ROCKLAND COUNTY
NO. 01RO6429066
MY COMMISSION EXPIRES 02/07/2026

* If owner is a corporation, fill in the office held by deponent and name of corporation,
and provide a list of all directors, officers and stockholders owning more than 5% of
any class of stock.



Affidavit Pursuant to Section 809 of the General Municipal Law

State of New York)
County of Rockland) SS.:
Town/Village of _____)

I, Saul Horowitz, being duly sworn, hereby depose and say that all the following statements and the statements contained in the papers submitted herewith are true and that the nature and extent of any interests set forth are disclosed to the extent that they are known to the applicant.

1. Print or type full name and post office address

Saul Horowitz

21 Rochelle Lane, Spring Valley, NY 10977

certifies that he is owner or agent of all that certain lot, piece or parcel of land and/or building described in this application **and if not the owner that he has been duly and properly authorized to make this application and to assume responsibility for the owner in connection with this application for the relief below set forth:**

2. To the Zoning Board of Appeals of the Town/Village of _____
(Board, Commission or Agency)
Wesley Hills, Rockland County, New York:

Application, petition or request is hereby submitted for:

- Variance or modification from the requirement of Section 230-17 _____;
- Special permit per the requirements of Section _____;
- Review and approval of proposed subdivision plat;
- Exemption from a plat or official map;
- An order to issue a certificate, permit or license;
- An amendment to the Zoning Ordinance or Official Map or change thereof;
- Other (*explain*) _____;

To permit construction, maintenance and use of _____
legalize the location of existing nonconforming deck _____

3. Premises affected are in a R-35 zone and from the town of Town tax map, the property is know as Section 41.08, Block, 2, Lot(s) 58.8.

4. There is no state officer, Rockland County Officer or employee or town/village officer or employee nor his or her spouse, brother, sister, parent, child or grandchild, or a spouse of any of these relatives who is the applicant or who has an interest in the person, partnership or association making this application, petition or request, or is an officer, director, partner or employee of the applicant, or that such officer or employee, if this applicant is a corporation, legally or beneficially owns or controls any stock of the applicant in excess of 5% of the total of the corporation if its stock is listed on the New York or American Stock Exchanges; or is a member or partner of the applicant, if the applicant is an association or a partnership; nor that such town/village officer or employee nor any member of his family in any of the foregoing classes is a party to an agreement with the applicant, express or implied, whereby such officer or employee may receive any payment or other benefit, whether or not for service rendered, which is dependent or contingent upon the favorable approval of this application, petition or request.

5. That to the extent that the same is known to your applicant, and to the owner of the subject premises **there is disclosed herewith** the interest of the following officer or employee of the State of New York or the County of Rockland or of the Town/Village of _____ in the petition, request or application or in the property or subject matter to which it relates:

(if none, so state)

a. Name and address of officer or employee NONE

b. Nature of interest _____

c. If stockholder, number of shares _____

d. If officer or partner, nature of office and name of partnership _____

e. If a spouse or brother, sister, parent, child, grandchild or the spouse of any of these blood relatives of such state, county or town/village officer or employee, state name and address of such relative and nature of relationship to officer and employee and nature and extent of office, interest or participation or association having an interest in such ownership or in any business entity sharing in such ownership. _____

f. In the event of corporate ownership: A list of all directors, officers and stockholders of each corporation owning more than five (5%) percent of any class of stock, must be attached, if any of these are officers or employees of the State of New York, or of the County of Rockland, or of the Town/Village of _____.

I, _____, do hereby depose and say that all the above statements and statements contained in the papers submitted herewith are true, knowing that a person who knowingly and intentionally violates this section is guilty of a misdemeanor.

Mailing Address

21 Koebelle
Spur Vly NY
10977

SWORN to before this

20th day of December, 2025
Tara S Roberts
Notary Public

TARA S ROBERTS
NOTARY PUBLIC STATE OF NEW YORK
RESIDING IN ROCKLAND COUNTY
NO. 01RO6429066
MY COMMISSION EXPIRES 02/07/2026

VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097


AFFIDAVIT OF OWNERSHIP

STATE OF NEW YORK }
COUNTY OF ROCKLAND } SS:
VILLAGE OF WESLEY HILLS }

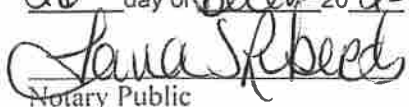
Saul Horowitz being duly sworn, deposes and
says that he/she resides at _____
21 Rochelle Lane, Spring Valley, NY 10977

in the County of Rockland, State of New York; that he/she is the owner in
fee of all that certain lot, piece or parcel of land situated, lying and being
in the Village of Wesley Hills, and designated on the Town of Ramapo
Map as Section No. _____ Lot No. _____ and that he/she hereby
authorizes the attached application to be submitted in his/her behalf and
that the statements of fact contained in said application are true.

The applicant is the (owner) (contract vendee) of the said property.

Owner: 
Address: 21 Rochelle Ln
Spr Vly NY 10977

Sworn to before me this
26th day of December 2025


Notary Public

TARA S ROBERTS
NOTARY PUBLIC STATE OF NEW YORK
RESIDING IN ROCKLAND COUNTY
NO. 01RO6429066
MY COMMISSION EXPIRES 02/07/2026

11/41.12-2-46
VIENER JOSEPH & HANNA
10 MARK DR
SPRING VALLEY, NY 10977

11/41.12-2-43
KLAHR SHMUEL & ROCHEL
LEAH
3 ARCADIAN DR
WESLEY HILLS, NY 10977

11/41.12-2-11
HAMBURGER ROCHELLE
27 EAST WILLOW TREE ROAD
WESLEY HILLS, NY 10977

11/41.12-2-7
WYMAN MICHAEL & JUANITA
42 E WILLOW TREE RD
SPRING VALLEY, NY 10977

11/41.12-2-38
YAMPEL MOSHE & YUDIT
9 ARCADIAN DR
SPRING VALLEY, NY 10977

11/41.12-2-44.2
63 EAST WILLOW TREE ROAD
LLC
63 EAST WILLOW TREE ROAD
WESLEY HILLS, NY 10977

11/41.12-2-15
GELMAN CHAYA
6 ARCADIAN DRIVE
WESLEY HILLS, NY 10977

11/41.12-2-42
ARCADIAN DRIVE LLC
P.O. BOX 350-169
BROOKLYN, NY 11235-0169

11/41.12-2-13
FRIEDMAN MOSHE
#1
5103 20TH AVE
BROOKLYN, NY 11204

11/41.12-2-2
CONG SHAAR HASHAMAYIM
% J. EISENREICH
71 E WILLOW TREE RD
WESLEY HILLS, NY 10977

11/41.12-2-39
COP CAPITAL LLC
11 ARCADIAN DRIVE
SPRING VALLEY, NY 10977

11/42.09-1-29
SPITZ NANCY D
1 ROCKINGHAM RD
SPRING VALLEY, NY 10977

11/41.12-2-12
SCHWARTZ YIDEL
170 CLINTON LANE
SPRING VALLEY, NY 10977

11/41.12-2-6
HOROWTIZ FAMILY TRUST
21 ROCHELLE LANE
SPRING VALLEY, NY 10977

11/41.12-2-45
LICHTSCHEIN JULIE
12 MARK DR
SPRING VALLEY, NY 10977

11/41.12-2-41
SILBERBERG CHARLES &
MIRIAM R
7 ARCADIAN DR
SPRING VALLEY, NY 10977

11/41.12-2-64
ABIKZER TZIVYA
6 MARK DR
SPRING VALLEY, NY 10977

11/41.12-2-44.1
RAKOWER DOV & TZIPPY
PO BOX D1800
POMONA, NY 10970

11/41.12-2-5
GINSBURG MORDECHAI
& SHERI LIVING TRUST
1 ARCADIAN DR
SPRING VALLEY, NY 10977

11/41.12-2-1
TAMBOR JACOB
2 MARK DRIVE
SPRING VALLEY, NY 10977

11/41.12-2-47
LAZARUS MARK & LINDA
8 MARK DR
SPRING VALLEY, NY 10977

11/41.12-2-63
ZELMANOVIC DAVID & ELAINE
4 MARK DR
SPRING VALLEY, NY 10977

11/41.12-2-8
KATZ TAMIR &
SCHNEID SHARONA
38 E WILLOW TREE
SPRING VALLEY, NY 10977

11/42.09-1-2
A G CONSTRUCTION NY INC
UNIT 32
7 ROOSEVELT AV
SPRING VALLEY, NY 10977

11/41.12-2-16
PROVIDER-HAMASPIK OF
ROCKLAND COUNTY INC
58 RT 59
MONSEY, NY 10952

11/41.12-2-40
FISCHMAN LISA M
9 OZ CT
SPRING VALLEY, NY 10977

11/42.09-1-30
WREN GORDON JR & ROBIN J
3 ROCKINGHAM RD
SPRING VALLEY, NY 10977

11/41.12-2-14
LEVY LM LEGACY TRUST
4 ARCADIAN DR
SPRING VALLEY, NY 10977

11/41.12-2-4
UMANKSKY AMALIA 2016
FAMILY TRUST
57 E WILLOW TREE RD
SPRING VALLEY, NY 10977

11/42.09-1-8
ARON PETER & SANDRA
22 E WILLOW TREE RD
SPRING VALLEY, NY 10977

11/41.08-2-58.16
BRODY JR LEGACY TRUST
2 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.08-2-58.9
WILLOW TREE MNGT LLC
241 VIOLA RD
MONSEY, NY 10952

11/41.08-2-58.1
WILLOW TREE MNGT LLC
241 VIOLA RD
MONSEY, NY 10952

11/42.09-1-5
JACOBSON HUGH G &
JENNIE K
3 SHADY RIDGE LA
SPRING VALLEY, NY 10977

11/42.09-1-6
FLETCHER LLC
SUITE W
711 EXECUTIVE BLVD
VALLEY COTTAGE, NY 10989

11/42.05-1-32
BERRIOS HUGO & MORALES
BETZABETH
4 EAST HILLSIDE CT
SPRING VALLEY, NY 10977

11/41.08-2-58.8
HOROWITZ SAUL & GITTY
21 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.08-2-58.14
NORMAN ARYEH CHANI
FAMILY TRUST
6 ROCHELLE LA
SPRING VALLEY, NY 10977

11/42.05-1-17
SINGH HARRY
32 HICKORY ST E
SPRING VALLEY, NY 10977

11/41.08-2-58.13
MAMMON LAURENCE &
MICHELLE
8 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.12-2-10
MAYZ MANUEL S & ESTHER J
30 E WILLOW TREE RD
SPRING VALLEY, NY 10977

11/42.09-1-9
GLEYZER ARKADY A & INNA
GUREVICH-GLEYZER
690 HAVERSTRAW ROAD
MONTEBELLO, NY 10901

11/42.09-1-7
LINDER ROCHELLE
16 PARK TERR
SPRING VALLEY, NY 10977

11/42.05-1-34
MARVIN DAVID S & ROBIN &
DOREEN & ALAN
11 PARK TERRACE
SPRING VALLEY, NY 10977

11/42.05-1-33
SZPILZINGER LEGACY TRUST
2 EAST HILLSIDE CT
SPRING VALLEY, NY 10977

11/41.08-2-58.2
WILLOW TREE MNGT LLC
241 VIOLA RD
MONSEY, NY 10952

11/41.08-2-58.11
EISENREICH JOEL & AHUVA
12 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.08-2-42
SIEGEL JAY & JUDITH
IRREVOCABLE TRUST
32 CHARLOTTE DR
SPRING VALLEY, NY 10977

11/42.05-1-28
KLEIN JOSEPH C & HELENE R
FAMILY LIVING TRUST
501 N CITRUS AVENUE
LOS ANGELES, CA 90036

11/41.08-2-58.3
BRAUNSTEIN SHALOM &
ELIANA
5 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.12-2-9
WIZEL RACHEL
34 E WILLOW TREE RD
SPRING VALLEY, NY 10977

11/41.12-1-4
HAGER LIPA
2 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-2-58.10
LEV GERSHON LLC
14 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.08-2-58.15
RUBE DAVID S & ROSOLYN J
4N ROCHELLE LA
WESLEY HILLS, NY 10977

11/41.08-2-57
GRUBER D REVOCABLE TRUST
4 DEERWOOD RD
SPRING VALLEY, NY 10977

11/42.05-1-31
GAUFF MARY ANN TRUST
6 EAST HILLSIDE CT
WESLEY HILLS, NY 10977

11/42.09-1-1
JACAS SIMON + OPHELIA
20 PARK TERR
SPRING VALLEY, NY 10977

11/41.08-2-56
HOOK JONATHAN & NAOMI
6 DEERWOOD RD
WESLEY HILLS, NY 10977

11/41.08-2-58.12
ADLER ESTHER M & MEYER
10 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.08-2-55
LOEBENBERG LEGACY TRUST
8 DEERWOOD RD
SPRING VALLEY, NY 10977

11/42.05-1-18
 TWENTY EIGHT PARK
 TERRACE TRUST
 28 PARK TERR
 SPRING VALLEY, NY 10977

11/42.05-1-30
 GREENFIELD RICHARD &
 DELILAH
 5 EAST HILLSIDE CT
 SPRING VALLEY, NY 10977

11/42.05-1-26
 MURPHY DEREK & CARMEN
 31 PARK TERR
 SPRING VALLEY, NY 10977

11/41.08-2-58.5
 GRUBER BRENDA
 9 ROCHELLE LANE
 SPRING VALLEY, NY 10977

11/41.08-2-41
 GRUENEBAUM STEPHEN C &
 GOLDBERG ROCHELLE B
 34 CHARLOTTE DR
 SPRING VALLEY, NY 10977

11/41.08-2-43
 BUSH PHILIP & LAUREL H
 30 CHARLOTTE DR
 SPRING VALLEY, NY 10977

11/41.08-2-46
 HOROWITZ BRUCE & JOANNE
 REDDEN
 24 CHARLOTTE DR
 SPRING VALLEY, NY 10977

11/41.08-2-48
 DAHAN ISRAEL & MELANIE
 20 CHARLOTTE DR
 SPRING VALLEY, NY 10977

11/41.08-2-39
 BODNER TZIPORAH
 33 CHARLOTTE DRIVE
 SPRING VALLEY, NY 10977

11/41.08-2-22
 PARSONS FAMILY TRUST
 21 CHARLOTTE DR
 WESLEY HILLS, NY 10977

11/42.05-1-27
 PIERRE STUART & MARIE Y
 27 PARK TERR
 SPRING VALLEY, NY 10977

11/41.08-2-54
 GREENWALD MOISHE &
 NICOLE A
 10 DEERWOOD RD
 SPRING VALLEY, NY 10977

11/41.08-2-58.7
 MESSNER ALAN & TOVA
 15 ROCHELLE LA
 SPRING VALLEY, NY 10977

11/41.08-2-58.4
 ZUPNIK JOSEPH & ELISA
 7 ROCHELLE LA
 SPRING VALLEY, NY 10977

11/42.05-1-20
 LAUBER AVRUHOM & TRANA
 38 PARK TERR
 SPRING VALLEY, NY 10977

11/41.08-2-44
 SUSSHOLZ CHANINA
 28 CHARLOTTE DR
 SPRING VALLEY, NY 10977

11/41.08-2-47
 SHATZKES AVRUM
 22 CHARLOTTE DR
 SPRING VALLEY, NY 10977

11/41.08-2-50
 CONG ATERES ROSH INC
 16 CHARLOTTE DR
 SPRING VALLEY, NY 10977

11/41.08-2-40
 GOTTESMAN LAZER & CHANA
 35 CHARLOTTE DR
 WESLEY HILLS, NY 10977

11/41.08-2-37
 LEHTINEN HELEN
 29 CHARLOTTE DR
 SPRING VALLEY, NY 10977

11/42.05-1-29
 KOWALCZYK CLARA E
 TRUST
 3 EAST HILLSIDE CT
 SPRING VALLEY, NY 10977

11/42.05-1-19
 FISH DAVID R
 32 PARK TERR
 SPRING VALLEY, NY 10977

11/41.08-2-58.6
 FISHKIND ARI & DEBORAH
 11 ROCHELLE LA
 SPRING VALLEY, NY 10977

11/42.05-1-25
 COLEMAN BRENDA &
 FUNDERBURK ELIZABETH
 35 PARK TERR
 SPRING VALLEY, NY 10977

11/41.08-2-53
 KURTZ SETH & CHAYA
 REVOCABLE TRUST
 12 DEERWOOD RD
 SPRING VALLEY, NY 10977

11/41.08-2-45
 ROSEN YEHUDIS
 26 CHARLOTTE DR
 SPRING VALLEY, NY 10977

11/41.08-2-49
 STERN YOAV & GILAH
 18 CHARLOTTE DR
 SPRING VALLEY, NY 10977

11/41.08-2-38
 BODNER SCHWERD SGURA
 31 CHARLOTTE DR
 SPRING VALLEY, NY 10977-110

11/42.05-1-24
 ROTTENSTEIN MARGARET &
 SAMUEL IRREVOCABLE TRUST
 C/O KOHL MIRIAM
 1724-44 ST
 BROOKLYN, NY 11204
 11/41.08-2-36
 PONZONI GEORGE B +
 PHYLLIS TRUSTS
 2 LAURA LA
 SPRING VALLEY, NY 10977

11/41,08-2-24
MACK STANLEY
1 LAURA LA
SPRING VALLEY, NY 10977

11/41,08-2-23
DEROSA DOMINICK J & KAREN
23 CHARLOTTE DR
SPRING VALLEY, NY 10977

11/41,12-2-3.1
STERNHELL, JOSHUA &
MIRIAM
5055 COLLINS AVE APT 5D
MIAMI, FL 33140

11/41,12-2-3.2
STERNHELL JOSHUA & MIRIAM
5055 COLLINS AVE-APT 5D
MIAMI, FL 33140

11/41,12-2-3.3
STERNHELL ELIEZER M
42 N QUINCE LANE
MONSEY, NY 10952

11/841,12-2-11
HAMBURGER ROCHELLE
27 EAST WILLOW TREE ROAD
WESLEY HILLS, NY 10977



DISCLAIMER

APPLICANT TAKES FULL RESPONSIBILITY FOR RESEARCHING THE TAX MAP FOR THE LIST OF NAMES OF PROPERTY OWNERS ON THE ENCLOSED *AFFIDAVIT OF MAILING LIST*, AND SUPPLYING THE NECESSARY AMOUNT OF SELF-ADDRESSED STAMPED ENVELOPES.

THE APPLICANT'S ENVELOPES MUST COINCIDE WITH THE LIST. THE CLERK'S RESPONSIBILITY IS LIMITED TO CHECKING NAMES ON THE ENVELOPES AGAINST THE AFOREMENTIONED AFFIDAVIT BEFORE MAILING THEM.

RECEIPT OF THIS DISCLAIMER IS ACKNOWLEDGED



APPLICANT

12/26/2025
DATED

PART II

Application before the Zoning Board of Appeals

Application, petition or request is hereby submitted for:

- Variance from the requirement of Section 230-17 _____;
- Special permit per the requirements of Section _____;
- Review of an administrative decision of the Building Inspector;
- An order to issue a Certificate of Occupancy;
- An order to issue a Building Permit;
- An interpretation of the Zoning Ordinance or Map;
- Certification of an existing non-conforming structure or use;
- Other (*explain*) _____;

To permit construction, maintenance and use of _____
legalize the location of existing nonconforming deck _____

VILLAGE OF
Wesley Hills
ESTABLISHED 1982

432 Route 306

Wesley Hills, N.Y. 10952-1221

Phone: 845-354-0400 Fax: 845-354-4097 www.wesleyhills.gov

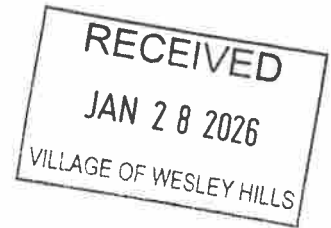
Email: BuildingDept@wesleyhills.gov

Dated: June 25, 2025

Tax Parcel ID#: 41.08-2-58.8

Address: 21 Rochelle Lane

Applicant: Saul & Gitty Horowitz




BUILDING AND ZONING DEPARTMENT:

Please be advised that your request for a Certificate of Occupancy for an addition to a Single-Family Home has been denied. The requirements of the Zoning Law of the Village of Wesley Hills have not been satisfied. The following variances are required:

- ~>Minimum side yard of 15.6' where 25' is required
- ~>Minimum total side yard of 41.9' where 60' is required

In addition, the Zoning Board of Appeals may review any previously granted variances if applicable.

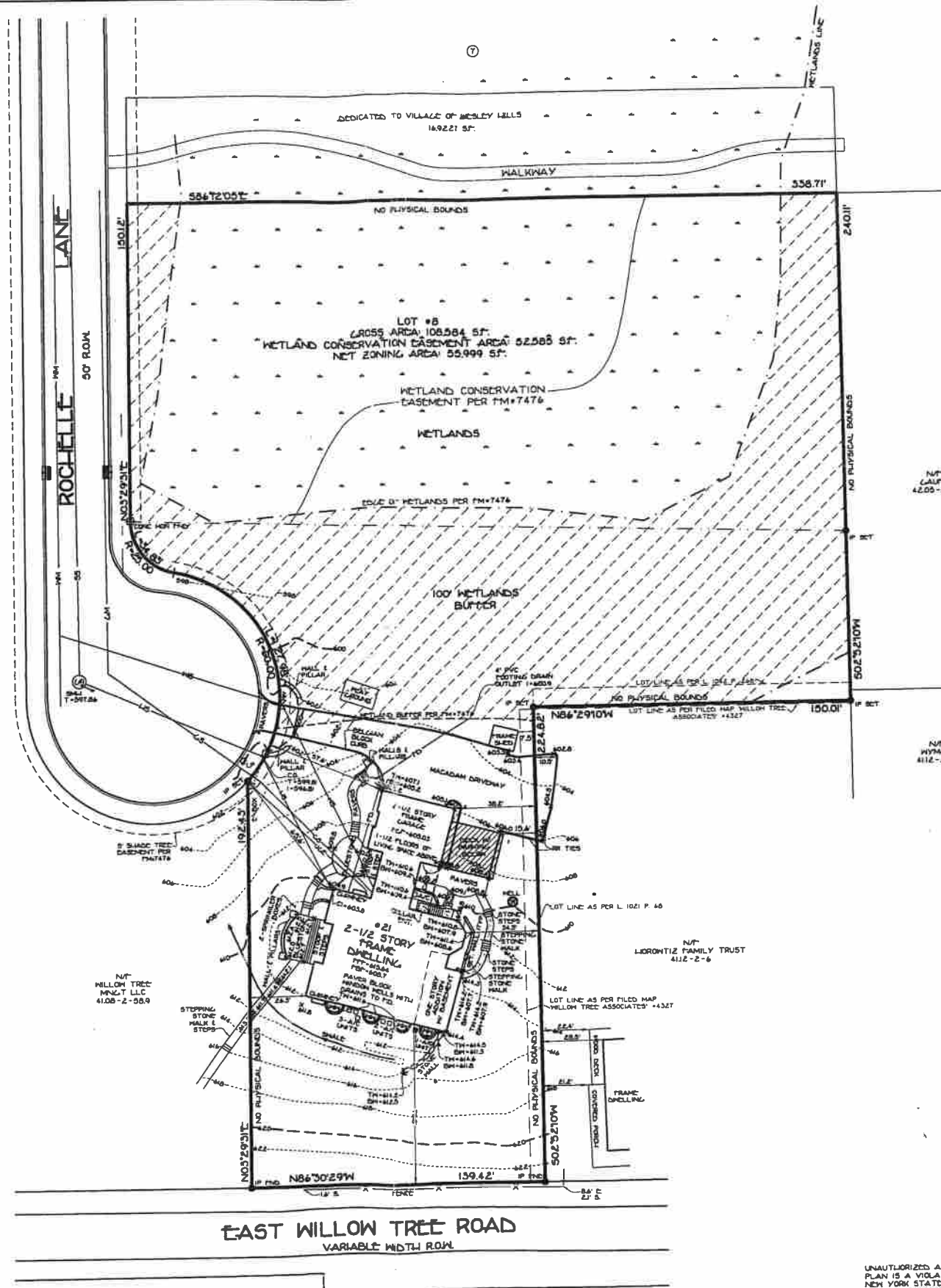

John Layne
Building Inspector

cc: Zoning Board of Appeals

TAX LOT SECTION# 41.08-2-08.8

REFERENCE:

BEING LOT 8 ON A MAP ENTITLED "FINAL SUBDIVISION PLAT OF TIMBERLINE ESTATES, VILLAGE OF WESLEY HILLS, ROCKLAND COUNTY, NEW YORK" PREPARED BY LEONARD JACKSON ASSOCIATES ON FEBRUARY 6, 2001, FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON DECEMBER 3, 2001 AS MAP #7476, BOOK 122, PAGE 8.



RECEIVED
JAN 28 2026
VILLAGE OF WESLEY HILLS

AS-BUILT SURVEY
OF
21 ROCHELLE LANE
LOCATED IN
VILLAGE OF WESLEY HILLS
TOWN OF RAMAPO
ROCKLAND COUNTY, NEW YORK

BULK TABLE

ZONE	MINIMUM LOT AREA	LOT FRONTAL AREA	LOT WIDTH	MINIMUM EFFECTIVE SQUARE	FRONT YARD	SIDE YARD	TOTAL SIDE YARD	REAR YARD	MAXIMUM BUILDING COVERAGE	MAXIMUM IMPERVIOUS SURFACE RATIO	MAXIMUM FRONT YARD IMPERVIOUS SURFACE RATIO	MAXIMUM BUILDING LENGTH	MAXIMUM EXPOSED ROOF PITCH
R-55	35,000	100	125	125	50	25	60	50	0.10	0.25	0.20	2 1/2 STY.	40°
EXISTING	55,999	312.93	390	137	57.6	15.6	41.9	75.8	0.10	0.20	0.07	<2 1/2 STY.	<40°
PROVIDED	55,999	312.93	390	137	57.6	15.6	41.9	71.6	0.11	0.21	0.07	<2 1/2 STY.	<40°

*EXISTING CONDITION

ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING, OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.



UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209(b) OF THE NEW YORK STATE ENGINEERING LAW. COPIES OF THIS MAP NOT HAVING THE SEAL OF THE SURVEYOR OR ENGINEER SHALL BE CONSIDERED UNLAWFUL.

CERTIFICATION: I AM NOT RESPONSIBLE TO ANY OTHER PERSONS OR ENTITIES FOR THE INFORMATION CONTAINED HEREIN. I AM NOT PROVIDING ANY GUARANTEE OF ACCURACY OR COMPLETENESS FOR ANY PURPOSE OTHER THAN THAT OF A PROFESSIONAL SURVEYOR OR ENGINEER.

GEORGE D. LANGBERG, PLS #050911

REV. 4-24-25-ADD BULK TABLE

SPARACO & YOUNGBLOOD, PLLC
CIVIL ENGINEERING & LAND SURVEYING
SITE PLANNING

18 NORTH MAIN STREET
P.O. BOX 818
LAWSONMAN, N.Y. 10924
TEL: (845) 782-5943
FAX: (845) 782-5901

YB-4485
FEB. 10. 2025
1"=50'

PART I

Name of Municipality VILLAGE OF WESLEY HILLS Date _____

Please check all that apply:

<input type="checkbox"/> Planning Board	<input type="checkbox"/> Architectural Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Municipal Board	
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Pre-preliminary/Sketch
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Zoning Code Amendment	<input type="checkbox"/> Zone Change
<input checked="" type="checkbox"/> Variance * (Fill out Part II of this form.)	

Project Name: 21 Timber Trail Deck Removal and Enclosed space

Applicant: Daw and Freda Hook Phone # 201 951 2118

Address 21 Timber Trail Suffern NY 10901
Street Name & Number (Post Office) State Zip code

Property Owner: Daw and Freda Hook Phone # 201 951 2118

Address 21 Timber trail Suffern NY 10901
Street Name & Number (Post Office) State Zip code

Engineer/Architect/Surveyor: Robert Murphy Phone # 201 207 5337

Address 13 Bradrick Lane West Milford NY 07480
Street Name & Number (Post Office) State Zip code

Attorney: None Phone # _____

Address _____
Street Name & Number (Post Office) State Zip code

Contact Person: Freda Hook Phone # 201 951 2118

Address 21 Timber Trail Suffern NY 10901
Street Name & Number (Post Office) State Zip code

Tax Map Designation:

Section 32-14 Block 1 Lot(s) 13
Section _____ Block _____ Lot(s) _____

Location: On the North side of timber trail,
790 feet (from) of Miller road.

Acreage of Parcel 2.163 **Zoning District** R-50
School District E Remapo **Postal District** 10901

Project Description: *(If additional space required, please attach a narrative summary.)*

Taking down an existing rotted deck and
replacing in the space a covered structure.

If subdivision:

- 1) Is any variance from the subdivision regulations required? No
- 2) Is any open space being offered? If so, what amount?

Project History: Has this project ever been reviewed before? No

If so, list case number, name, date, and the board you appeared before.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

"Permission is hereby granted to the Village of Wesley Hills, its agents, servants and employees to enter upon the above described property solely for the purposes incidental to the within application at reasonable times upon reasonable notice to the owner or tenant in possession."

Affidavit of Ownership/Owner's Consent

State of New York)
County of Rockland) SS.:
Town/Village of Westley Hills

I, Freddie and Dan Hank being duly sworn, hereby
depose and say that I reside at: 21 Timber Trail,

in the county of Suffern in the state of New York.

I am the * _____ owner in fee simple of premises located at:
21 Timber Trail, Suffern, NY 10901

described in a certain deed of said premises recorded in the Rockland County Clerk's
Office in Liber _____ of conveyances, page _____.

Said premises have been in my/its possession since 10 2024. Said premises are
also known and designated on the Town of Westley Hill Tax Map as:
section 32.14 block 1 lot(s) 13

I hereby authorize the within application on my behalf, and that the statements of fact
contained in said application are true, and agree to be bound by the determination of the
board.

Owner [Signature]
Mailing Address 21 Timber Trail
Suffern, NY 10901

SWORN to before this
24th day of DEC, 2025

[Signature]
AARON WORCH
Notary Public, State Of New York
Notary No. 01W66069455
Qualified In Queens County Rockland
Commission Expires February 04, 2026

[Signature]
CAMILLA BRIDGES ROYNEY
NOTARY PUBLIC STATE OF NEW YORK
RESIDING IN ROCKLAND COUNTY
NO. 01W65037145
MY COMMISSION IS DATED 02/22/2025

* If owner is a corporation, fill in the office held by deponent and name of corporation,
and provide a list of all directors, officers and stockholders owning more than 5% of
any class of stock.

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 K, L, M, AND N.

- State or County Road
- Long Path
- Municipal Boundary
- State or County Park
- County Stream
- County Facility

List name(s) of facility checked above. Wilber road, Route 202, TOR
Rockland County Sewer Pump

Applicant's Signature and Certification

State of New York)
County of Rockland) SS.:
Town/Village of Wesley Hills)

I, Freda Hook & Dor Hook, hereby depose and say that all the above statements contained in the papers submitted herewith are true.

Dor
Mailing Address 21 Timber Trail
Suffern, NY 10901

SWORN to before this
24th day of DEC, 2025

Aaron Worch

AARON WORCH
Notary Public in and for the State of New York
No. 01WO6069455
Qualified In ~~Queens~~ Rockland County
Commission Expires February 04, 2026

ROCKLAND COUNTY
CLERK OF COUNTY
100 STATE STREET
ROCKLAND, NY 10986
914.261.1000
28

Affidavit of Ownership/Owner's Consent

State of New York)
County of Rockland) SS.:
Town/Village of Westley Hills

I, Freda and Dan Hank being duly sworn, hereby
depose and say that I reside at: 21 Timber Trail,

in the county of Suffern in the state of New York.

I am the * _____ owner in fee simple of premises located at:
21 Timber Trail, Suffern, NY 10901

described in a certain deed of said premises recorded in the Rockland County Clerk's
Office in Liber _____ of conveyances, page _____.

Said premises have been in my/its possession since 10 2024. Said premises are
also known and designated on the Town of Westley Hill Tax Map as:
section 32.14 block 1 lot(s) 13

I hereby authorize the within application on my behalf, and that the statements of fact
contained in said application are true, and agree to be bound by the determination of the
board.

Owner [Signature]
Mailing Address 21 Timber Trail
Suffern, NY 10901

SWORN to before this
24th day of DEC, 2025

[Signature]
AARON WORCH
Notary Public, State Of New York
Notary No. 01W06069455
Qualified In Queens County Rockland
Commission Expires February 04, 2026

[Signature]
CAROL E. BROWN
NOTARY PUBLIC STATE OF NEW YORK
RESIDING IN ROCKLAND COUNTY
NO. 01S0087245
BY COMMISSIONER'S FIELD OFFICE [Signature]

* If owner is a corporation, fill in the office held by deponent and name of corporation,
and provide a list of all directors, officers and stockholders owning more than 5% of
any class of stock.

Affidavit Pursuant to Section 809 of the General Municipal Law

State of New York)
County of Rockland) SS.:
Town/Village of Wesley Hills)

I, Freda and Dou Hook, being duly sworn, hereby depose and say that all the following statements and the statements contained in the papers submitted herewith are true and that the nature and extent of any interests set forth are disclosed to the extent that they are known to the applicant.

1. Print or type full name and post office address
Freda and Dou Hook 21 Timber Trail, Sufem, NY 10970

certifies that he is owner or agent of all that certain lot, piece or parcel of land and/or building described in this application **and if not the owner that he has been duly and properly authorized to make this application and to assume responsibility for the owner** in connection with this application for the relief below set forth:

2. To the Zoning Board of the Town/Village of
(Board, Commission or Agency)
Wesley Hills, Rockland County, New York:

Application, petition or request is hereby submitted for:

- Variance or modification from the requirement of Section _____;
- Special permit per the requirements of Section _____;
- Review and approval of proposed subdivision plat;
- Exemption from a plat or official map;
- An order to issue a certificate, permit or license;
- An amendment to the Zoning Ordinance or Official Map or change thereof;
- Other (explain) _____;

To permit construction, maintenance and use of decaying deck to an eroded
space.

3. Premises affected are in a R-50 zone and from the town of
Wesley Hills tax map, the property is know as Section 32.14,
Block, 1, Lot(s) 13.

4. There is no state officer, Rockland County Officer or employee or town/village officer or employee nor his or her spouse, brother, sister, parent, child or grandchild, or a spouse of any of these relatives who is the applicant or who has an interest in the person, partnership or association making this application, petition or request, or is an officer, director, partner or employee of the applicant, or that such officer or employee, if this applicant is a corporation, legally or beneficially owns or controls any stock of the applicant in excess of 5% of the total of the corporation if its stock is listed on the New York or American Stock Exchanges; or is a member or partner of the applicant, if the applicant is an association or a partnership; nor that such town/village officer or employee nor any member of his family in any of the foregoing classes is a party to an agreement with the applicant, express or implied, whereby such officer or employee may receive any payment or other benefit, whether or not for service rendered, which is dependent or contingent upon the favorable approval of this application, petition or request.

5. That to the extent that the same is known to your applicant, and to the owner of the subject premises **there is disclosed herewith** the interest of the following officer or employee of the State of New York or the County of Rockland or of the Town/Village of Wesley Hills in the petition, request or application or in the property or subject matter to which it relates:

(if none, so state)

- a. Name and address of officer or employee _____
- b. Nature of interest _____
- c. If stockholder, number of shares _____
- d. If officer or partner, nature of office and name of partnership _____
- e. If a spouse or brother, sister, parent, child, grandchild or the spouse of any of these blood relatives of such state, county or town/village officer or employee, state name and address of such relative and nature of relationship to officer and employee and nature and extent of office, interest or participation or association having an interest in such ownership or in any business entity sharing in such ownership. _____

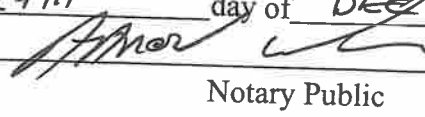
f. In the event of corporate ownership: A list of all directors, officers and stockholders of each corporation owning more than five (5%) percent of any class of stock, must be attached, if any of these are officers or employees of the State of New York, or of the County of Rockland, or of the Town/Village of _____.

I, _____, do hereby depose and say that all the above statements and statements contained in the papers submitted herewith are true, knowing that a person who knowingly and intentionally violates this section is guilty of a misdemeanor.

Mailing Address _____

SWORN to before this

24th day of Dec, 2025


Notary Public

AARON WORCH
Notary Public, State Of New York
No. 01WO6069455
Qualified In Queens County Rockland
Commission Expires February 04, 2026

VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

AFFIDAVIT OF OWNERSHIP

STATE OF NEW YORK }
COUNTY OF ROCKLAND } SS:
VILLAGE OF WESLEY HILLS }

Freda and Dou Hood being duly sworn, deposes and
says that he/she resides at 21 Timber Trail

in the County of Rockland, State of New York; that he/she is the owner in
fee of all that certain lot, piece or parcel of land situated, lying and being
in the Village of Wesley Hills, and designated on the Town of Ramapo
Map as Section No. 22.14 Lot No. 13 and that he/she hereby
authorizes the attached application to be submitted in his/her behalf and
that the statements of fact contained in said application are true.

The applicant is the (owner) (contract vendee) of the said property.

Owner: Fred and Dou Hood

Address: 21 Timber Trail

Suffern, NY 10901



CHARLES BRIDGEMAN
NOTARY PUBLIC STATE OF NEW YORK
RESIDING IN ROCKLAND COUNTY
NO. 01WO6069455
MY COMMISSION EXPIRES FEBRUARY 04, 2026 28

Sworn to before me this

24 day of DEC 20 25



Notary Public AARON WORCH
Notary Public, State Of New York
No. 01WO6069455
Qualified In ~~Queens~~ Rockland County
Commission Expires February 04, 2026

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THE APPLICANT'S ENVELOPES MUST COINCIDE WITH THE LIST. THE CLERK'S RESPONSIBILITY IS LIMITED TO CHECKING NAMES ON THE ENVELOPES AGAINST THE AFOREMENTIONED AFFIDAVIT BEFORE MAILING THEM.

RECEIPT OF THIS DISCLAIMER IS ACKNOWLEDGED

Freda and Don Hood
APPLICANT

12/21/2005
DATED

PART II

Application before the Zoning Board of Appeals

Application, petition or request is hereby submitted for:

- Variance from the requirement of Section 32.14 _____;
- Special permit per the requirements of Section _____;
- Review of an administrative decision of the Building Inspector;
- An order to issue a Certificate of Occupancy;
- An order to issue a Building Permit;
- An interpretation of the Zoning Ordinance or Map;
- Certification of an existing non-conforming structure or use;
- Other (*explain*) _____;

To permit construction, maintenance and use of an existing decaying deck
to an enclosed structure

Short Environmental Assessment Form Part 1 - Project Information


Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Removal of existing rotted deck to an enclosed structure			
Project Location (describe, and attach a location map): Private house - 21 Timber Trail, Suffern, NY 10901			
Brief Description of Proposed Action: replacing an existing rotted deck to an enclosed structure in its place.			
Name of Applicant or Sponsor: Freda and Don Hook		Telephone: 201 951 2118	
		E-Mail: Hookstep15@juno.com	
Address: 21 Timber Trail			
City/PO: Suffern		State: NY	Zip Code: 10901
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		2.15 acres	
b. Total acreage to be physically disturbed?		0.02 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		2.15 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Freda and Dev Hark</u> Date: <u>12/29/2025</u>		
Signature: <u></u> Title: <u>MR + MRS</u>		

PRINT FORM

Short Environmental Assessment Form

Part 1 - Project Information

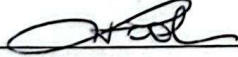
Instructions for Completing

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Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Removal of existing rotted deck to an enclosed structure			
Project Location (describe, and attach a location map): Private house - 21 Timber Trail, Suffern, NY 10901			
Brief Description of Proposed Action: replacing an existing rotted deck to an enclosed structure in its place.			
Name of Applicant or Sponsor: Freda and Don Hook		Telephone: 201 951 2118	
Address: 21 Timber Trail		E-Mail: Hookster15@juno.com	
City/PO: Suffern		State: NY	Zip Code: 10901
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? <u>2.15</u> acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? <u>2.15</u> acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
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<input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, <ul style="list-style-type: none"> a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <hr/> <hr/>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: <hr/> <hr/>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: <hr/> <hr/>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: <hr/> <hr/>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Freda and Don Hook</u> Date: <u>12/29/2025</u>		
Signature: <u></u> Title: <u>MR + MRS</u>		

PRINT FORM

11/32.14-1-5
ROCKLAND CO SEWER DIST #1
4 RT 340
ORANGEBURG, NY 10962

11/32.14-1-6
ORANGE AND ROCKLAND
UTILITIES INC
ONE BLUE HILL PLAZA
PEARL RIVER, NY 10965-9006

11/32.18-2-4
80 WILDER LLC
925 PENINSULA BLVD
WOODMERE, NY 11598

11/32.18-2-42
CYNAMON JACOB AVIVA
LIVING TRUST
12 TIMBER TR
SUFFERN, NY 10901

11/32.18-2-9
NOROWITZ AVROHOM & TRACIE
111 BEACH 12TH STREET
FAR ROCKAWAY, NY 11691

11/32.18-2-40
BROWN AVROHOM J &
HADASSAH R
12 ROLLINGWOOD DRIVE
NEW CITY, NY 10956

11/32.18-2-16
FISHMAN MOSHE & DOROTHY
26 ROBLE RD
SUFFERN, NY 10901

11/32.18-2-41
KUSHNER MARC & PENINA
14 TIMBER TRAIL
SUFFERN, NY 10901

11/32.18-2-10
FASTEN CHAVA
4113 14TH AVE
BROOKLYN, NY 11219

11/32.18-2-3
STATE OF NEW YORK
ROCKLAND COUNTY TREASURER
50 SANATORIUM ROAD
BUILDING A - 8TH FLOOR
POMONA, NY 10970

11/32.18-1-22
JAFFE VIOLETTA & JONATHAN
81 WILDER RD
SUFFERN, NY 10901

11/32.18-1-21
KIECK JUDITH &
IRIZARRY SAMUEL
2 WILDWOOD DR
SUFFERN, NY 10901

11/32.18-2-2
MOSBACHER CHAIM & SHIRA
84 WILDER RD
SUFFERN, NY 10901

11/32.19-2-46
POWDER HORN DEVELOPMENT
LLC
SUITE 339
46 MAIN ST
MONSEY, NY 10952

11/32.18-2-15
PESSIN LEGACY TRUST
24 TIMBER TRL
SUFFERN, NY 10901

11/32.14-1-3.1
JACOB DINA
83 WILDER RD
SUFFERN, NY 10901

11/32.18-2-14
SCHWARTZ MARTIN & ESTHER
12 ZABRISKIE TERR
MONSEY, NY 10952

11/32.18-2-13
VEST LORENA
20 TIMBER TRL
SUFFERN, NY 10901

11/32.18-2-12
MADAR JOSEPH R
IRREVOCABLE TRUST
18 TIMBER TRAIL
SUFFERN, NY 10901

11/32.18-2-11
PITT CHARLOTTE
FLOYD
13 TIMBER TRAIL
SUFFERN, NY 10901

11/32.18-2-1
CARTER KENNETH & CHANA
15 TIMBER TRAIL
SUFFERN, NY 10901

11/32.14-1-3.2
WESTREICH SAMUEL ZEV
141-25 70TH AVENUE
FLUSHING, NY 11367

11/32.14-1-19.1
MC CALLA STANLEY &
JENNIFER
31 TIMBER TRAIL
SUFFERN, NY 10901

11/32.14-1-16
LEB ESTHER
19 TIMBER TRAIL
WESLEY HILLS, NY 10901

11/32.14-1-4.2
SCHWAB MORDECHAI & BASYA
94 WILDER ROAD
SUFFERN, NY 10901

11/32.14-1-3.5
SONAS HOLDINGS LLC
12 PARKER BLVD
MONSEY, NY 10952

11/32.14-1-17
BALL STANLEY G &
CHARLOTTE Y
23 TIMBER TRAIL
SUFFERN, NY 10901

11/32.19-2-47
POWDER HORN DEVELOPMENT
LLC
46 MAIN STREET #339
MONSEY, NY 10952

11/32.19-2-48
WEINBERGER STUART &
HADASSAH
38 POWDER HORN LN
SUFFERN, NY 10901

11/32.14-1-19.2
LEVIN JOSEPH & WOLD ANNA
29 TIMBER TRAIL
SUFFERN, NY 10901

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DEC 26 2011

VILLAGE OF WEST

11/32.14-1-4.1
TOP OF THE MOUNTAIN LLC
96 WILDER RD
SUFFERN, NY 10901

11/32.14-1-3.3
SAMET ISRAEL &
WEISS MALKA
6 BELMAR CT
WESLEY HILLS, NY 10901

11/32.14-1-3.4
APTER SHRAGA &
DAVIDOVITZ SARA
4 BELMAR CT
WESLEY HILLS, NY 10901

89/32.14-2-5
LUDMIR CHANOCH &
CHEDVA
38 SCENIC DR
SUFFERN, NY 10901

11/32.14-1-13
HOOK DOV & FRED A
21 TIMBER TRAIL
WESLEY HILLS, NY 10901

11/32.14-1-15
WORCH RACHAEL
8 PROSPERITY DR
SUFFERN, NY 10901

89/32.14-2-4
BODIN LENA
40 SCENIC DR
SUFFERN, NY 10901

11/32.14-1-14
BLOCKER EDWARD & MARILYN
J
6 PROSPERITY DR
SUFFERN, NY 10901

11/32.14-1-12
TANCHOCO SILVINO D &
SILVINO B & ARNEL N
4 PROSPERITY DR
SUFFERN, NY 10901

11/32.14-1-11
ROTH ALAN & SUSAN
2 PROSPERITY DR
SUFFERN, NY 10901

11/32.14-1-9
BRECHER ARYEH & STEPHANIE
3 PROSPERITY DR
SUFFERN, NY 10901

11/32.14-1-7
KATZNELSON FAMILY
REVOCABLE TRUST
7 PROSPERITY DR
SUFFERN, NY 10901

11/32.14-1-8
RIBULLA FAMILY REVOCABLE
TRUST
5 PROSPERITY DR
SUFFERN, NY 10901

11/32.14-1-10
SCHREIBER PINCHAS &
BASHEVA LEAH
1 PROSPERITY DRIVE
SUFFERN, NY 10901

89/32.14-2-1
HAV 1092 LLC
7 DENMARK LA
JACKSON, NJ 08527

89/32.14-2-3
PF RE HOLDINGS LLC
C/O DEUTSCH JOSEPH
155 N MAIN STREET
NEW CITY, NY 10956

89/32.10-1-4
RAMAPO TOWN OF
237 RT 59
SUFFERN, NY 10901

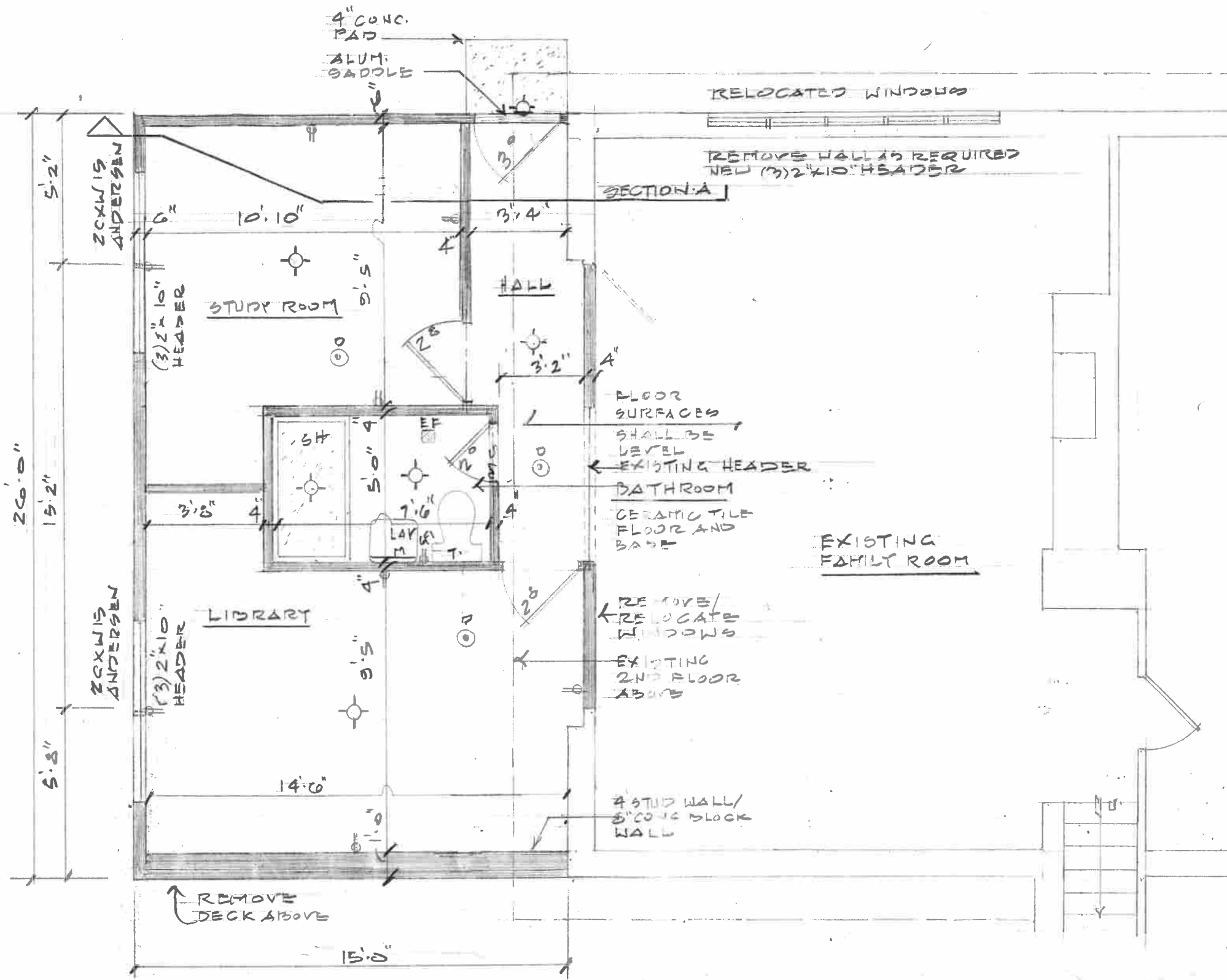
11/32.14-1-18
DAVIEDS THOMAS & MAXINE
25 TIMBER TRAIL
SUFFERN, NY 10901

11/32.14-1-18.1
PRESCOTT BLAYNE S
27 TIMBER TRAIL
SUFFERN, NY 10901

RECEIVED

DEC 26 2025

VILLAGE OF WESLEY HILLS



- LEGEND**
- EXISTING WALL
 - NEW WALL
 - DEMOLITION
 - CEILING LIGHT
 - WALL SCONCE
 - ELECTRIC OUTLET
GFI-GROUND FAULT INTERUPT
 - CEILING EXH. FAN
 - SMOKE/HEAT DETECTOR

RECEIVED
JAN 21 2026
VILLAGE OF WESLEY HILLS

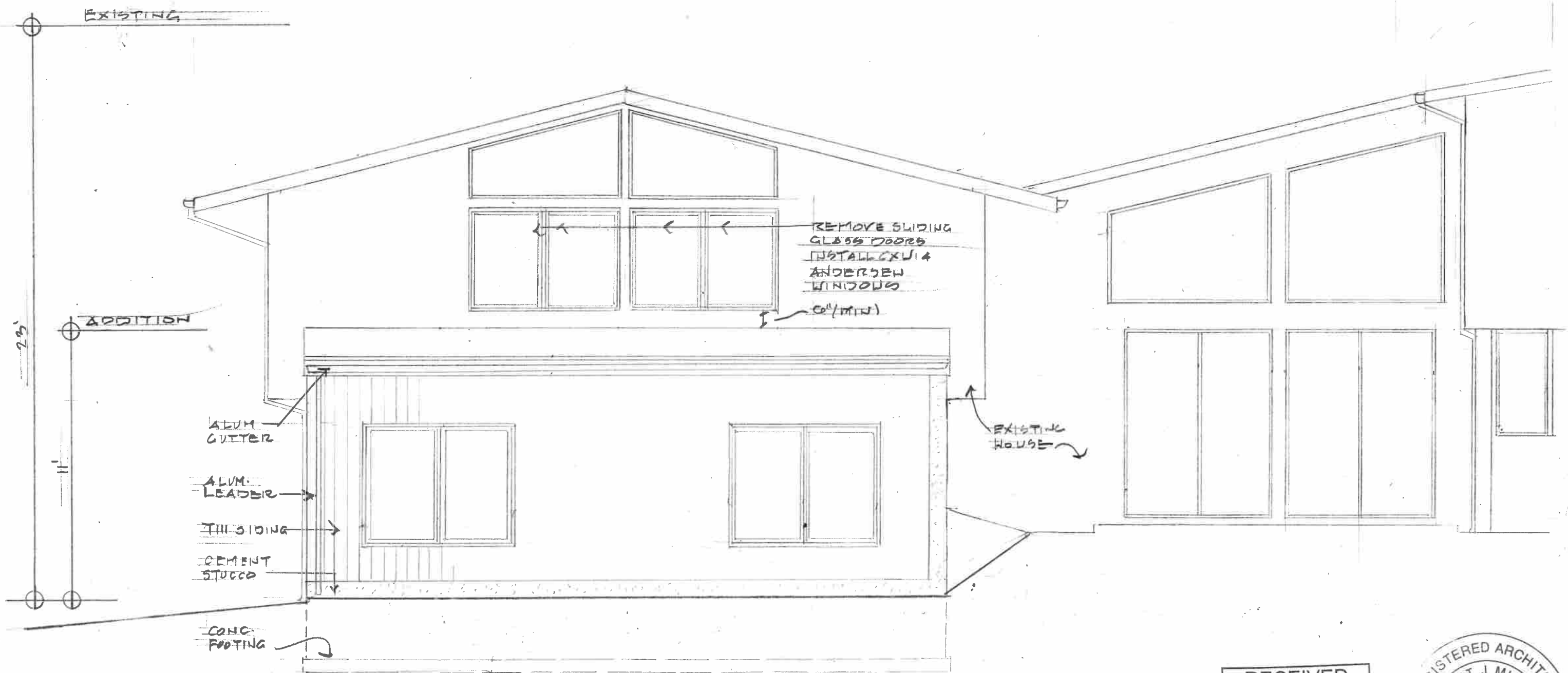


FOUNDATION DETAIL 1"=1'

PARTIAL FIRST FLOOR PLAN 1/4"=1'

NO.	REVISION	DATE
1	BLOG DEPT. OBJECTIONS	1-13-26

PROJECT PROPOSED REAR ADDITION TO THE HOOK RESIDENCE LOCATED AT 21 TIMBER TRAIL, SUFFERN, NEW YORK		
ROBERT MURPHY ARCHITECT PLLC	DRAWN RJM	SHEET NO.
13 BRADRICK LANE, WEST MILFORD, NJ 07480 NEW YORK LIC. # A1 23097 C: (201) 207 5537	DATE 12-3-25	A1
DWG TITLE FLOOR PLAN, LEGEND	SCALE AS NOTED	
1 OF 7		

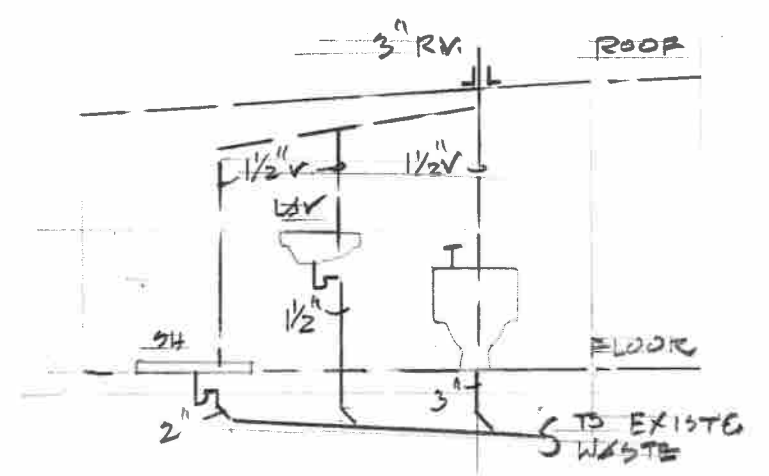
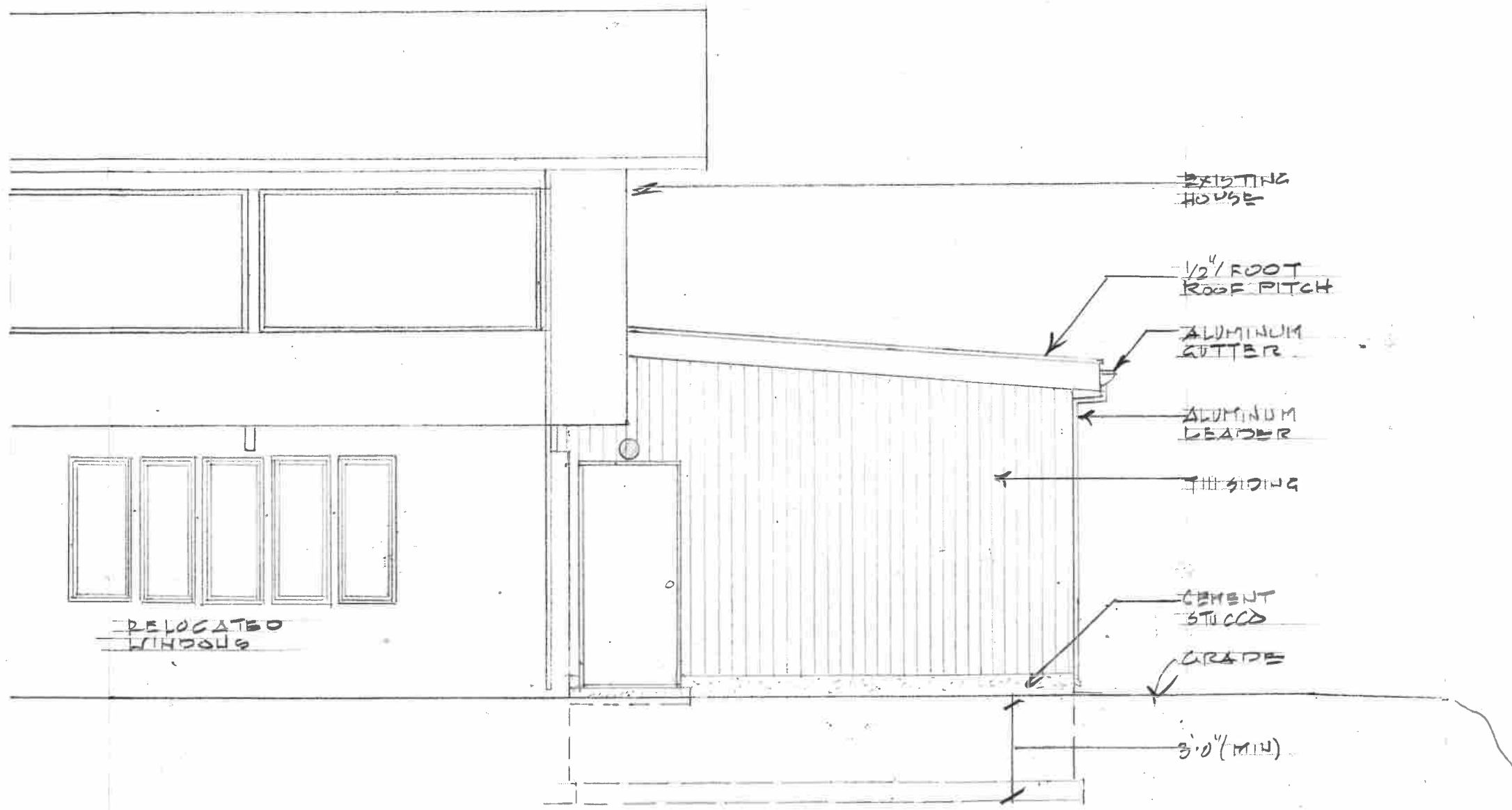


REAR ELEVATION 1/4" = 1'

RECEIVED
 JAN 21 2026
 VILLAGE OF WESLEY HILLS



PROJECT PROPOSED REAR ADDITION TO THE HOOK RESIDENCE LOCATED AT 21 TIMBER TRAIL, SUFFERN, NEW YORK		
ROBERT MURPHY ARCHITECT PLLC	DRAWN RM	SHEET No
13 BRADRICK LANE, WEST MILFORD, NJ 07480 NEW YORK LIC. # A1 23097 C: (201) 207 5537	DATE 12-8-25	A2
DWG TITLE REAR ELEVATION	SCALE AS NOTED	
	2 OF 7	



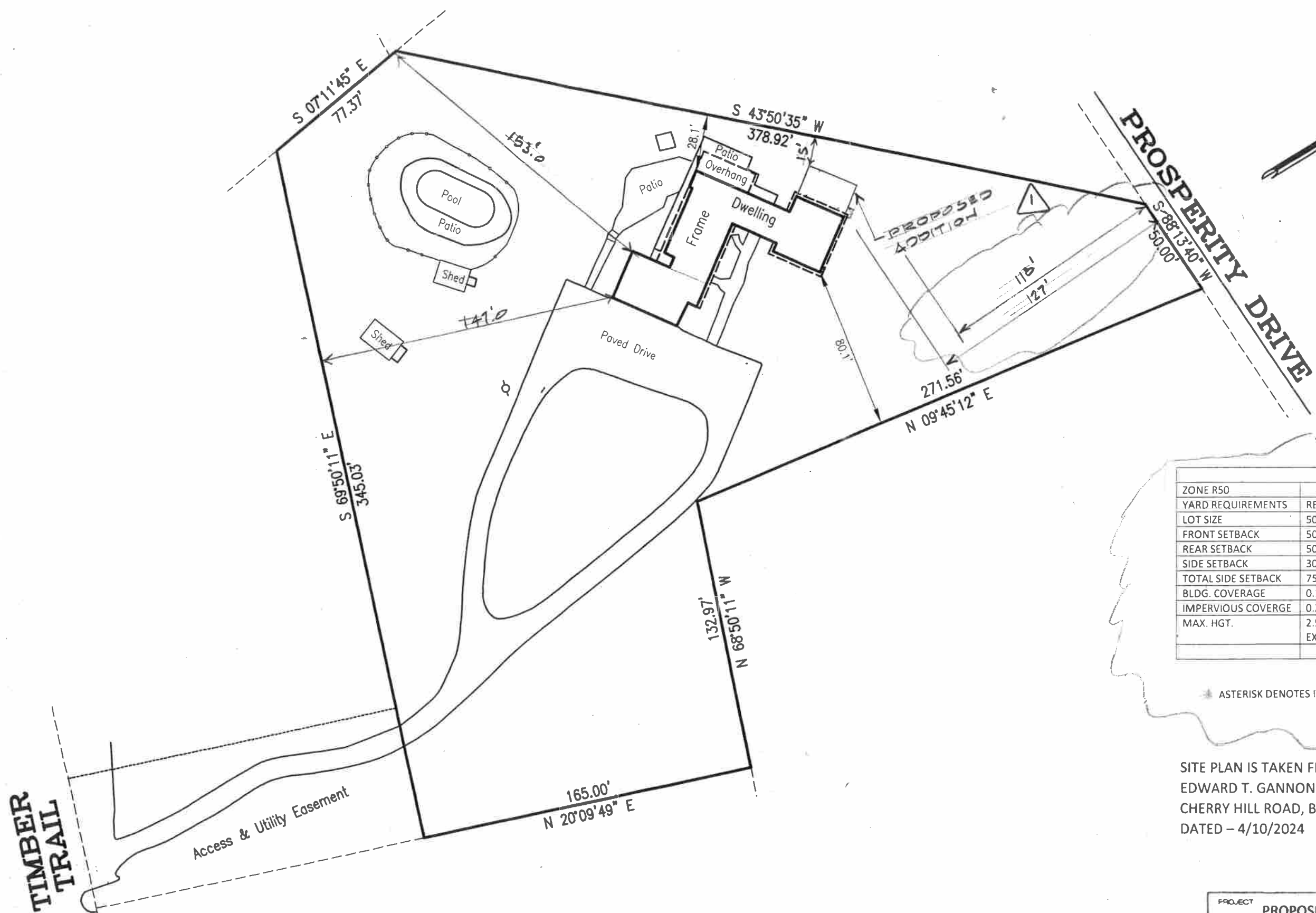
PLUMBING RISER SCHEMATIC NTS

RECEIVED
 JAN 21 2026
 VILLAGE OF WESLEY HILLS



RIGHT SIDE ELEVATION 1/4" = 1'

PROJECT PROPOSED REAR ADDITION TO THE HOOK RESIDENCE LOCATED AT 21 TIMBER TRAIL, SUFFERN, NEW YORK		
ROBERT MURPHY ARCHITECT PLLC 13 BRADRICK LANE, WEST MILFORD, NJ 07480 NEW YORK LIC. # A1 23097 C: (201) 207 5537	DRAWN RM DATE 12-8-25 SCALE AS NOTED	SHEET No A3 3 OF 7
DWG TITLE SIDE ELEVATION		



RECEIVED
 JAN 21 2026
 VILLAGE OF WESLEY HILLS

ZONE R50	ZONING INFORMATION		
	REQUIRED	EXISTING	PROPOSED
YARD REQUIREMENTS		ONE FAMILY RESIDENTIAL	
LOT SIZE	50,000 SF	92,210 SF	NO CHANGE
FRONT SETBACK	50 FT	17 FT	118 FT
REAR SETBACK	50 FT	147 FT	NO CHANGE
SIDE SETBACK	30 FT	28.0 FT	15 FT *
TOTAL SIDE SETBACK	75 FT	108.2 FT	95.1 FT
BLDG. COVERAGE	0.10	0.035	0.040
IMPERVIOUS COVERGE	0.20	0.133	0.138
MAX. HGT.	2.5 STORY / 25 FT EXPOSED HGT. 40 FT	2 STORY / 23 FT	1 STORY / 11 FT

* ASTERISK DENOTES ITEMS REQUIRING A VARIANCE



SITE PLAN IS TAKEN FROM A SURVEY BY:
 EDWARD T. GANNON PLS
 CHERRY HILL ROAD, BLOOMING GROVE, NY
 DATED - 4/10/2024

SITE PLAN 1" = 50'

PROJECT PROPOSED REAR ADDITION TO THE HOOK RESIDENCE LOCATED AT 21 TIMBER TRAIL, SUFFERN, NEW YORK		
ROBERT MURPHY ARCHITECT PLLC	DRAWN: RM	SHEET NO.
13 BRADRIK LANE, WEST MILFORD, NJ 07480 NEW YORK LIC. # A1 23097 C: (201) 207 5537	DATE 12-8-25	16
DWG TITLE SITE PLAN, ZONING	SCALE AS NOTED	
	6 OF 7	

GENERAL NOTES (AS APPLICABLE)

1. ALL CONTRACTORS AND SUBCONTRACTORS ARE RESPONSIBLE FOR ADHERING TO THE REQUIREMENTS OF THESE DOCUMENTS. FAILURE TO DO SO SHALL BE DEEMED TO BE A DEVIATION FROM THEIR REQUIREMENTS AND RESPONSIBILITIES.
2. ARCHITECTURAL DETAILS IN THESE DOCUMENTS ARE INTENDED TO SPECIFY STRUCTURAL DESIGN, DETAILS, FINISHING, MECHANICAL AND/OR ELECTRICAL DESIGN EXPLICITLY SHOWN.
3. CONTRACTORS SHALL VISIT THE SITE PRIOR TO COMMENCEMENT OF WORK AND BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS AND ITEMS THAT MAY AFFECT THE WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT OF ANY DEVIATIONS FROM THE DRAWINGS BEFORE PROCEEDING WITH THE WORK. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR CONSTRUCTION DEVIATIONS FROM THESE DOCUMENTS UNLESS AUTHORIZED IN WRITING BY THE ARCHITECT IN THESE DOCUMENTS.
4. THE FOLLOWING, UNLESS PROVIDED FOR IN THESE DRAWINGS, ARE TO BE FURNISHED BY THE OWNER (IF APPLICABLE):
 - A) SITE ENGINEERING INFORMATION, SUCH AS, BUT NOT LIMITED TO: SOIL BEARING CAPACITY, SITE GRADING, DRAINAGE UTILITIES, BUILDING LOCATION, EXISTING CONDITIONS.
 - B) INTERIOR MATERIALS, FINISHES, DIMENSIONS, HARDWARE AND CUSTOMER TASTE.
 - C) HEATING, PLUMBING, ELECTRICAL AND SPRINKLER PLANS (UNLESS SPECIFICALLY AGREED TO BE PROVIDED).
5. ALL CONSTRUCTION MEANS AND METHODS SHALL CONFORM TO APPLICABLE BUILDING CODES WHERE LOCAL CODES CONFLICT WITH THESE DOCUMENTS, THE MORE STRINGENT TAKES PRECEDENCE. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST DATE ADOPTED STANDARDS OF THESE REGULATIONS.

2010 EXISTING BUILDING CODE OF NY STATE	2017 NATIONAL ELECTRIC CODE
2010 FIRE CODE OF NY STATE	2010 FUEL GAS CODE OF NY STATE
2010 PLUMBING CODE OF NY STATE	2010 ENERGY CONSERVATION CODE OF NY STATE
2010 MECHANICAL CODE OF NY STATE	2010 BARRIER FREE (HANDICAP) SUBCODE A161.4.1.1

6. ALL OPENINGS IN WALLS, FLOORS, ROOF, ETC. SHALL BE LOCATED AND SIZED AS PER MECHANICAL AND ELECTRICAL REQUIREMENTS, EVEN IF NOT SHOWN ON THE STRUCTURAL DRAWINGS, INSTALLED AND TESTED TO BE STRUCTURALLY SOUND.
7. ALL CONTRACTORS AND SUBCONTRACTORS ON THIS PROJECT SHALL BE RESPONSIBLE FOR THE PROPER PERFORMANCE OF THEIR WORK, COORDINATION WITH OTHER TRADES, METHODS AND SAFETY, AND SECURITY ON THE JOB SITE. ARCHITECTURAL OFFICE AND ITS AGENTS AND EMPLOYEES ARE NOT RESPONSIBLE OR LIABLE FOR THE ABOVE AND SHALL BE HELD HARMLESS AND INDemnIFIED BY ALL CONTRACTORS AND SUBCONTRACTORS FROM ANY AND ALL CLAIMS, LOSSES, SUITS AND LEGAL ACTION WHATSOEVER ARISING FROM THEIR PERFORMANCE ON THIS PROJECT OR THE CONDITIONS OF THIS PROJECT.
8. ALL PERMITS, INSPECTIONS, APPROVALS, ETC. SHALL BE APPLIED FOR AND PAID FOR BY THE GENERAL CONTRACTOR, WHO IS ALSO RESPONSIBLE FOR THEIR COORDINATION AND SCHEDULING.
9. ALL MATERIALS, WORK AND EXISTING ELEMENTS SHALL BE PROTECTED AT ALL TIMES. THE CONTRACTOR SHALL FOLLOW ALL ACCEPTABLE METHODS OF SAFETY PRACTICE AND PROVIDE ALL FENCING, BARRICADES, ETC. AS REQUIRED TO PROTECT LIFE AND PROPERTY. THE GENERAL CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ANY DAMAGES TO THE PREMISES OR ADJACENT AREAS CAUSED BY HIS OPERATION.
10. DO NOT CUT STRUCTURAL MEMBERS WITHOUT WRITTEN CONSENT BY THE ARCHITECT OR STRUCTURAL ENGINEER. THE CONTRACTOR IS RESPONSIBLE TO PROPERLY REINFORCE ALL CUT MEMBERS TO THE FULL SATISFACTION OF THE ARCHITECT, STRUCTURAL ENGINEER OR GOVERNING AGENCY HAVING JURISDICTION.
11. ALL PRODUCTS USED SHALL BE NEW WITH FULL APPLICABLE WARRANTIES. CONTRACTOR IS TO PROVIDE OWNER WITH APPLICABLE WARRANTY INFORMATION AND USE INFORMATION.
12. DESIGN LIVE LOADS FOR USES INDICATED:

RESIDENTIAL:	40 PSF
RESIDENTIAL ATTICS:	20 PSF
DECKS:	40 PSF
13. THE OWNER RESERVES THE RIGHT TO MAKE CHANGES TO THE SCOPE OF THE PROJECT. THE CONTRACTOR MUST BE NOTIFIED IMMEDIATELY OF ANY CHANGES AND WILL PROCEED ONLY AFTER THE ARCHITECT HAS APPROVED THE CHANGES AND THE OWNER ACCEPTS THE CONTRACTOR'S SUBMITTED CHANGE ORDER FEE. ANY WORK CHANGES THAT ARE NOT PREVIOUSLY APPROVED BY THE ARCHITECT WILL NOT BE THE ARCHITECT'S DESIGN RESPONSIBILITY NOR FOR IMPROPER IMPLEMENTATION BY THE CONTRACTOR.
14. THE CONTRACTOR SHALL SUPPLY THE OWNER WITH ANY REQUESTED INSURANCE CERTIFICATES.
15. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CLEAN SITE AND BUILDING DURING THE WORK, AND FOR OBTAINING ANY PERMITS AT HIS COST. THE WORKSITE WILL BE CLEANED DAILY, WITH NO ACCUMULATION OF DEBRIS ALLOWED. THE DUMPSTER IS NOT TO BE USED FOR DEBRIS FROM OTHER SITES, AND IS TO BE REMOVED PROPERLY.
16. DO NOT SCALE THESE DRAWINGS. THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION ON NON-LABELLED INFORMATION OR VERIFY IN FIELD AND NOTIFY THE ARCHITECT BEFORE PROCEEDING IF A PROBLEM EXISTS.
17. REPRODUCTION OF THESE DOCUMENTS, IN ANY FORM, WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS STRICTLY PROHIBITED. THESE DOCUMENTS ARE NOT TO BE USED FOR ANY OTHER SITE OR PROJECT OTHER THAN THAT STATED IN THE TITLE BLOCKS AND BY WRITTEN CONTRACT.

CONCRETE FOOTING AND SLABS

1. CONCRETE CONSTRUCTION SHALL CONFORM TO "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 307-78) AND PLACING CONCRETE (ACI 308-80).
2. MATERIALS FOR CONCRETE: A) PORTLAND CEMENT ASTM C150-86; B) AGGREGATES ASTM C33-86; C) WATER - POTABLE, CLEAN, FREE OF OILS, ACIDS, ALKALI, AND ORGANIC MATTER; D) AIR - ENTRAINING.
3. CONCRETE SHALL BE "READY-MIX", CONFORMING TO ASTM C94-86. SLUMP TO BE MAX 4" AT PLACEMENT. ALL CONCRETE SHALL BE THOROUGHLY CONSOLIDATED. PLACEMENT SHALL BE PLACED IN TEMPERATURES BETWEEN 50 - 70 DEGREES FAHRENHEIT. FOLLOW ACI 308-78 RECOMMENDATIONS FOR PLACEMENT IN COOLER TEMPERATURES, ACI 308-77 FOR PLACEMENT IN WARMER TEMPERATURES. D-DROCK SALT ADJUSTERS ARE NOT PERMITTED.
4. CONCRETE FOOTING SHALL BEAR ON UNDISTURBED SOIL AND HAVE A MINIMUM ALLOWABLE BEARING CAPACITY OF FOOTING 2,500 PSI. THE GENERAL CONTRACTOR IS RESPONSIBLE TO ANALYZE AND REMEDIATE INADEQUATE SOIL CONDITIONS, INCLUDING CLAY, ROCK, WATER, GARbage, H.L.M.U.S., ETC. DEMATERING PROCEDURES, IF REQUIRED, SHALL NOT DISTURB THE SOIL STRUCTURE.
5. ALL CONCRETE FOOTINGS SHALL BE FORMED UNLESS OTHERWISE NOTED FOOTINGS ARE TO BE CENTERED ON FOUNDATION WALLS WITH KEYWAY.
6. ALL POLLS SHALL BE TERMINATED BY FORMS. PROVIDE KEYS BETWEEN ADJACENT POLLS. POLLS SLABS ON GRADE IN 20" MAX WIDTHS. PROVIDE DIAMOND SHAPED SOLUTION JOINTS AROUND COLUMNS.
7. STEPPED FOOTINGS (IF APPLICABLE) TO BE MAX 1:2 (VERT:HORZ).
8. WHERE PIPES PASS THROUGH NEW WALLS, DROP FOOTINGS SO THAT PIPES PASS OVER THE TOP OF THE FOOTINGS.
9. SLABS ON GRADE TO BE MIN. 4" THICK WITH #4-10/10 WELDED WIRE FABRIC REINFORCING. LAP MESH MIN. 6" AT SPLICES. GARAGE SLABS (IF APPLICABLE) TO BE MIN. 4" THICK WITH 2% PITCH TO EXTERIOR GARAGE DOOR(S). MIN. SLAB BEARING STRENGTH TO BE 3,500 PSI AT 28 DAYS.

FOUNDATION WALLS

1. PROVIDE MIN. 4" GRADED STONE FILL UNDER ALL CONCRETE SLABS ON GRADE.
2. ALL FULL WALLS SHALL BE CONCRETE. LAYER 8" OVER TO NOT LESS THAN 8" OF THE BOTTOM PORTION WHEN TESTED IN ACCORDANCE WITH ASTM D1587. BOTTOM OF EXTERIOR FOOTINGS SHALL HAVE SUFFICIENT DEPTH BELOW GRADE TO BE PROTECTED FROM WEAR. GRADE REGIONAL FREEZING LEVELS OR MIN. 3 FT. WHICHEVER IS GREATER.
3. THE CONTRACTOR SHALL ADEQUATELY PROTECT WALLS, STRUCTURES AND PROJECTIONS, ETC. FROM DAMAGE DUE TO BACKFILLING. THE CONTRACTOR MUST PREVENT THE FOUNDATIONS FROM BEING DAMAGED DURING EXCAVATIONS FOR UTILITIES, ETC.
4. INSTALL 8" WELDED WIRE FABRIC UNDER BASEMENT AND GROUND SPACE SLABS.
5. USE AIR-ENTRAINED ADMIXTURE IN ALL CONCRETE. PROVIDE BETWEEN 4% AND 8% ENTRIES. AIR FOR CONCRETE EXPOSED TO FREEZING AND THAWING AND BETWEEN 2 AND 4% ELSEWHERE.
6. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL DESIGN, FABRICATION, INSTALLATION AND REMOVAL OF ALL FORMWORK.
7. REINFORCING STEEL SHALL CONFORM TO ASTM A638 GRADE 60, AND HAVE A MIN. 1" COVER IN FOOTING, 2" MIN. IN WALLS. SPACES 24" BY 24" MIN. PER 10" MIN. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A638-87. BARRER MIN ONE (ONE) PLUS 8" AIR-ENTRAINED SHALL BE ADEQUATELY SPACED DURING PLACEMENT DURING POURING.

FOUNDATION WALLS

1. FOUNDATION WALLS TO BE 16" CONCRETE BLOCK, UNLESS OTHERWISE NOTED ON PLAN.
2. MASONRY BEARING UNDER GROUND TO BE MIN. 24" DEEP SOLID FILL.
3. DAMP-PROOF FLOOR BOARD BASEMENT WALLS WITH A 1/2" LAYER OF PORTLAND CEMENT FACED APPLIED TO EXTERIOR FROM GROUND TO TOP AND APPLY 2 COATS OF BITUMINOUS DAMP PROOFING OVER PARAPETS OR CONCRETE BELOW GRADE.
4. IF APPLICABLE, ANCHOR BRICK VENEER TO MASONRY BACK-UP OR WOOD FRAMING WITH GALVANIZED STEEL TIES SPACED 24" HORIZ. AND 18" HORIZ. O.C. VERT.
5. FOR MASONRY OPENING, PROVIDE THE FOLLOWING STEEL LINTEL ANGLES (FOR EACH 4" MASONRY THICKNESS):

OPENING SIZE:	
0'-0" TO 6'-0":	4" X 3" X 5/8"
6'-0" TO 8'-0":	5" X 3" X 5/8"
8'-0" TO 10'-0":	6" X 3" X 5/8"

 LINTELS SHALL BEAR 8" MINIMUM AT EACH END. FOR SPANS OVER 8'-0", BOLT DOUBLE ANCHORS BACK TO BACK @ 2'-0" O.C.
6. BRICK VENEER SHALL BEAR ON BLOCK FOUNDATION USING SELF-SOLB BLOCK UNDER FIRST COURSE OF BRICK. PROVIDE FLASHING W/ RESPIRABLE @ 8'-0" O.C.
7. PROVIDE CONTINUOUS TRUSS-TYPE HORIZONTAL REINFORCING AT 16" VERTICAL.
8. ALL FOUNDATION WALLS OF HABITABLE SPACES SHALL BE WATERPROOF IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL RESIDENTIAL CODE, NJ EDITION.
9. SLOPE ALL GRADES MIN. 2% AWAY FROM FOUNDATION FOR A DISTANCE OF 10 FEET UNLESS OTHERWISE NOTED.
10. MORTAR SHALL HAVE MIN. 1,500 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
11. READY-MIX GROUT SHALL HAVE A MINIMUM 1,350 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
12. BACKFILL SHALL BE IN MAX 8" LIFTS AND COMPACTED TO A DENSITY OF 95% (UNDER SLABS) AND 90% ELSEWHERE AT OPTIMUM MOISTURE CONTENT.

FRAMING

1. LUMBER AND ITS FASTENING SHALL CONFORM TO THE "NATIONAL DESIGN SPECIFICATIONS" REQUIRED BY THE NMLLA CODE STANDARDS LISTED UNDER GENERAL CONDITIONS.
2. ALL LUMBER SHALL BE AIR DRIED (MC=15% MAX) AND SHALL BE FREE FROM LOOSE LAZES, KNOTS, EXCESS SAP OR OTHER DEFECTS WHEREBY ITS STRENGTH MAY BE IMPAIRED.
3. ALL STANDARD LUMBER TO BE MEM OR DOLG FR #2 OR BETTER WITH A MIN. 1,250 PSI FIBER STRESS RATING. HEADERS SHALL HAVE A MIN. OF 1,400 PSI FIBER STRESS RATING, WITH 17% MAX.
4. SET ALL JOISTS AND BEAMS WITH NATURAL CUMBER UP. ENDS LAPPED MIN. 8" OVER BEARING SHALL BE SECURELY SPIKED TOGETHER. PROVIDE AT LEAST 3" BEARING ON ALL JOISTS.
5. EXTERIOR WALL FRAMING SHALL BE 2"x4" AT 16" O.C. #2 COMMON W/DOUBLE TOP PLATES UNLESS OTHERWISE NOTED.
6. EXTERIOR SHEATHING SHALL BE 1/2" EXTERIOR GRADE PLYWOOD O.D. SHEATHING IN 4'X8', 8' OR 12' PANELS.
7. PARTITIONS SHALL BE FRAMED WITH 2"x4" AT 16" O.C. MEM-FR 5/8" GRADE OR BETTER. WOOD CATS SHALL BE PLACED BETWEEN STUDS 12" FROM FLOOR TO CEILING FOR ALL BEARING PARTITIONS OVER 8' TALL.
8. PROVIDE METAL OR 5/4" X 3" WOOD CROSS BRIDGING AT A MAXIMUM OF 8'-0" O.C. AND SOLD BRIDGING AT JOIST ENDS.
9. DOUBLE ALL JOISTS UNDER PARTITIONS PARALLEL TO THEM AND FOR ALL HEADERS AND TRIMMERS (ALSO BELOW ALL BATHUBS).
10. INSTALL 5/8" EXTERIOR GRADE O.D. PLYWOOD ROOF SHEATHING (3/4" WITH 24" O.C. FRAMING) W/EXTERIOR GUTTER LINES SUPPORTED AT ALL EDGES. SHEATHING TO BE FIRE-RETARDANT TREATED AT 4'-0" ON EITHER SIDE OF RATED WALL ASSEMBLIES ABUTTING ROOFS.
11. SUBFLOORING SHALL BE 3/4" T&G PLYWOOD O.D. OR AS NOTED ON PLANS. GLE AND SOLEM W/HALL EDGES SUPPORTED ALLOW MIN. 1/16" BETWEEN JOISTS AND 1/8" AT EDGES FOR EXPANSION.
12. ALL HEADERS FOR OPENINGS IN FRAME WALLS TO BE (2) 2"x10" UNLESS OTHERWISE NOTED. MINIMUM BEARING TO BE 3" UNLESS OTHERWISE NOTED.
13. STAIRS: MINIMUM TREAD = 8", MAXIMUM RISE = 8-1/4". STAIR AND RAILING TO WITHSTAND MAX. 100#/SF LIVE LOAD AND 300# CONCENTRATED LOAD. VARIATIONS IN ADJACENT RISE HEIGHTS SHALL NOT BE MORE THAN 3/4". MAX. TOLERANCE FOR RAIL SHALL BE NO MORE THAN 3/8". MINIMUM HEADROOM ABOVE STAIRS TO BE 8'-0". HANDRAILS SHALL BE PLACED MIN. 34", MAX. 38" ABOVE A LINE TANGENT TO STAIR NOSING, LANDINGS OR FLOOR.
14. ALL FRAMING EXPOSED TO MASONRY OR WEATHER TO BE PRESSURE TREATED.
15. FREESTOP WALLS AT MID-HEIGHT. FREESTOP ALL VERTICAL/HORIZONTAL CONNECTIONS SUCH AS DROPPED SOFFITS AND DROPPED CEILING AND AT OPENINGS AROUND DUCTS, DIMETERS, VENTS AND PIPES.
16. DRAFTSTOP NON-SPRINKLERED RESIDENTIAL HUNG CEILING SPACES AT 500 SF MAX AND 3,000 SF OF ATTIC. DRAFTSTOP R-1 AND R-2 ABOVE TENANT SEPARATION WALLS.

FRAMING/ROOFING

17. HP AND WALLEY BEAMS AND ROSES TO BE 2X WELDED WIRE FABRIC OVER 1/2" THICK. PATENTED DOUBLE-LAP HP AND WALLEY PATENTS.
18. ALL REINFORCING FRAMING MEMBERS TO BE #10 O.C. UNLESS OTHERWISE NOTED.
19. PROVIDE 2"x6" COLLAR TIES AT 45' O.C. AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN ROOF BOARD AND JOIST.
20. STUDS AND JOISTS SHALL NOT BE CUT FOR PLUMBING, ELECTRICAL, MECHANICAL RAYS WITHOUT ADDING METAL OR WOOD STRAPPING TO EACH. SEE THE ARCHITECT. SHALL NOT BE RESPONSIBLE FOR FAILURES IN CUT WELDED BEAMS, CROSSES AND COLLARS SHALL NOT BE CUT.
21. ADEQUATE CONNECTIONS IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND HIS SUBS.

WOOD JOISTS AND LAMINATED VENEER LUMBER FRAMING

1. ALL JOISTS AND BEAMS SHALL BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS BASED ON ROSE GASKADE.
2. ALL LUMBER SHALL BE CERTIFIED BY THE A.P.A.
3. TYPICAL LVL PROPERTIES SHALL BE:

MODULUS OF ELASTICITY = 2.9
MAXIMUM VERTICAL SHEAR = 1,400 LBS
4. TYPICAL LVL BEAM BEARING PROPERTIES SHALL BE:

VERTICAL LOAD TRANSFER = 3,400 PS
LATERAL LOAD TRANSFER = 190 PSF
5. MINIMUM BEARING LENGTH, BLOCKING PANELS, NAILING REQUIREMENTS AND WEB STIFFENERS WILL BE INSTALLED/FOLLOWED AS PER MANUFACTURERS REQUIREMENTS.

STRUCTURAL STEEL

1. ALL STRUCTURAL STEEL IS TO CONFORM TO ASTM A-36 AND CONFORM TO STANDARD AISC SPECIFICATIONS.
2. ALL CONNECTIONS TO BE FIELD AND SHOP WELDED AND TO DEVELOP MEMBER N SHEAR.
3. NO SPLICES ARE PERMITTED UNLESS APPROVED BY THE ENGINEER.
4. SHOP COAT ALL STRUCTURAL STEEL WITH "RUSTOLEUM" 1069 RED PRIMER OR ZINC CHROMATE. FIELD COAT WITH SAME PAINT.
5. ALL BOLTS SHALL BE HIGH STRENGTH CONFORMING TO ASTM F-312S.
6. ALL EXPOSED STEEL SHALL BE GRIND SMOOTH AND BE FREE OF ANY ROUGH OR SHARP EDGES.

INSULATION

1. MINIMUM INSULATION LEVELS WILL BE AS FOLLOWS (UNLESS OTHERWISE NOTED):

ROOF/CEILING AT ATTIC	R-49
EXTERIOR WALLS	R-21
FLOORS OVER UNHEATED AREAS	R-30
FINISHED BASEMENT EXT. WALLS	R-25
SLAB ON GRADE PERIMETER	R-10
2. PORTIONS OF BUILDING LIVING SPACE AND UNHEATED GARAGE, STORAGE ROOM, AND PORTIONS OF WALLS ABOVE CEILING OF LOWER ROOF SECTIONS WILL BE INSULATED AT MOST EXTREME RELATED CONDITION IN #1 ABOVE.
3. DO NOT COMPRESS THICKNESS OF INSULATION WITHIN THE DEPTH OF STRUCTURAL MEMBERS. RATHER, INCREASE STRUCTURAL MEMBER DEPTH TO ACCOMMODATE THICKNESS OF INSULATION.

CAULKING/SEALANTS/FLASHINGS

1. CAULK AND OR SEAL ALL EXPOSED EXTERIOR AND INTERIOR JOINTS DIRECTLY EXPOSED TO WEATHER, INFILTRATION, ABUTTING TWO MATERIALS OR SURFACES, SETTING BEDS UNDER FLASHING, CAPS IN MATERIAL, ETC. USE ONLY HIGH GRADE, LONG LIFE CAULK.
2. CAULK IS TO MATCH ADJACENT MATERIAL COLOR AS MUCH AS POSSIBLE, OR BE CLEAR.
3. CORROSION-RESISTANT FLASHING SHALL BE INSTALLED TO ENSURE PROPER RUNOFF AND WATERPROOFING AT MINIMALLY THESE LOCATIONS:
 - A) VALLEYS, MIN. 24" OF EITHER SLOPE
 - B) ALL ROOF/WALL INTERSECTIONS, MIN. 12" VERT.
 - C) ALL ROOF PENETRATIONS
 - D) WINDOW/DOOR HEADS
 - E) BELLS AND THRESHOLD
 - F) MASONRY/FRAME WALL INTERSECTIONS
 - G) OTHER AREAS AS PER PROPER CONSTRUCTION PRACTICE.
4. INSTALL CONTINUOUS SELF-SEALING ROOF UNDERLAYMENT ICE AND WATER SHIELD. INSTALL 6" WIDTH OF MATERIAL ALONG EACH EAVE, LEAVING SUFFICIENT PROTECTIONS FOR EDGE CLIPPING OF THE GUTTER SYSTEM. ALSO, INSTALL 6" CONTINUOUS WIDTH AT EXPOSED ROOF RANGES (PLY RAFTERS). INSTALL UNDER PROPER FLASHING AT SKYLIGHTS AND AROUND CHIMNEY ROOF PENETRATIONS.

GYPSEUM DRYWALL

1. ALL GYPSUM BOARD INSTALLED SHALL MEET THE REQUIREMENT OF ANSI #7-1.
2. JOINT COMPOUND SHALL BE APPLIED ACCORDING TO MANUFACTURERS INSTRUCTIONS AND BE INVISIBLE AFTER FINISHING, INCLUDING ALL METAL CORNER BEADS AND TRIM.
3. INSTALL WATER RESISTANT GYPSUM BOARD IN ALL BATHUBS AND S-COWER COMPARTMENTS.
4. GYPSUM BOARD IN GARAGES AND LIVING SIDE OF GARAGE WALLS SHALL BE 5/8" TYPE "X".

FINISHES

1. ALL FINISHES ARE TO BE SELECTED BY THE OWNER UNLESS OTHERWISE NOTED.

PLUMBING

1. SCOPE OF PLUMBING WORK TO INCLUDE BUT NOT BE LIMITED TO:
 - A) POWER QUALITY, TEST AND SETUP CONNECTION PIPING AND TRIM AS REQUIRED.
 - B) PLUMBING FIXTURES, FITTINGS AND PLUMBING TRIM IDEAS.
 - C) ALL INSULATION AND SUPPORTS REQUIRED FOR ABOVE PIPING AS REQUIRED.
 - D) ALL CONNECTIONS TO EXISTING OR MUNICIPAL SYSTEMS.
 - E) ALL OTHER WORK DESCRIBED WITHIN THESE DRAWINGS AS PARTICULAR TO THE BUILDING OR SITE CONDITIONS.
2. ALL PLUMBING WORK, WHETHER SPECIFICALLY NOTED OR NOT, MUST CONFORM WITH THE LATEST EDITION OF THE NATIONAL PLUMBING CODE WITH SUPPLEMENTS AND LOCAL ORDINANCES.
3. MATERIALS:
 - A) DOMESTIC HOT AND COLD WATER PIPING: CROSS-LINKED POLYETHYLENE (PEX)
 - B) DOMESTIC WATER SUPPLY UNDERGROUND TO METER: TYPE K COPPER
 - C) SANITARY PIPING: SCHEDULE 80 PIP (UNDERGROUND), PVC SCHEDULE 40 (ABOVE GROUND), VENT PIPING: SCHEDULE 40 PVC.
4. ALL FIXTURES SHALL HAVE SHUT-OFF VALVES AT THE FIXTURE.
5. PLUMBING FIXTURES SHALL BE SET AND TESTED BY THE PLUMBING CONTRACTOR. ALL WATER LINES SHALL BE TESTED UNDER 15 PSI AIR PRESSURE FOR A PERIOD OF 24 HOURS AND 30 PSI FOR 30 MINUTES, AT WHICH TIME NO APPRECIABLE DROP SHALL BE APPARENT. SHOULD ANY DROP OCCUR, ALL JOINTS SHALL BE REPAIRED AND RE-TESTED.
6. ALL PLUMBING LINES IN EXTERIOR WALLS OR IN UNHEATED SPACES AROUND UNHEATED AREAS OF EXPOSED UNHEATED AREA TO BE INSULATED MINIMALLY WITH R-6 BATT.

ELECTRICAL

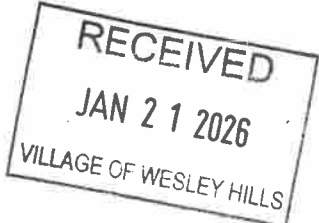
1. ALL ELECTRICAL DESIGN AND INSTALLATION IS TO CONFORM TO THE NATIONAL ELECTRICAL CODE, LATEST EDITION. ALL EQUIPMENT SHALL BE U.L. LABELED.
2. ALL SWITCHES TO BE MOUNTED 3'-10" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.
3. INSTALL CONVENIENCE OUTLETS AT 18" ABOVE FINISHED FLOOR. MAXIMUM SPACING 12'-0" O.C. INSTALL AT ALL WALLS OF 24" OR GREATER WIDTH.
4. U.L. SMOKE DETECTORS SHALL BE LOCATED IN ALL BEDROOMS, AND ONE EACH ADDITIONALLY AT: BEDROOM HALL ON MAIN LIVING LEVEL, AND BASEMENT LEVEL. OTHER LOCATIONS AS SHOWN ON DRAWINGS. HARDWARE ALL DETECTORS TOGETHER, AND PROVIDE BATTERY BACK-UP.
5. INSTALL GROUND FAULT RECEPTACLES IN BATHROOMS, KITCHENS AND OTHER WET LOCATIONS AS REQUIRED BY N.E.C. 210.8.
6. ELECTRICAL CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE METER INSTALLATION IF THERE EXISTS A LOCALTIONAL PROBLEM.

MECHANICAL

1. ALL MECHANICAL DESIGN AND COORDINATION, INCLUDING BUT NOT LIMITED TO: HEATING, VENTILATING, AND AIR CONDITIONING IS NOT THE RESPONSIBILITY OF THE ARCHITECT. H.V.A.C. SYSTEM SHALL BE DESIGNED BY A LICENSED MECHANICAL CONTRACTOR IN ACCORDANCE WITH CURRENT CODES.
2. ALL INTERIOR BATHROOMS SHALL BE MECHANICALLY VENTILATED AND EXHAUSTED AT 8 AIR CHANGES PER HOUR.
3. ALL DRYER VENTS ARE TO BE DIRECTLY EXHAUSTED TO THE EXTERIOR.

ADDITIONAL NOTES

1. ALL FINISHES ARE TO BE SELECTED BY THE OWNER UNLESS OTHERWISE NOTED.
2. CABINETS/CASEWORK TO BE DESIGNED BY OTHERS. CABINET DESIGNER SHALL FIELD MEASURE AREAS OF WORK AFTER DRYWALL INSTALLATION FOR PROPER FITTING.
3. ALL GLASS IN SLOGLIGHTS, SHOWER DOORS, SLIDING GLASS DOORS, AND ALL OTHER GLASS WITHIN 18" OF FINISHED FLOOR TO BE TEMPERED GLASS.



PROJECT PROPOSED REAR ADDITION TO THE HOOK RESIDENCE LOCATED AT 21 TIMBER TRAIL, SUFFERN, NEW YORK		
ROBERT MURPHY ARCHITECT PLLC	DRAWN RM	SHEET No
13 BRADRICK LANE, WEST MILFORD, NJ 07480 NEW YORK LIC. # A1 23097 C; (201) 207 5537	DATE 12-8-25	A7
DWG TITLE GENERAL NOTES	SCALE AS NOTED	
	7 OF 7	



LOCATION PLAN NO SCALE

RECEIVED
 JAN 21 2026
 VILLAGE OF WESLEY HILLS



PROJECT PROPOSED REAR ADDITION TO THE HOOK RESIDENCE LOCATED AT 21 TIMBER TRAIL, SUFFERN, NEW YORK		
ROBERT MURPHY ARCHITECT PLLC	DRAWN RM	SHEET No
13 BRADICK LANE, WEST MILFORD, NJ 07480 NEW YORK LIC. # A1 23097 C: (201) 207 5537	DATE 1-19-26	A88
DWG TITLE LOCATION PLAN	SCALE AS NOTED	
	1 OF 1	

Local Law # of 2026

A Local Law Amending the Code of the Village of Wesley Hills Allowing the Use of Catering Facilities in the Village of Wesley Hills

Section 230-16, Schedule of Use Regulations

Add "Catering Facility" to the Schedule of Use Regulations as a Special Permit Use in the NS Neighborhood Shopping District.

Section 230-5, Definitions

Add new definition for "Catering Facility" defined as:

Any non-residential room, place or space in the Village where food and beverages are available for consumption, which is regularly leased or hired out for a particular function, occasion or event to which the general public is not invited or admitted.

Section 230-26, Individual Standards and Requirements

Add New Section 230-16. M. Catering Facilities:

- A. A New York State Liquor License is required for the on-site sale or serving of alcoholic beverages or spirits.
- B. Functions, occasions or events must obey the requirements of Chapter 140 Noise Pollution Control Law of the Village of Wesley Hills.
- C. Parking must be provided as per the requirements of Section 230-31 Schedule of Parking and Loading Facilities.
- D. The Planning Board in approving a special permit may allow off-street parking and loading spaces on the same or adjacent lots to be provided in a single common facility, as per the requirements of Section 230-29, Joint Use.
- E. The Planning Board may determine specific hours of operation for any catering facility. The Planning Board, in approving a special permit for a Catering Facility, may require a parking study to determine permitted hours of operation to prove that the proposed facility operations do not conflict with existing uses at the site or at adjacent sites.

Section 230-31, Schedule of Parking and Loading Requirements

Add new requirement for "Catering Facilities" under Special Permit Uses

Catering Facilities 10 spaces per 1,000 square feet of GFA