



ZONING BOARD OF APPEALS MEETING AGENDA

November 12, 2025 at 7:30 PM
432 Route 306, Wesley Hills, NY 10952
Phone: 845-354-0400 | Fax: 845-354-4097

CALL TO ORDER

ROLL CALL

CONTINUED PUBLIC HEARING

1. The Application submitted by Alan and Debra Rosenstock Legacy Trust for variances from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of an addition to a single family residence having building coverage of .138 instead of the maximum permitted of .1256 and total side yard of 53.8 feet instead of the minimum required of 60 feet.

The subject premises are situated on the west side of Laura Lane north of Charlotte Drive, known as 3 Laura Lane, designated on the Tax Map as Section 41.08 Block 2 Lot 25, in an R-35 Zoning District.

2. The Application submitted by Nancy Rubin on behalf of Abraham Spira for variances from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of a single family residence, inground swimming pool and cabana having building coverage of .1228 instead of the maximum permitted of .10 and the variance previously granted of .113, impervious surface ratio of .29 instead of the maximum permitted of .25, side yard of 22 feet for the cabana instead of the minimum required of 25 feet, total side yard of 46.6 feet instead on the minimum required 60 feet and rear yard of 7.0 feet for the inground swimming pool instead of the minimum required of 15 feet.

The subject premises are situated on the east side of Charlotte Drive, approximately 1,200 feet west of Deerwood Road, known as 4 Charlotte Drive, designated on the Tax Map as Section 41.08 Block 1 Lot 35, in an R-35 Zoning District.

3. The Application submitted by Sam Yurowitz for variances from the provisions of Section 230-17 Attachment I and Section 230-34D(2) and (4) of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of a single family residence and driveway having building coverage of .135 instead of

the maximum permitted of .10 and the variance previously granted of .127, front yard impervious surface ratio of .26 instead of the maximum permitted of .20, driveway width of 25 feet instead of the maximum permitted of 12 feet and driveway gradient of 4.23% in the first 20 feet from the curb instead of the maximum permitted of 3%.

The subject premises are situated on the north side of Glenbrook Road approximately 100 feet east of Moccasin Place, known as 21 Glenbrook Road, designated on the Tax Map as Section 41.11 Block 1 Lot 64, in an R-35 Zoning District.

4. The Application submitted by Eliyahu Feig for variances from the provisions of Section 230-17 Attachment I and Section 230-14L(3) and (4) of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of a single family residence, inground swimming pool and cabana having impervious surface ratio of .273 instead of the maximum permitted of .20, front yard impervious surface ratio of .167 instead of the maximum permitted of .15, building coverage of .111 instead of the maximum permitted of .106, rear yard for the cabana of 23.5 feet instead of the minimum required of 50 feet and side yard of 1.5 feet for the wall instead of the minimum required of 7.9 feet.

The subject premises are situated on the north side of Maurice Lane approximately 251 feet west of Steinway Court, known as 5 Maurice Lane, designated on the Tax Map as Section 32.18 Block 1 Lot 5, in an R-50 Zoning District.

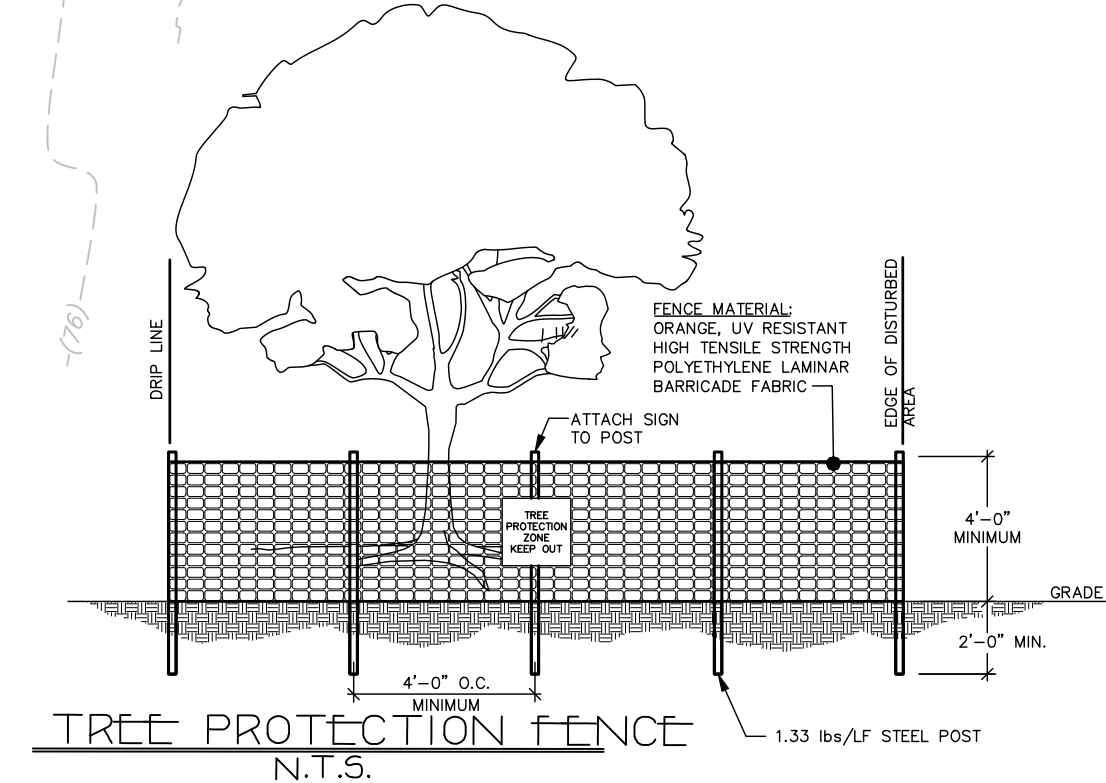
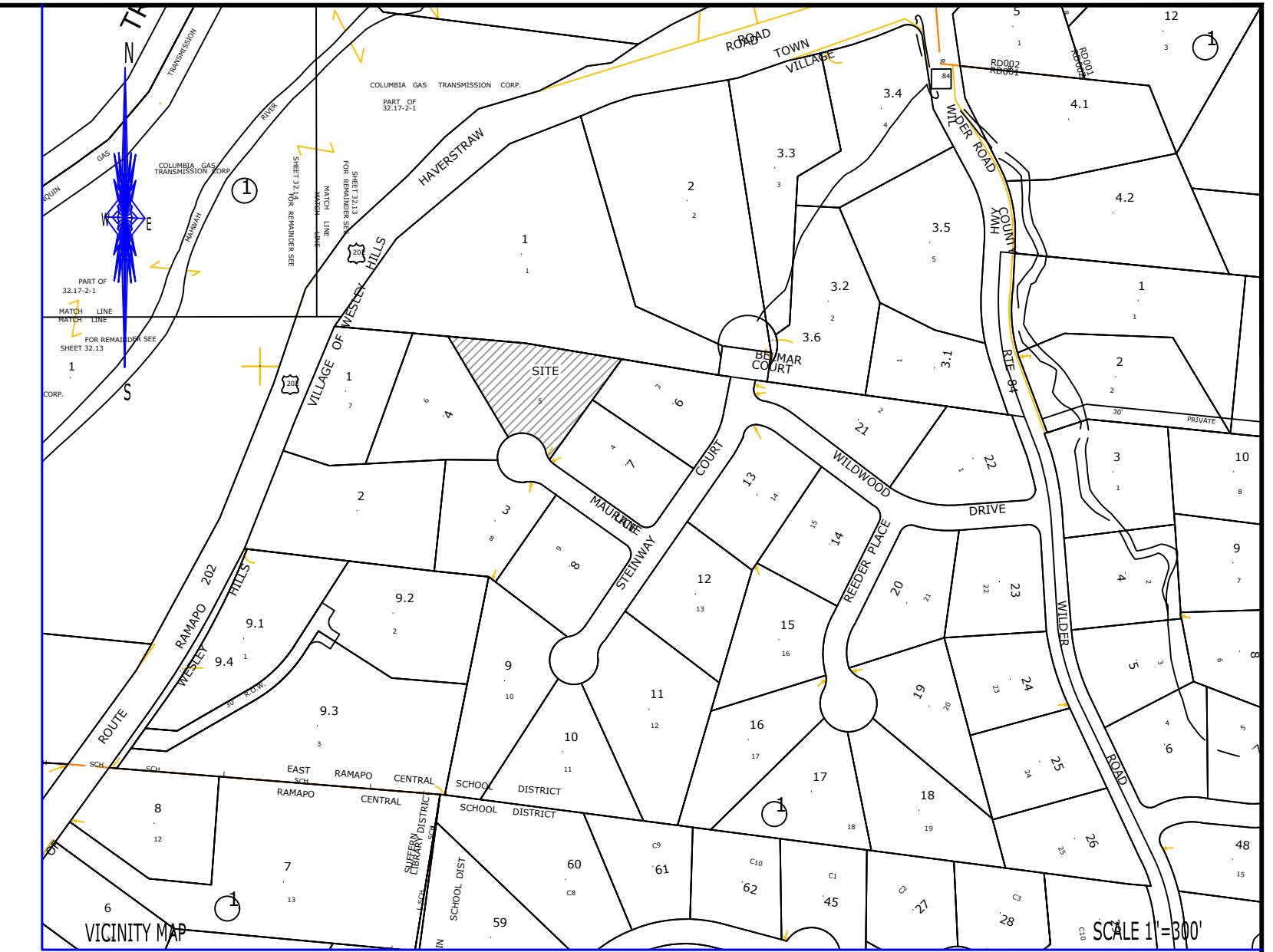
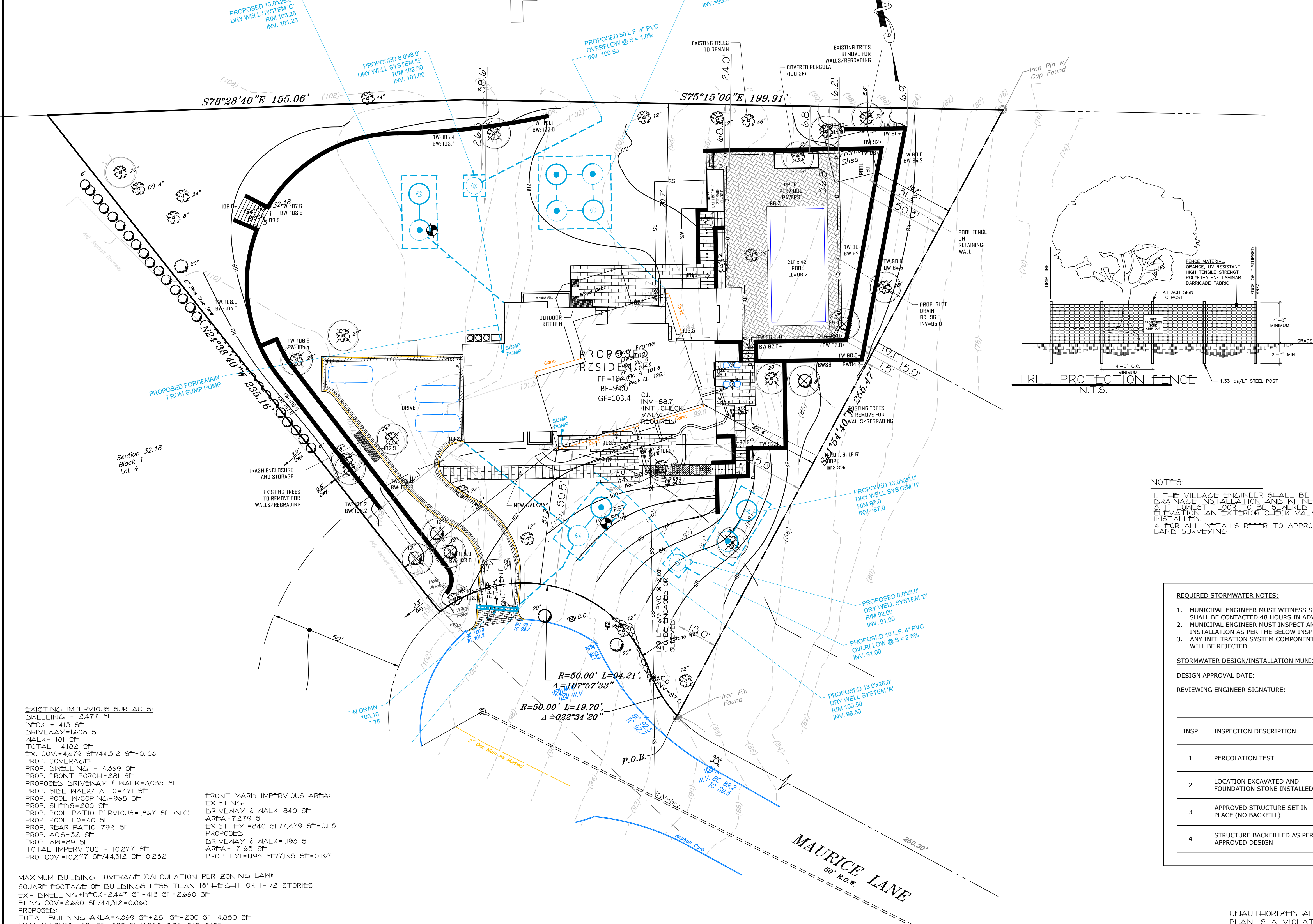
APPROVAL OF MINUTES

August 13, 2025

ADJOURNMENT

TAX LOT: SECTION 32.18, BLOCK 1, LOT 5
 REFERENCES:

ALL BOUNDARY & TOPOGRAPHY INFORMATION IS REFERENCED FROM A SURVEY PREPARED BY AFR ENGINEERING & LAND SURVEYING PC LAST REVISED DECEMBER 29, 2023, PROVIDED BY OWNER.
 BEING KNOWN AS LOT 5 IN BLOCK W ON A MAP TITLED "SUBDIVISION MAP WILLOWOOD ESTATES, TOWN OF RAMAPO, ROCKLAND CO. N.Y." FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON MAY 31, 1962 AS FILED MAP 3127.
 BEING KNOWN AS LOT 5 IN BLOCK W ON A MAP TITLED "REVISED SUBDIVISION PLAT LOTS 5, 6, AND 7 IN BLOCK W WILLOWOOD ESTATES, TOWN OF RAMAPO, ROCKLAND CO. N.Y." FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON DECEMBER 17, 1963 AS FILED MAP 3198.



- NOTES:
- ALL PLANTS DESIGNATED TO BE SAVED SHALL BE PROTECTED BY FENCING, AS ILLUSTRATED.
 - INSTALL TREE PROTECTION FENCE AT TREE DRIP LINE OR AT EDGE OF DISTURBED AREA, AS SHOWN ON PLANS, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - SPACE TREE PROTECTION ZONE SIGNS A MINIMUM OF ONE EVERY 300 FEET. THE SIZE OF EACH SIGN MUST BE A MINIMUM OF 2' X 2' AND BE VISIBLE FROM BOTH SIDES OF THE FENCE. THE SIGN MUST CONTAIN THE FOLLOWING LANGUAGE IN BOTH ENGLISH & SPANISH: *TREE PROTECTION ZONE, KEEP OUT*.
 - TREE PROTECTION FENCING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.

NOTES:
 1. THE VILLAGE ENGINEER SHALL BE NOTIFIED 48 HOURS PRIOR TO DRAINAGE INSTALLATION AND WITNESSED APPROVED.
 2. IF LOWEST FLOOR TO BE SEWERED IS BELOW THE UPSTREAM RIM ELEVATION AN EXTERIOR CHECK VALVE MUST BE INSTALLED.
 3. FOR ALL DETAILS REFER TO APPROVED PLANS BY AFR ENGINEERING & LAND SURVEYING.

- REQUIRED STORMWATER NOTES:
- MUNICIPAL ENGINEER MUST WITNESS SOIL PERCOLATION TESTING AND SHALL BE CONTACTED 48 HOURS IN ADVANCE OF THE TEST FOR SCHEDULING.
 - MUNICIPAL ENGINEER MUST INSPECT ANY INFILTRATION SYSTEM INSTALLATION AS PER THE BELOW INSPECTION SCHEDULE.
 - ANY INFILTRATION SYSTEM COMPONENT INSTALLED PRIOR TO INSPECTION WILL BE REJECTED.

STORMWATER DESIGN/INSTALLATION MUNICIPAL ACCEPTANCE:
 DESIGN APPROVAL DATE:
 REVIEWING ENGINEER SIGNATURE:

INSP	INSPECTION DESCRIPTION	MUNICIPAL INSPECTOR	INSPECTION DATE
1	PERCOLATION TEST		
2	LOCATION EXCAVATED AND FOUNDATION STONE INSTALLED		
3	APPROVED STRUCTURE SET IN PLACE (NO BACKFILL)		
4	STRUCTURE BACKFILLED AS PER APPROVED DESIGN		

Drywell Design:
 Chesire 'B'

Development size =	0.1285 Acre
Undeveloped SCS Curve No. =	74.0000
Developed SCS Curve No. =	86.0000
1. Select Infiltration System	100 year, 24-hour
100 year, 24-hour	9.3000
2. Type of subsurface disposal system:	Precast drywell with 3-3/4" crushed stone
3. Determine Percolation Rate:	
Percolation Rate:	1.0000 inches
Drop	30.0000 minutes
Time	
a. Area of Percolation (Ap):	
Surface area of Cylinder	
Ac=Pi*Dhavg	
Dh	1.0000 foot
havg=	6.5000 inches
Ac=	2.2253 Ft ²
Bottom Area	
Ab=Pi*R ²	
Ab=	0.7854 Ft ²
Volume of Percolation:	
Ap*Ac*Ab	
Ap=	3.0107 Ft ²
Vp=Ab*h	
Soil Percolation Rate	0.0007 Ft ³ /Ft ² /Min.
Sr=volume/area*time	1.0435 Ft ³ /Ft ² /day
Sr=(minus clogging factor of 25%)	0.7828 Ft ³ /Ft ² /day
4. Calculate Required Storage Volume:	
100yr, 24 hour rainfall	9.3000 inches
From Table 2-1 of TR-55	
Existing CH=	74.0000 therefore depth V= 6.11 inches
Proposed CH=	86.0000 therefore depth V= 9.10 inches
Delta V=	2.9900 inches
Vs=delta V*Area	
Vs=	1384.8350 Ft ³
5. Calculate Volume per Drywell:	
Vw=Pi*2*height	
Thickness of Stone=	3.0000 feet
Thickness of drywell wall=	0.3330 feet
Diameter of drywell=	8.0000 feet
Height of drywell=	3.0000 feet
Vw=	251.1410 Ft ³
6. Calculate 24-hour percolation volume per drywell (Vp):	
Vp=bottom surface area of drywell*soil percolation rate(Sr)	
Vp=Pi*R ² *Sr	
Vp=	132.2081 Ft ³ /day/drywell
*Note: Only Bottom of drywell included	
7. Calculate the total 24-hour Volume per drywell (Vt):	
Vt=Volume of drywell(Vw)/percolation volume(Vp)	
Vt=	383.3491 Ft ³
8. Determine number of drywells required (DW):	
DW=Req. Volume of Storage(Vs)/Total Vol. per Drywell(Vt)	
DW=	3.6
USE	4

EXISTING IMPERVIOUS SURFACES:
 DWELLING = 2,477 SF
 DECK = 413 SF
 DRIVEWAY = 1,608 SF
 WALK = 181 SF
 TOTAL = 4,679 SF
 EX. COV. = 4,679 SF / 44,312 SF = 0.106
 PROP. COVERAGE:
 PROP. DWELLING = 4,569 SF
 PROP. FRONT PORCH = 281 SF
 PROPOSED DRIVEWAY & WALK = 3,055 SF
 PROP. SIDE WALK/PATIO = 471 SF
 PROP. POOL W/COVERING = 968 SF
 PROP. SHEDS = 200 SF
 PROP. POOL PATIO IMPERVIOUS = 1,867 SF INICI
 PROP. POOL EQ = 40 SF
 PROP. REAR PATIO = 792 SF
 PROP. AC'S = 32 SF
 PROP. WALK = 89 SF
 TOTAL IMPERVIOUS = 10,277 SF
 PRO. COV. = 10,277 SF / 44,312 SF = 0.232

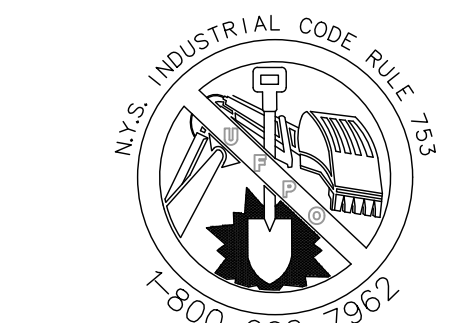
FRONT YARD IMPERVIOUS AREA:
 EXISTING:
 DRIVEWAY & WALK = 840 SF
 AREA = 7,279 SF
 EXIST. F.Y.I = 840 SF / 7,279 SF = 0.115
 PROPOSED:
 DRIVEWAY & WALK = 1,193 SF
 AREA = 7,165 SF
 PROP. F.Y.I = 1,193 SF / 7,165 SF = 0.167

MAXIMUM BUILDING COVERAGE (CALCULATION PER ZONING LAW):
 SQUARE FOOTAGE OF BUILDINGS LESS THAN 15' HEIGHT OR 1-1/2 STORIES =
 EX = DWELLING + DECK = 2,447 SF + 413 SF = 2,860 SF
 BLDG. COV. = 2,860 SF / 44,312 = 0.064
 PROPOSED:
 TOTAL BUILDING AREA = 4,569 SF + 281 SF + 200 SF = 4,850 SF
 MAX. ALLOWED = 281 SF + 200 SF / 4,850 * 0.05 + 0.10 = 0.105
 BLDG. COVERAGE = 4,850 / 44,312 = 0.1095

VILLAGE OF WESLEY HILLS BULK REQUIREMENTS
 ZONE R-50
 SINGLE FAMILY DWELLING

	MINIMUM LOT AREA (SF)	MINIMUM LOT FRONTAGE (FT)	MINIMUM LOT WIDTH (FT)	MINIMUM EFFECTIVE SQUARE SIDE (FT)	FRONT YARD (FT)	SIDE YARD (FT)	TOTAL SIDE YARD (FT)	REAR YARD (FT)	MAXIMUM IMPERVIOUS SURFACE RATIO	MAXIMUM FRONT YARD IMPERVIOUS SURFACE RATIO	MAXIMUM BUILDING COVERAGE	MAXIMUM BUILDING HEIGHT (STORIES/FT)	MAXIMUM EXPOSED BUILDING HEIGHT (FT)	SIDE YARD POOL/PATIO (FT)	REAR YARD POOL/PATIO (FT)	SIDE YARD ACC. (FT)	REAR YARD ACC. (FT)	SIDE YARD WALL (FT)	REAR YARD WALL (FT)
REQ'D	50,000	100	150	150	50	30	75	50	0.20	0.15	0.10/0.105	2.5 / 2.5	40	15	15	30/1-10	30/1-6.7	7.9	6.7
EXIST.	44,312	113.9	149.3	154	51.2	46.4	118.5	70.7	0.106	0.115	0.056	2.0/2.0	20.0	NA	NA	NA	NA	NA	NA
PROD.	44,312	113.9	149.3	154	50.5	55.0	81.1	68.2	0.232*	0.167*	0.110*	2.0/2.4.25	38.0	19.1/15.0	38.6/18.3	50.3	16.8	1.5*	6.9

* EXISTING CONDITION
 * VARIANCE REQUIRED
 ** VARIANCE OF SECTION 230-14-L.4 (GREATER THAN 11.8)



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 PAUL GDANSKI, PE, PLLC
 3512 WHITTIER COURT
 MALDEN, N.J. 07430
 TEL: (917) 418-0999

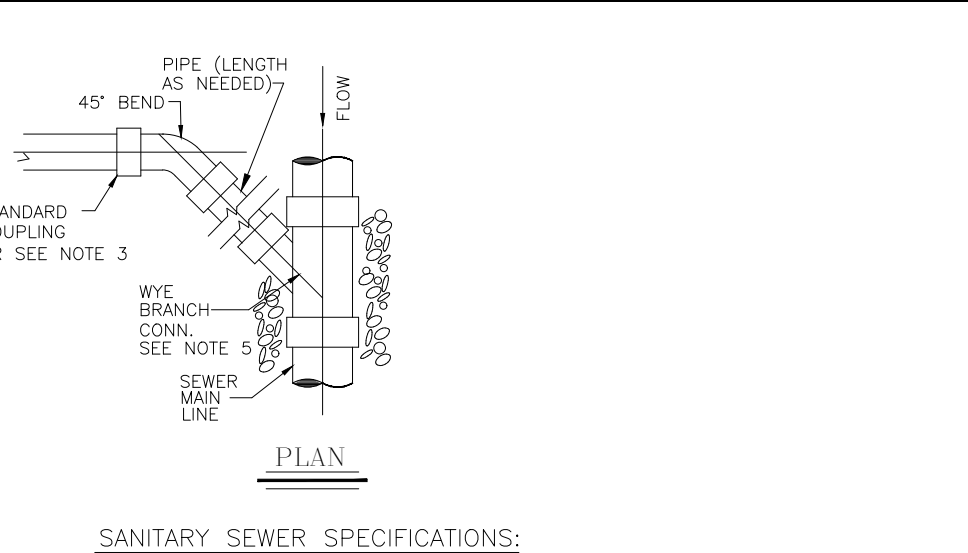
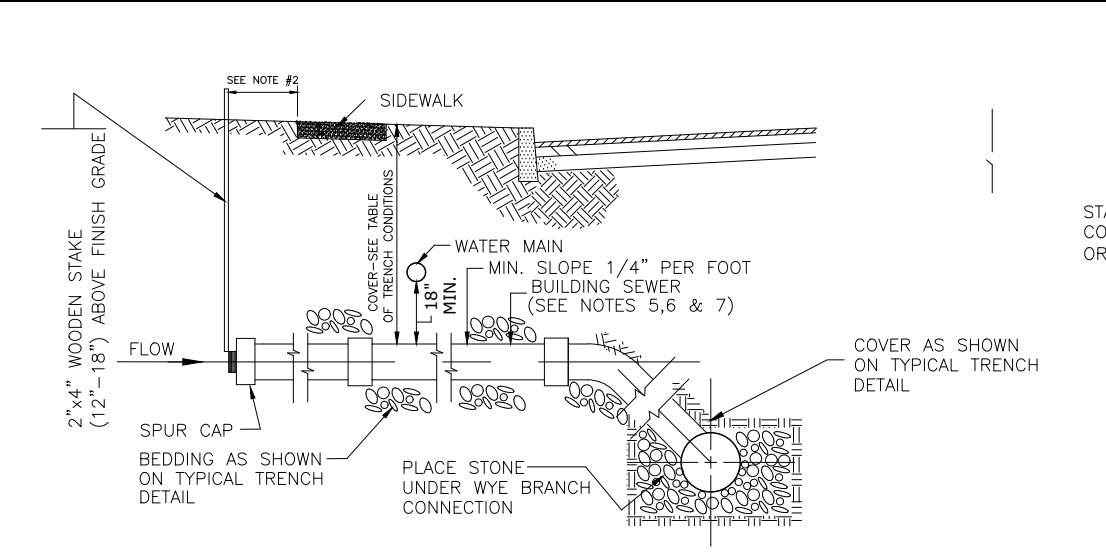
REVISIONS

2	11/8/25	REVISE
1	10/28/25	REVISE

PLOT PLAN FOR
 5 MAURICE LANE
 LOCATED IN THE
 VILLAGE OF WESLEY HILLS
 ROCKLAND COUNTY, NEW YORK
 GRAPHIC SCALE

PAUL GDANSKI, PE, PLLC
 3512 WHITTIER COURT
 MALDEN, N.J. 07430
 TEL: (917) 418-0999

DATE: JAN. 19, 2025
 SCALE: 1" = 20'
 SHEET: 1 OF 2



BUILDING SEWER CONNECTION N.T.S.

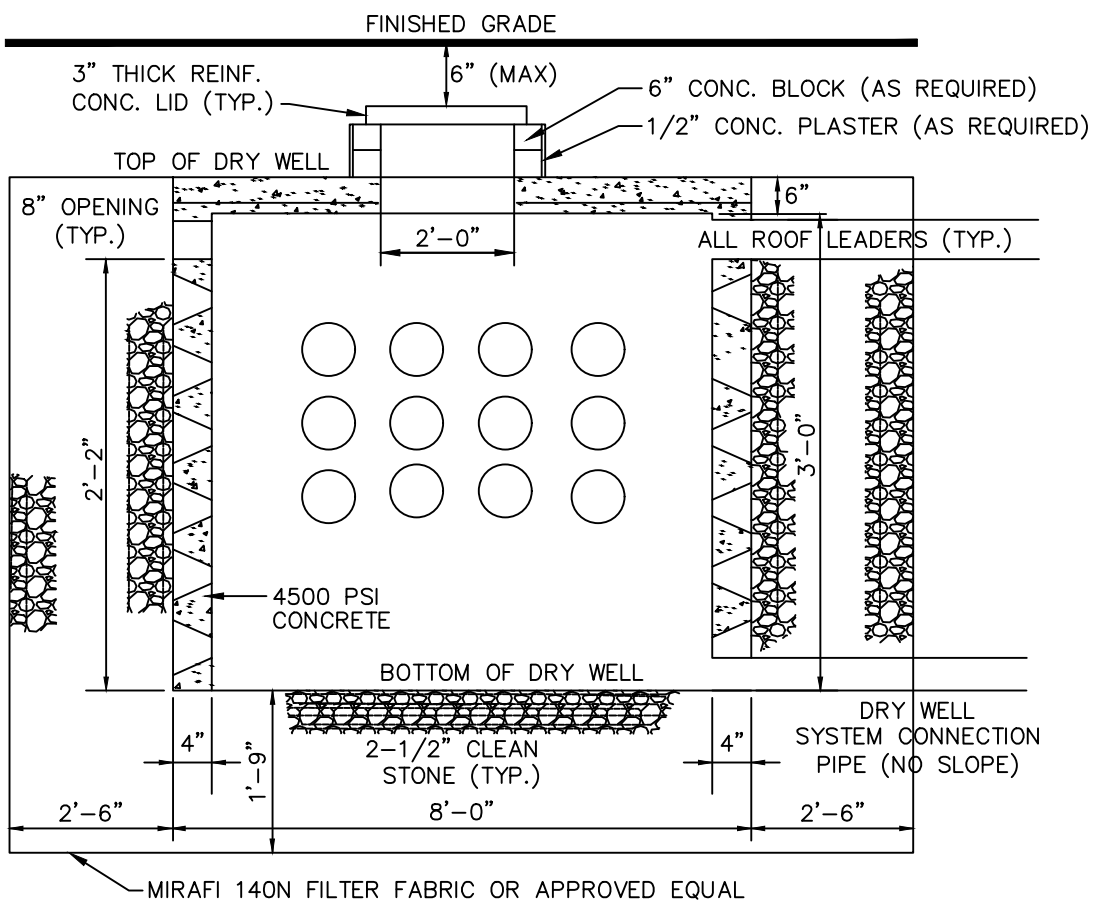
SPECIAL CONDITIONS FOR SHALLOW TRENCH CONDITIONS

COVER LESS THAN 4'-0"

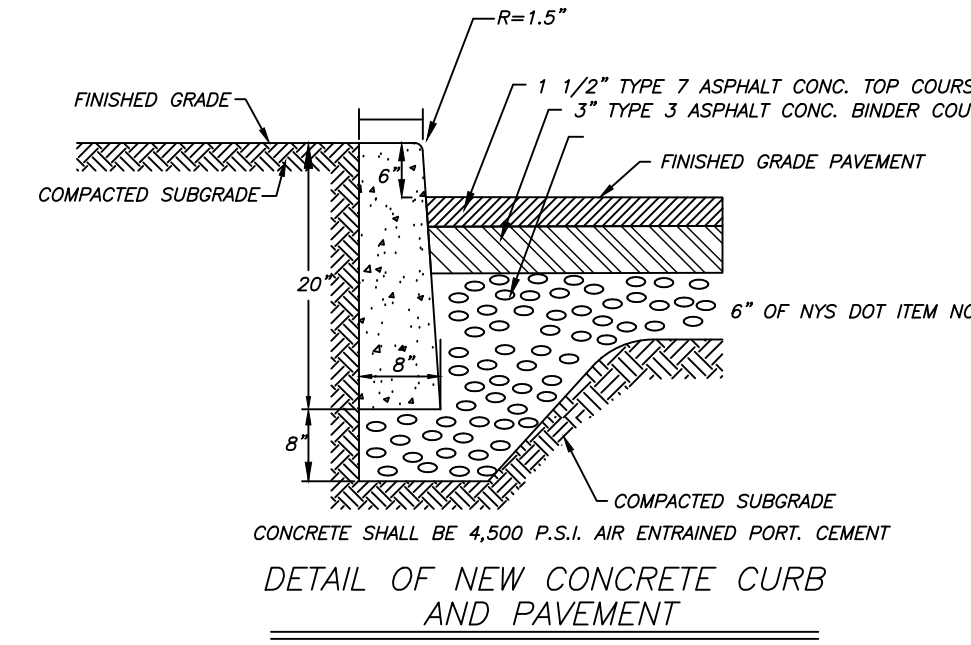
PIPE: CLASS 52 DUCTILE IRON OR CAST IRON EXTRA HEAVY OR APPROVED EQUAL.

- NOTES**
- ALL APPROVED BUILDING SEWER PIPE MATERIALS FOR EACH CONNECTION MADE, SHALL BE CONSTRUCTED FROM THE SAME MATERIAL.
 - MINIMUM HORIZONTAL SEPARATION BETWEEN SPUR CAP AND SIDEWALK SHALL BE 2.0 FT. IN ALL CASES THE SPUR CAP LOCATION SHALL EXTEND A MINIMUM HORIZONTAL DISTANCE OF 2.0 FT. ONTO ALL BUILDING LOT PROPERTIES.
 - TRANSITION BETWEEN DIFFERENT PIPE MATERIAL (AS APPROVED) SHALL BE MADE BY INSTALLING A TYPE 1, STYLE 62 DRESSER COUPLING OR DRESSER STYLE 262 NYMAX COUPLING (OR APPROVED EQUAL).
 - WYE BRANCH CONNECTION SHALL BE A FITTING CONSTRUCTED SPECIFICALLY FOR THE INSTALLED MAIN LINE SEWER MATERIAL CLASS (OR APPROVED EQUAL).
 - THE BUILDINGS SEWER SHOWN FROM THE MAIN LINE SOURCE WYE BRANCH CONNECTION FITTING TO THE SPUR CAP SHALL MEET THE SPECIFICATIONS SHOWN FOR (I) BUILDING LATERAL SEWER.
 - 4" BUILDING LATERAL SEWER MAY BE APPROVED FOR CONSTRUCTION OF SINGLE (1) AND TWO (2) FAMILY DWELLING ONLY. ALL OTHER BUILDING LATERAL SEWERS (INCLUDING ALL COMMERCIAL USES) SHALL BE 6" IN DIAMETER.
 - EACH 6" BUILDING SEWER SHALL PROVIDE SERVICE FOR NO MORE THAN TWELVE(12) EQUIVALENT LIVING UNITS, AS DETERMINED BY OCSO #1. UNLESS A REQUESTED DEVIATION IS APPROVED IN WRITING BY OCSO #1.

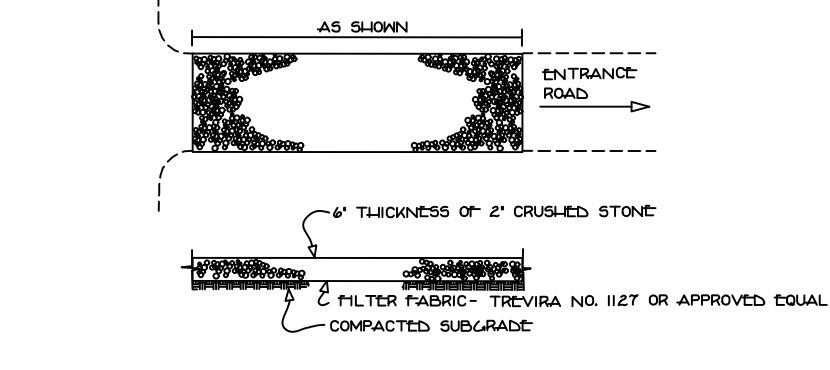
- SANITARY SEWER SPECIFICATIONS:**
(FOR BUILDING SEWERS AND SEWER MAIN LINE)
- REQUIRED SEWER MAIN LINE (OR APPROVED EQUAL) :
 - ABS - TRUSS PIPE:
 - PIPE: STAMPED ASTM D2680
 - FITTINGS: STAMPED ASTM D2680
 - JUNTS: SOLVENT WELD ASTM D2235
 - PVC - TRUSS PIPE:
 - PIPE: STAMPED ASTM D2680
 - FITTINGS: STAMPED ASTM D2680
 - JUNTS: SOLVENT WELD ASTM D2564 OR ELASTOMERIC GASKET
 - PVC - SDR 26 HEAVY WALL PIPE:
 - PIPE (8'-15" 4): STAMPED ASTM D3034
 - FITTINGS: STAMPED ASTM D3034 OR SDR 35
 - JUNTS: BELL AND SPIGOT WITH ELASTOMERIC GASKET ASTM D3034 OR SOLVENT WELD ASTM D2564
 - PVC - SDR 35 SOLID WALL PIPE:
 - PIPE (8'-15" 4): STAMPED ASTM D3034
 - FITTINGS: STAMPED ASTM D3034 OR SDR 35
 - JUNTS: BELL AND SPIGOT WITH ELASTOMERIC GASKET ASTM D3034 OR SOLVENT WELD ASTM D2564
 - REQUIRED 4" OR 6" (AS APPROVED) BUILDING LATERAL SEWER (OR APPROVED EQUAL):
 - PVC - SDR 35 SOLID WALL PIPE:
 - PIPE: STAMPED ASTM D3034 AND SDR 35
 - FITTINGS: STAMPED SDR 35 AND ASTM D3034
 - JUNTS: BELL AND SPIGOT WITH ELASTOMERIC GASKET ASTM D3034 OR SOLVENT WELD ASTM D2564
 - PVC - 26 HEAVY WALL PIPE:
 - PIPE: STAMPED ASTM D3034 AND SDR 26
 - FITTINGS: STAMPED D3034 AND SDR 26
 - JUNTS: BELL AND SPIGOT WITH ELASTOMERIC GASKET ASTM D3034 OR SOLVENT WELD ASTM D2564
 - SDR - 23.5 SOLID WALL PIPE:
 - PIPE: STAMPED ASTM D2751 AND SDR 23.5
 - FITTINGS: STAMPED ASTM D2751 AND SDR 23.5
 - JUNTS: SOLVENT WELD, ASTM D2235
 - OTHER REQUIRED PIPE MATERIALS FOR BUILDING LATERAL AND SEWER MAIN LINE (OR APPROVED EQUAL):
 - CAST IRON, EXTRA HEAVY, COATED, HUB & PLAIN END, ASTM C-74 WITH ELASTOMERIC COMPRESSION GASKET (ASTM C-564)



3'6" HIGH x 8' DIA. DRY WELL DETAIL
(AS BUILT BY PERLESS)
N.T.S.

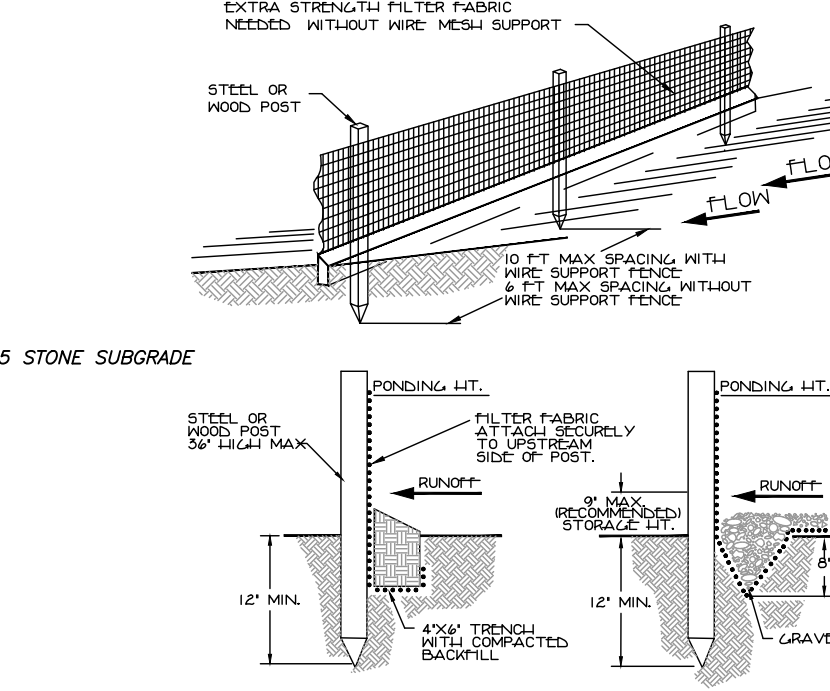


DETAIL OF NEW CONCRETE CURB AND PAVEMENT
N.T.S.



STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

- CONSTRUCTION SPECIFICATIONS:**
- STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - NOT LESS THAN 50 FEET.
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
 - GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BEAM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



STANDARD DETAIL ALTERNATE DETAIL
TRENCH WITH NATIVE BACKFILL

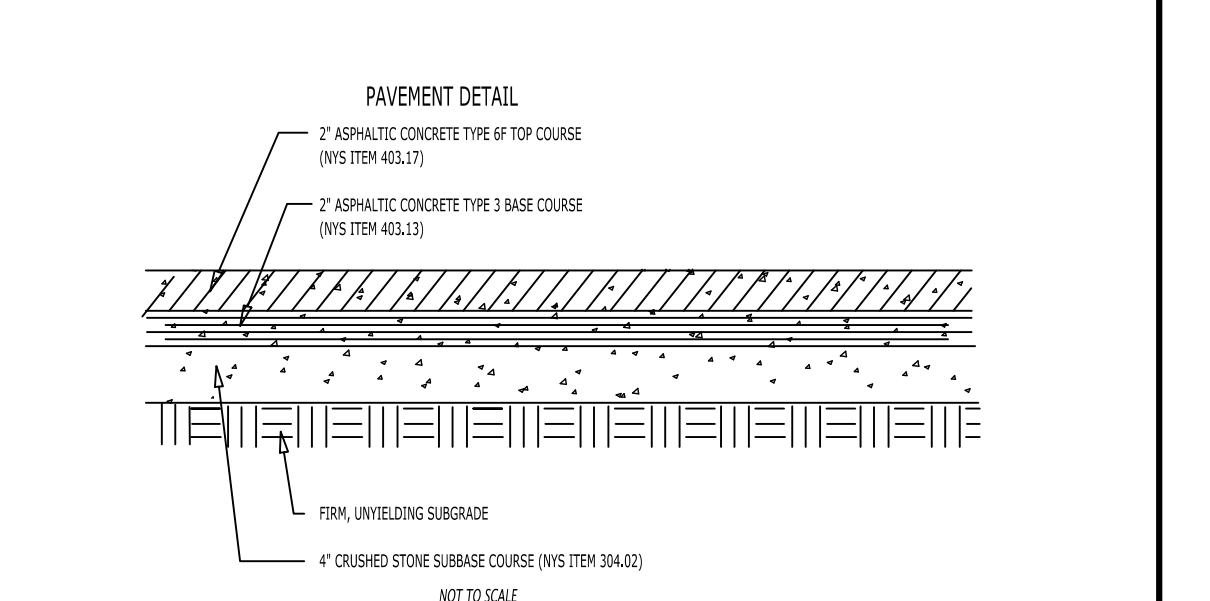
STANDARD EROSION CONTROL NOTES:

AN EROSION CONTROL SYSTEM WILL BE UTILIZED BY THE DEVELOPER TO MINIMIZE THE PRODUCTION OF SEDIMENT FROM THE SITE. METHODS TO BE UTILIZED WILL BE THOSE FOUND MOST EFFECTIVE FOR THE SITE AND SHALL INCLUDE ONE OR MORE OF THE FOLLOWING, AS APPLICABLE:

- TEMPORARY SEDIMENTATION ENTRANCE AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE CURBS, HAY BALES, OR OTHER SUITABLE MATERIALS. EXCESSION SWALES, BERMS, OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO ENSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRANCE AREA. THESE AREAS SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
- ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFINISHED FOR MORE THAN 14 DAYS SHALL BE TEMPORARILY SEEDDED WITH 1 LB. OF RYE GRASS OR WHEAT CHAFF WITH 100 LBS. OF STRAW OR HAY PER 1,000 SQUARE FEET AND TEMPORARY DIVERSION DITCHES ARE TO BE PLACED WHERE NECESSARY AS DETERMINED BY THE VILLAGE ENGINEER. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICABLE BY THE INSTALLATION OF THE BASE COURSE.
- SILT THAT LEAVES THE SITE IN SITU OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.

- EROSION AND SEDIMENT CONTROL PLAN - CONSTRUCTION SEQUENCE:**
- ALL EROSION AND SEDIMENT CONTROL MEASURES, INCLUDING CATCH-BASIN MEASURES, SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATIONS AND INSTALLATION OF PROPOSED STRUCTURES AND/OR UTILITIES.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETED AND/OR STABILIZED.
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE AS INDICATED ON PLAN.
 - INSTALL SILT FENCE AND/OR HAY BALE BARRIERS DOWN SLOPE OF ALL AREAS TO BE DISTURBED AND DOWN SLOPE OF ALL AREAS DESIGNATED FOR TOPSOIL STOCKPILING.
 - CONSTRUCT BERMS, TEMPORARY SWALES AND PIPES AS NECESSARY TO DIRECT RUNOFF TO TEMPORARY SEDIMENTATION ENTRANCE AREAS.
 - CLEAR EXISTING TREES, VEGETATION AND EXISTING STRUCTURES FROM AREAS TO BE FILLED OR EXCAVATED. STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE DISTURBED. SEED STOCKPILE TOPSOIL WITH TEMPORARY RYE GRASS COVER.
 - PERFORM EXCAVATION AND FILL TO BRING LAND TO DESIRED GRADE. ANY DISTURBED AREAS TO REMAIN BARE SHOULD BE SEEDDED WITH TEMPORARY RYE.
 - INSTALL UNDERGROUND UTILITIES, MANHOLES AND CATCH BASINS. GRATES OF CURB AND FIELD INLETS SHOULD BE LEFT AT ELEVATIONS WHICH WILL PERMIT PROPER COLLECTION OF SURFACE RUNOFF.
 - INSTALL INLET PROTECTION AROUND ALL CURB AND FIELD INLETS. ALL INLET PROTECTION SHALL BE TREATED WITH THE CATCH BASIN FILTER FABRIC DETAIL.
 - CONSTRUCT CURBS AND INSTALL BASE AND BINDER COURSES OF PAVEMENT AREAS. RAISE GRATES OF CURB AND FIELD INLETS ACCORDINGLY.
 - COMPLETE FIRE GRADING.
 - RAISE GRATES OF CURB AND FIELD INLETS TO FINAL ELEVATIONS. INSTALL SURFACE COURSE OF PAVEMENT.
 - UPON COMPLETION OF CONSTRUCTION DISTURBED AREAS ARE TO BE SEEDDED. REFER TO LANDSCAPING PLAN FOR PERMANENT SEEDING SPECIFICATIONS. ALL TEMPORARY DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
 - SILT FENCE AND CONSTRUCTION STABILIZED PAVES ARE TO BE PROVIDED FOR EACH BUILDING PAD DURING CONSTRUCTION.

- EROSION AND SEDIMENT CONTROL PLAN - MAINTENANCE PROCEDURE:**
- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR SUITABILITY AND OPERATION FOLLOWING EVERY RAINFALL PRODUCING RAINFALL, BUT IN NO CASES LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED AND INSTALLED FOR THEIR APPROPRIATE PHASE OF THE PROJECT.
 - SEDIMENT WILL BE REMOVED FROM THE SEDIMENT TRAP AND BLOCK AND GRAVEL INLET PROTECTION DEVICE WHEN STORAGE CAPACITY HAS BEEN APPROXIMATELY 50% FILLED. GRAVEL WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT FENCE NO LONGER DRAINS PROPERLY.
 - SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES ABOUT 0.5 FT DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY OR STREETS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL AGGREGATE. ALL SEDIMENT SPILLED, DROPPED, OR WASHED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. WHEN NECESSARY, WHEELS MUST BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH AGGREGATE, WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERCOURSES.
 - ALL SEEDING AREAS WILL BE FERTILIZED, AND RE-SEEDING AS NECESSARY.



PAVEMENT DETAIL
N.T.S.

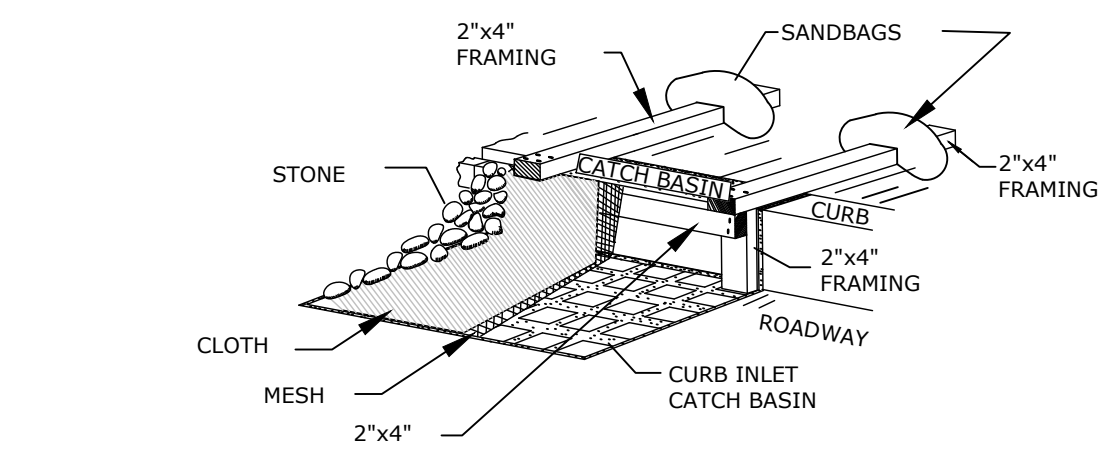
UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS MAP NOT LEAVING THE SEAL OF THE SURVEYOR OR ENGINEER SHALL NOT BE VALID.

CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

USE OF UNSEALED COPIES OF THIS DOCUMENT IN ANY COURT, FINANCIAL TRANSACTION, OR FILING WITH ANY FEDERAL, STATE, OR OFFICE IS AN UNAUTHORIZED VIOLATION OF FEDERAL COPYRIGHT LAWS.



BUILDING SEWER CLEANOUT
N.T.S.

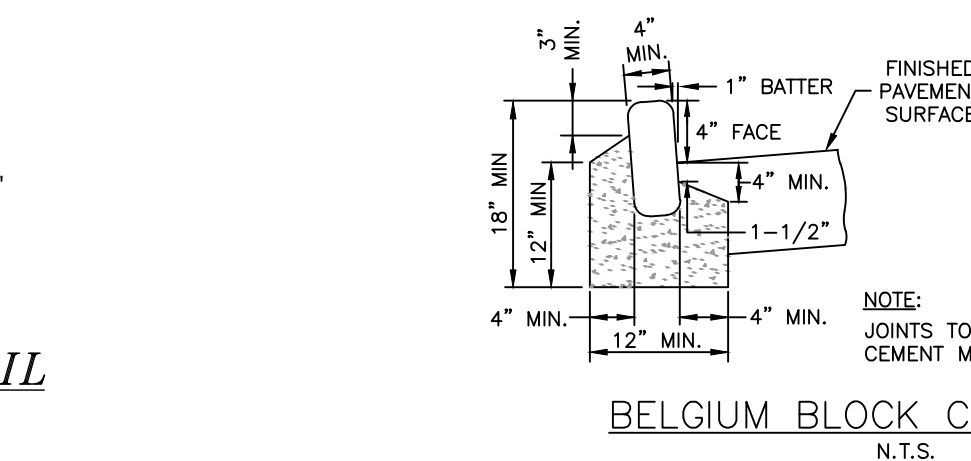


STORM DRAIN INLET PROTECTION DETAIL FOR CURB INLETS
NOT TO SCALE

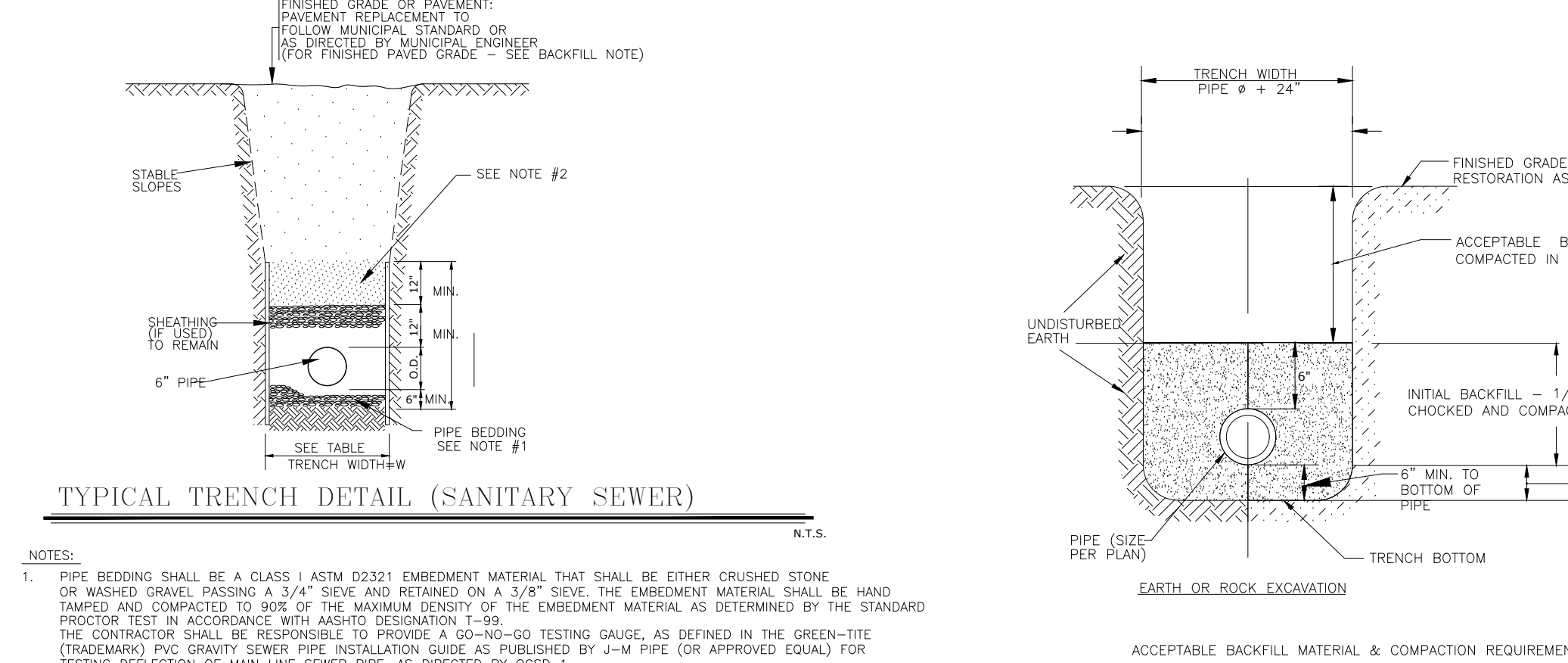
- CONSTRUCTION SPECIFICATIONS**
- FILTER FABRIC SHALL HAVE AN EOS OF 40-85.
 - WOODEN FRAME SHALL BE CONSTRUCTED OF 2"x4" CONSTRUCTION GRADE LUMBER.
 - THE ASSEMBLY SHALL BE PLACED AGAINST THE INLET AND SECURED BY 2"x4" ANCHORS 2 FEET LONG EXTENDING ACROSS THE TOP OF THE CURB AND SIDEWALK AND HELD IN PLACE BY SANDBAGS OR ALTERNATE WEIGHTS.

MAXIMUM DRAINAGE AREA 1 ACRE

STORM DRAIN INLET PROTECTION DETAIL FOR CURB INLETS
NOT TO SCALE



BELGIUM BLOCK CURB DETAIL
N.T.S.



TYPICAL TRENCH DETAIL (SANITARY SEWER)
N.T.S.

- NOTES:**
- PIPE BEDDING SHALL BE A CLASS I ASTM D2321 EMBEDMENT MATERIAL THAT SHALL BE EITHER CRUSHED STONE OR WASHED GRAVEL PASSING A 3/4" SIEVE AND RETAINED ON A 3/8" SIEVE. THE EMBEDMENT MATERIAL SHALL BE HAND TAMPED AND COMPACTED TO 90% OF THE MAXIMUM DENSITY OF THE EMBEDMENT MATERIAL AS DETERMINED BY THE STANDARD PROCTOR TEST IN ACCORDANCE WITH ASPHTO DESIGNATION T-99.
 - BACKFILL FROM 12 IN. TO 24 IN. ABOVE THE PIPE EMBEDMENT MATERIAL SHALL BE FINE EARTH FREE FROM CONDS AND SHALL BE MECHANICALLY COMPACTED. REMAINING BACKFILL SHALL BE FREE FROM LARGE CLODS, ROCKS, AND CHOKERS.
 - PLACE EMBEDMENT MATERIAL BY HAND AND HAND COMPACT UNDER AND AROUND SIDES OF PIPE. PLACE EMBEDMENT MATERIAL IN 6" LAYERS ABOVE TOP OF PIPE, AND HAND COMPACT TO A POINT 12" MINIMUM ABOVE THE TOP OF PIPE.
 - THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A COMPETENT PERSON DURING ALL PHASES OF CONSTRUCTION WHOSE DUTY SHALL BE TO INSURE THAT ALL PHASES OF CONSTRUCTION ARE IN FULL COMPLIANCE WITH OCSO NOT SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL STATUTES, CODES, RULES, REGULATIONS AND LAWS INCLUDING, BUT NOT LIMITED TO UNITED STATES DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND N.Y.S. DEPARTMENT OF LABOR FOR OSHA SECTIONS 1910.146-PERMITTED EXCAVATION, 1904.650-EXCAVATION GENERAL PROTECTION REQUIREMENTS AND 1926.651-TRENCHING AND SHORING, STATE OF NEW YORK UNIFORM FIRE PREVENTION AND BUILDING CODES AND NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 991-EXCAVATION GENERAL PROTECTION REQUIREMENTS.
 - ALL APPROVED MAIN LINE SEWER PIPE SHALL BE THE SAME MATERIAL FROM MANHOLE TO MANHOLE.
 - FILL SECTION AREA MUST BE GRADED WITH THE PLACEMENT OF SUITABLE SOIL MATERIAL AS DETERMINED BY THE PROJECT SITE ENGINEER IN 12 INCH (MAX.) LAYERS COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM DENSITY OF THE FILL SOIL AS DETERMINED BY THE STANDARD PROCTOR TEST(ASPHTO DESIGNATION T-99) TO 2 FEET (MIN.) ABOVE THE TOP OF PIPE AT A MINIMUM WIDTH OF 0.0 + 4". BEFORE TRENCH EXCAVATING.
 - ANY FILL SECTION AREA THAT DOES NOT CONFORM TO THIS FILL SECTION AREA COMPACTION STANDARD SHALL REQUIRE THE INSTALLATION OF CLASS 52 D.P.R. TAR COATED INSIDE AND OUT, FROM MANHOLE TO MANHOLE FOR SEWER MAINS AND LOCAL COLLECTION LINES. THE ENTIRE SERVICE LINE RUN FOR BUILDING LATERAL SEWERS ALL FILL SECTION AREAS SHALL REQUIRE REVIEW AND APPROVAL BY OCSO1 BEFORE INSTALLING PIPE.
 - WHERE ROCK IS ENCOUNTERED IN TRENCH BOTTOM, UNDERCUT MUST BE MADE BETWEEN 12 INCH (MIN.) TO 24 INCH (MAX.)
 - WHERE UNSUITABLE MATERIAL IS ENCOUNTERED IN TRENCH BOTTOM, UNDERCUT TO SUITABLE MATERIAL, (AS APPROVED).

ACCEPTABLE BACKFILL MATERIAL & COMPACTION REQUIREMENTS

DESCRIPTION	ASTM D2321	SOIL CLASSIFICATION	ASTM D2487	AASHTO M33	MINIMUM STANDARD PROCTOR DENSITY %
GRADED OR CRUSHED, CRUSHED STONE, GRAVEL	CLASS I	-	-	5-6	DUMPED
SAND, GRAVELS AND GRAVEL/SAND MIXTURES, LITTLE OR NO FINES	CLASS II	GW GP SW SM	GM GC SC	57 6	85%
SILTY OR CLAYEY GRAVELS, GRAVEL/SAND/SILT OR GRAVEL AND CLAY MIXTURES, SILTY OR CLAYEY SANDS, SAND/CLAY OR SAND/SILT MIXTURES	CLASS III	GM GC SM SC	GM GC SM SC	<10% (FINES)	90%

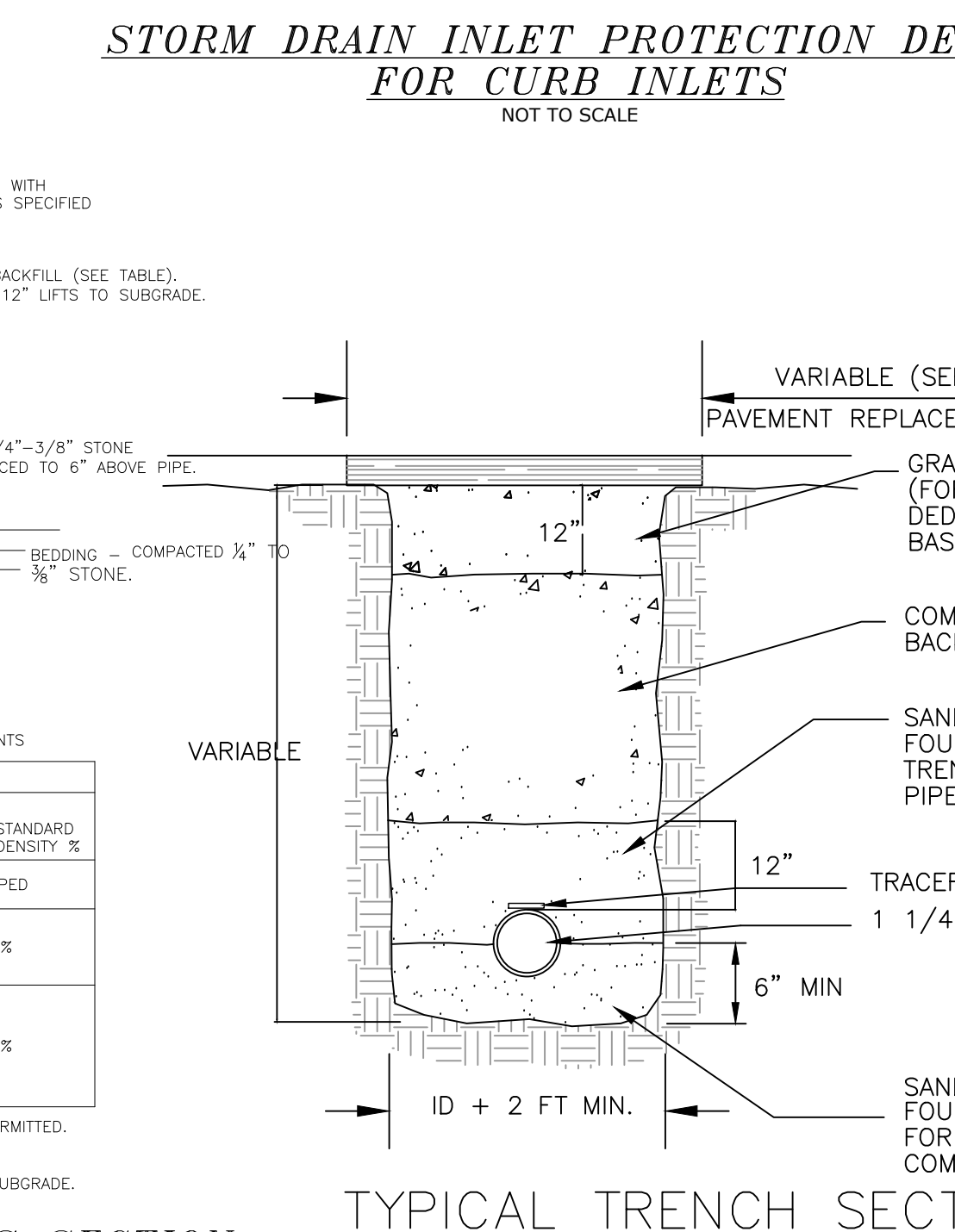
NOTES:

INORGANIC SILTS, CLAYS, AND OTHER CLASS IV MATERIAL SHALL NOT PERMITTED.

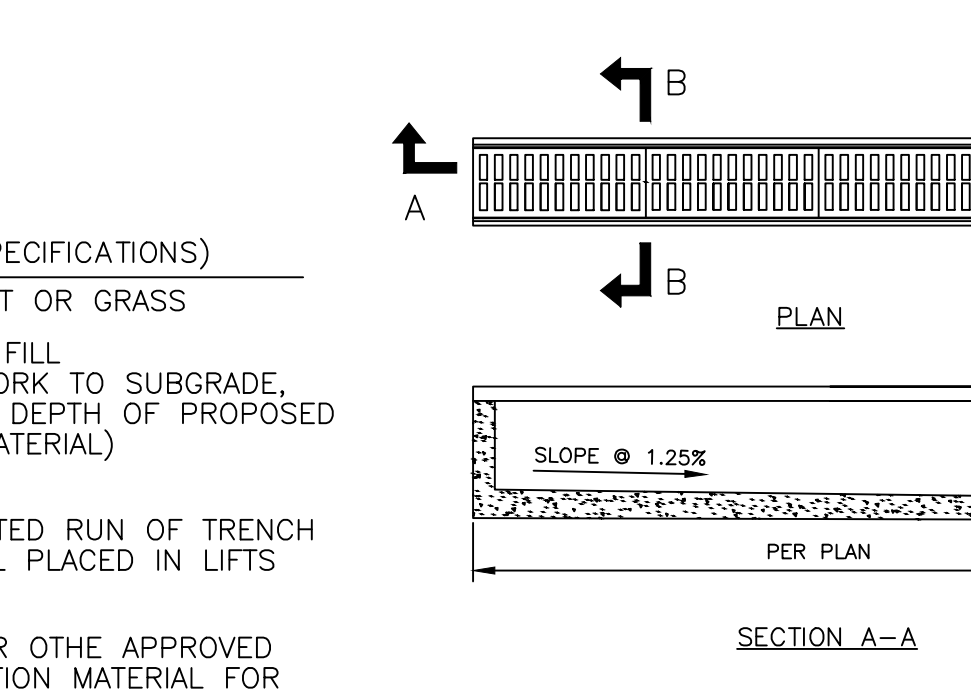
BACKFILL SHALL CONTAIN NO STONES OVER 6" IN DIMENSION.

IN PAVED AREAS BACKFILL TO BE ITEM 4 (NYSDOT ITEM 304.05) TO SUBGRADE.

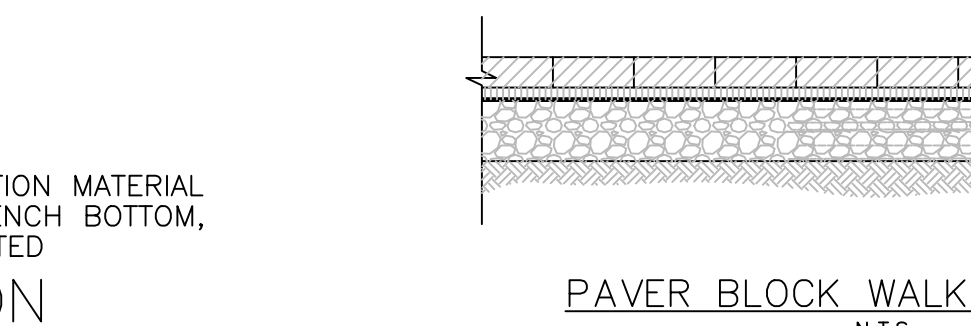
STORM SEWER TRENCH CROSS SECTION
NOT TO SCALE



TYPICAL TRENCH SECTION
N.T.S.



TRENCH DRAIN DETAIL
N.T.S.



PAVER BLOCK WALKWAY DETAIL
N.T.S.

REVISIONS

2 11/8/25 REVISION	FILE # 5MAURICE
1 10/28/25 REVISION	DATE JAN. 19, 2025
	SCALE 1" = 20'
	DWG NO. 2 OF 2

DETAIL SHEET FOR 5 MAURICE LANE

LOCATED IN THE VILLAGE OF WESLEY HILLS ROCKLAND COUNTY, NEW YORK

GRAPHIC SCALE

PAUL GDANSKI, PE, PLLC

3512 WHITTIER COURT
MALDEN, N.J. 07430
TEL: (917) 418-0909



10.31.25

3 Laura Ln, Spring Valley, NY 10977 41.08-2-25

PROJECT DESCRIPTION

The applicant proposes the construction of an approximately 1,250 sq. ft. addition to the existing single-family approximately 5,000 sq. ft. home at 3 Laura Ln. The addition includes an extended bedroom, extended dining room, remodeled kitchen and new family room.

The purpose of this addition is to provide the homeowner with additional living space to accommodate the functional needs of their family.

The applicant is requesting the following variances:

1. Building Coverage:
 - Maximum: .1271
 - Proposed: .136

2. Total Side Yard:
 - Required: 60'
 - Existing: 38.1'
 - Proposed: 37.1'

These variances are small and represent minimal deviations from the zoning requirements.

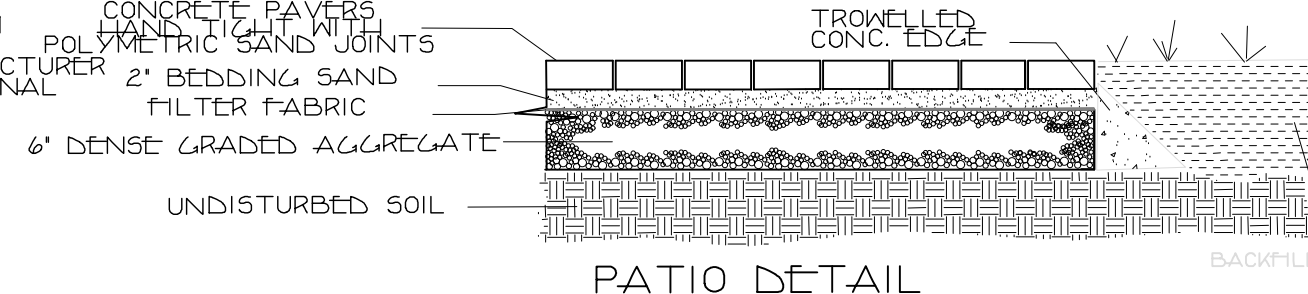
TAX LOT: SECTION 41.08, BLOCK 2, LOT 25

REFERENCES:
 - ALL BOUNDARY & TOPOGRAPHIC INFORMATION IS REFERENCED FROM A SURVEY PREPARED BY PAX SURVEYING & ENVIRONMENTAL CONSULTANTS LLC DATED JUNE 23, 2023

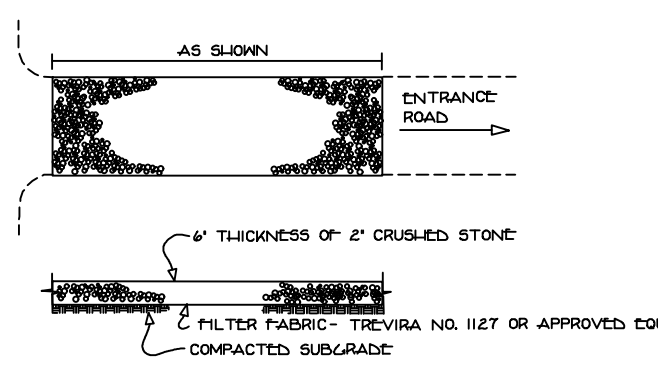
- BEING ALSO KNOWN AS LOT 3 IN BLOCK D ON A CERTAIN MAP ENTITLED "REVISED MAP, SECTION 2, WILLOW TREE HEIGHTS, IN POMONA, TOWN OF RAMAPO, ROCKLAND COUNTY, NY" WHICH SAID MAP WAS FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON 10/30/1958, AS MAP NO. 3281

NOTES:

1. IF LOWEST FLOOR TO BE SEWERED IS BELOW THE UPSTREAM RIM ELEVATION, AN EXTERIOR CHECK VALVE MUST BE INSTALLED.
 2. PERMEABLE PAVEMENT INSTALLATION MUST BE DONE PER MANUFACTURER SPECIFICATIONS AND MUST BE CERTIFIED BY LICENSED PROFESSIONAL ENGINEER. SOIL TESTING REQUIRED PER NYSDEC APPENDIX D.



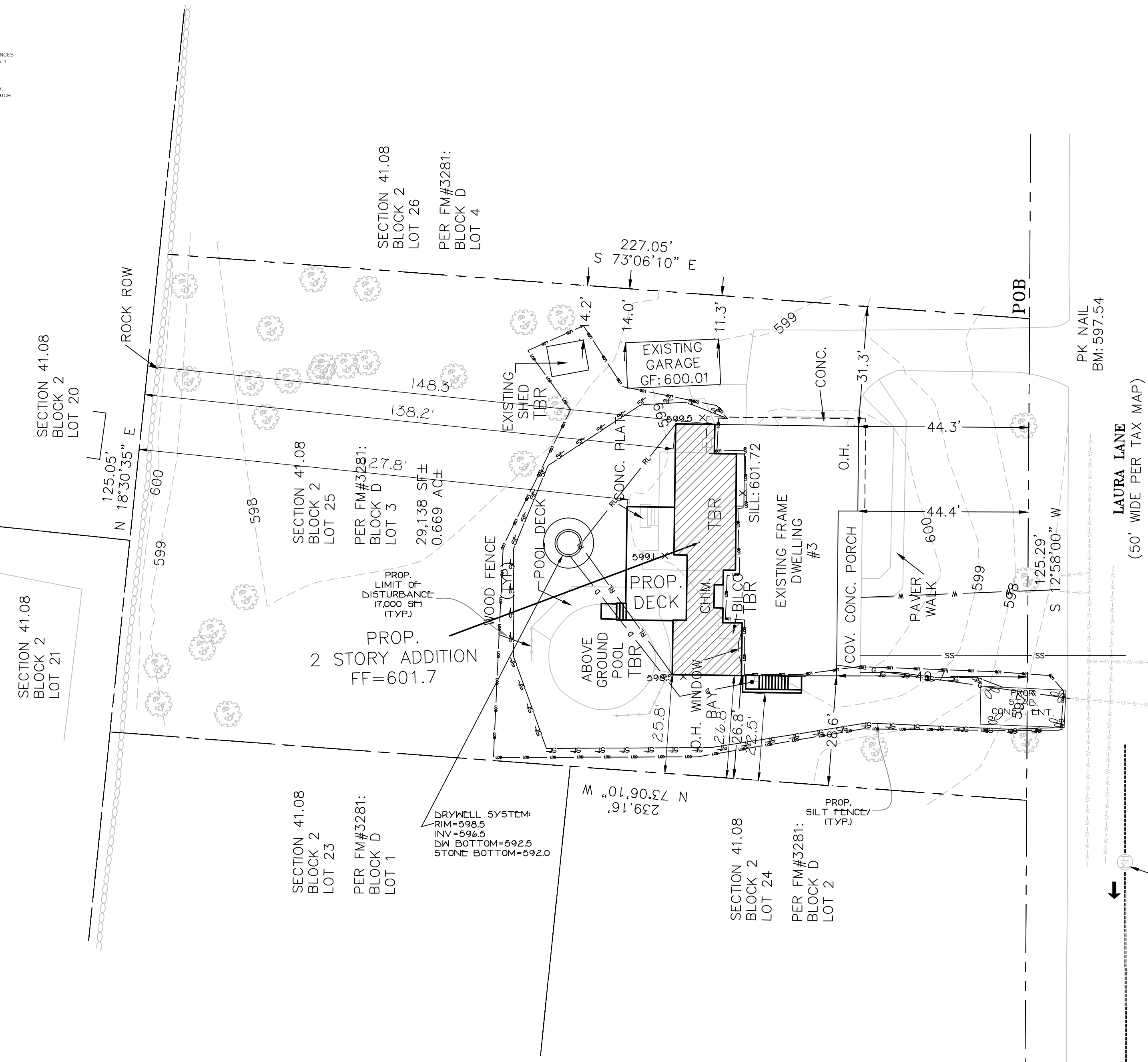
PATIO DETAIL
N.T.S.



STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

CONSTRUCTION SPECIFICATIONS:

- STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LATCH - NOT LESS THAN 6 FEET.
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWENTY-FOUR (24) INCHES MINIMUM BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS, TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A ROADABLE SLOPE WITH 1:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY. ALL SEDIMENT SPILLED, CROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS OF WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH GRABES INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



COVERAGE:
 DWELLING = 2,057 SF
 FRONT PORCH = 266 SF
 GARAGE = 287 SF
 DRIVEWAY & WALK = 1,558 SF
 SHED = 77 SF (TBR)
 CONC = 12 SF (TBR)
 BLDG = 25 SF (TBR)
 DECK = 448 SF (TBR)
 POOL DECK = 271 SF (TBR)
 POOL = 567 SF (TBR)
 PROP. ADDITION = 912 SF
 PROP. DECK = 433 SF
 PROP. CONC = 16 SF
 TOTAL IMPERVIOUS = 5,509 SF
 PRO. COV. = 5,509 SF / 29,138 SF = 0.189

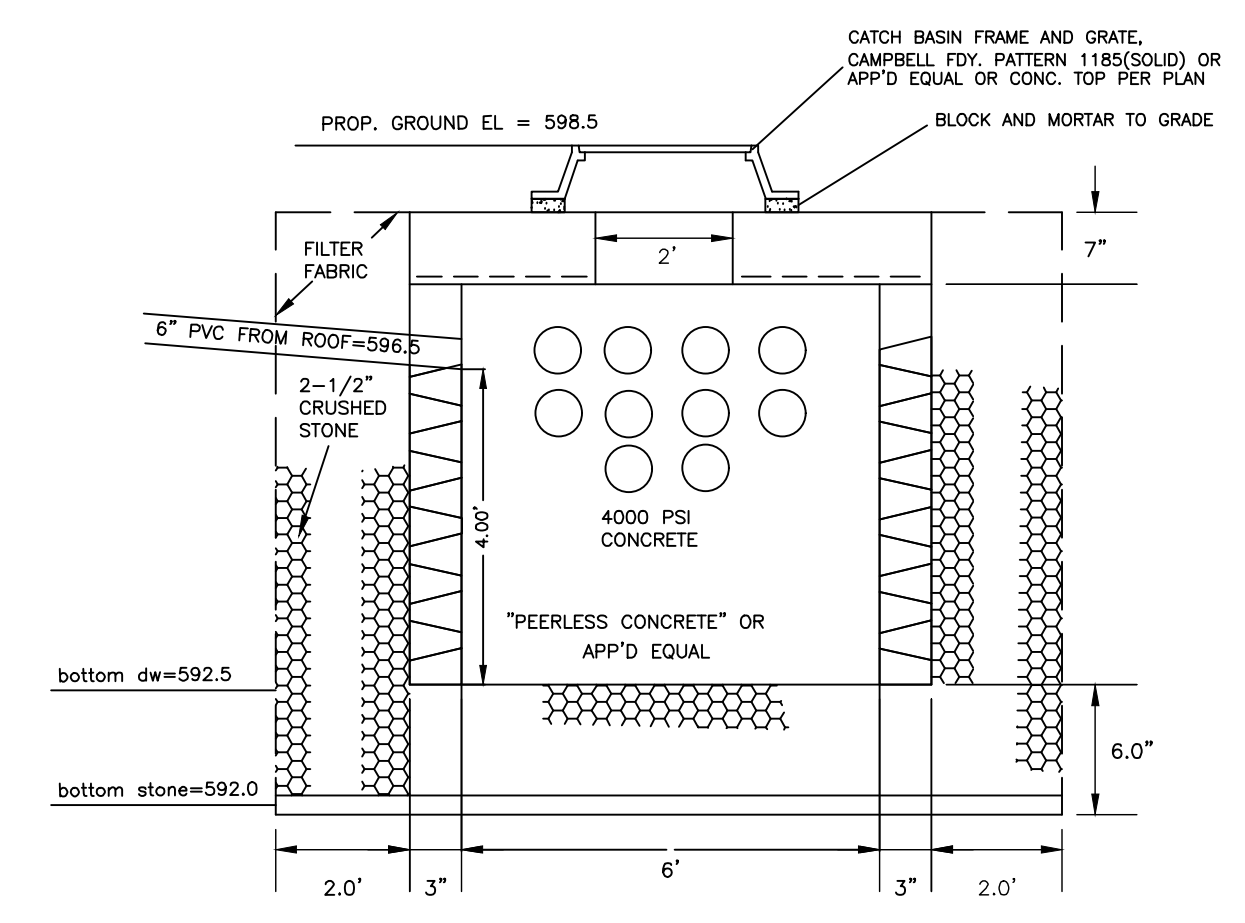
MAXIMUM BUILDING COVERAGE CALCULATION PER ZONING LAW:
 SQUARE FOOTAGE OF BUILDINGS LESS THAN 15' HEIGHT OR 1-1/2 STORIES = 1,278 SF
 TOTAL BUILDING AREA = 2,057 SF + 1,278 SF = 3,335 SF
 MAX ALLOWED = 1,278 SF / 3,335 = 0.05 + 0.10 = 0.15
 BLDG COVERAGE = 3,335 / 29,138 SF = 0.115
 1.5 STY = 1154 SF (DWELLING) + 433 SF + 266 SF + 287 SF = 2,140 SF
 TOTAL = 3,955 SF (PER ARCH)
 2,140 SF / 3,955 SF = 0.05 + 0.10 = 0.15
 BLDG COV = 3,955 SF / 29,138 SF = 0.156

BUILDING HT CALCS:
 BUILDING HEIGHT
 AVG EXIST. GRADE = 599.5 + 600.5 + 1200 / 2 = 600.0
 60.7 - 600.0 = 17 + 16.5 FT TO EAVE = 18.2'
 EXPOSED HEIGHT
 AVG FINISHED GRADE REAR = 598.5 + 599.5 - 1.98 / 2 = 599.0
 HEIGHT TO GRADE = 60.7 - 599.0 = 2.7'
 EXPOSED HT = 2.7 + 24.5 FT TO HEIGHT = 27.2'

FRONT YARD IMPERVIOUS AREA:
 EXISTING/PROP.
 DRIVEWAY & WALK = 819 SF
 AREA = 5,550 SF
 EXIST. FV1 = 819 SF / 5,550 SF = 0.148

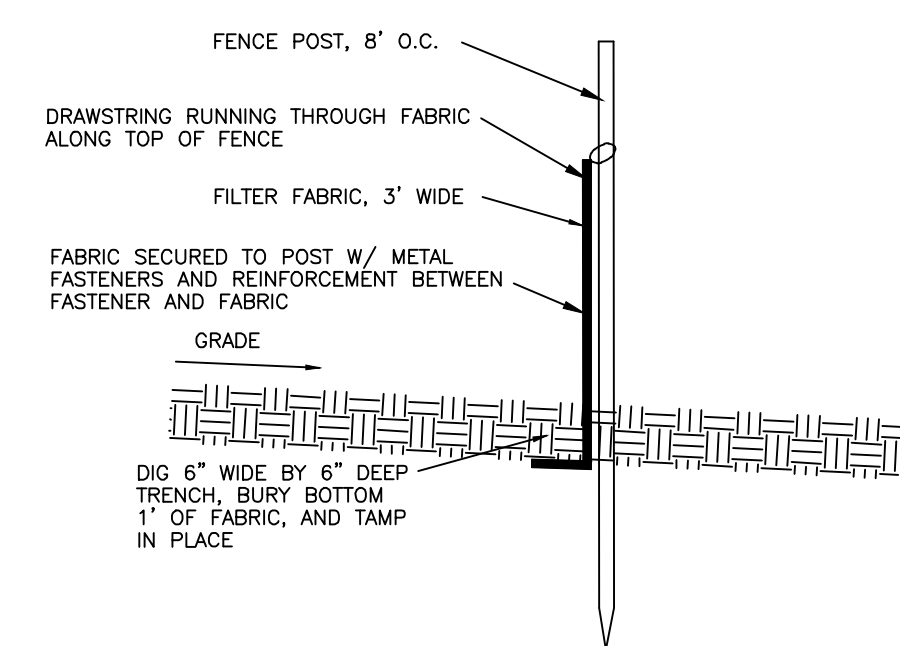
	MINIMUM LOT AREA (SF)	MINIMUM LOT FRONTAGE (FT)	MINIMUM LOT WIDTH (FT)	MINIMUM EFFECTIVE SQUARE SIDE (FT)	FRONT YARD (FT)	SIDE YARD (FT)	TOTAL SIDE YARD (FT)	REAR YARD (FT)	MAXIMUM IMPERVIOUS SURFACE RATIO	MAXIMUM FRONT YARD IMPERVIOUS SURFACE RATIO	MAXIMUM BUILDING COVERAGE	MAXIMUM BUILDING HEIGHT (STORIES/FT)	MAXIMUM EXPOSED BUILDING HEIGHT (FT)
REQD	35,000	100	125	125	50	25	60	50	0.25	0.20	0.10/0.12/1	2.5 / 25	40
EXIST.	29,138	125.5	125.5	125.0	44.5*	11.5*	56.0*	148.5	0.197	0.148	0.115	18.2	27.2
PROV.	29,138	125.5	125.5	125.0	44.5*	11.5*	57.0**	138.2	0.189	0.148	0.136**	18.2	27.2

* EXISTING NON-CONFORMING
 ** VARIANCE REQUIRED



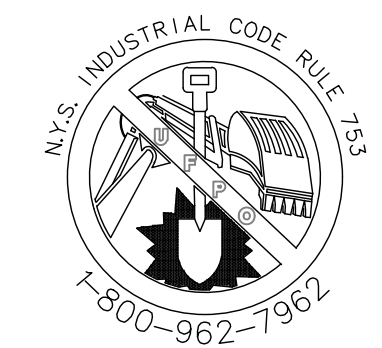
SEEPAGE PIT SYSTEM: 10.5' X 10.5'
N.T.S.

- NOTES:
- SET PIT IN 10.5'X10.5' OVERALL EXCAVATION, BACKFILL WITH ALL CLEAN STONE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING SEASONAL HIGH WATER TABLE. NO SEEPAGE PITS AND/OR STONE SHALL BE SET BELOW SEASONAL HIGH WATER. AND ENGINEER MUST BE CONTACTED IN WRITING SHOULD WATER BE ENCOUNTERED.
- SEEPAGE PIT MAINTENANCE NOTES
- SEEPAGE PITS SHALL BE MAINTAINED BY THE OWNERS OF THE LOTS ON WHICH THEY ARE SITUATED.
 - SAID OWNERS SHALL INSPECT SEEPAGE PITS ON A TWICE YEARLY BASIS AND REMOVE ANY ACCUMULATED SEDIMENT (OR AFTER ANY SIGNIFICANT STORM).
 - IF EVIDENCE PERSISTS THAT THE SEEPAGE PITS ARE NOT FUNCTIONING PROPERLY (I.E. WATER BACKING-UP IN SYSTEM, ETC.), THE OWNERS SHALL INSPECT THE PITS AS SOON AS REASONABLY POSSIBLE AND MAKE NECESSARY REPAIRS TO ENSURE PROPER FUNCTION OF THE SYSTEM.



SILT FENCE
N.T.S.

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PAUL GDANSKI, PE, PLLC
 3512 WHITTIER COURT
 MALDEN, N.J. 07430
 TEL: (917) 418-0999



VICINITY MAP

REVISIONS	DATE	DESCRIPTION
10/31/25	REVISE	

PLOT PLAN FOR
ROSENSTOCK
 3 LAURA LANE
 TAX LOT 41.08-2-25
 LOCATED IN THE
 VILLAGE OF WESLEY HILLS
 ROCKLAND COUNTY, NEW YORK
 GRAPHIC SCALE

PAUL GDANSKI, PE, PLLC
 3512 WHITTIER COURT
 MALDEN, N.J. 07430
 TEL: (917) 418-0999

**Israel & Melanie Dahan
20 Charlotte Drive
Spring Valley, New York 10977 Kurtz**

November 11, 2025

Village of Wesley Hills:

We have been informed that a matter has come before the Village of Wesley Hills whereas an application has been filed for a variance for the property at 3 Laura Lane.

We reside a few houses away from 3 Laura Lane, and respectfully ask that this variance request be approved.

With best wishes,



Israel Dahan

Gershon Mack
1 Laura Lane
Spring Valley, New York

November 12, 2025

Village of Wesley Hills

I understand that a variance request has been made for
3 Laura Lane, a property adjacent to my property.

I have no objection to the variance and ask that it be granted.

Thank you.

Gershon Mack

A handwritten signature in cursive script that reads "Gershon Mack". The signature is written in dark ink and is positioned below the printed name "Gershon Mack".

Department of
Education
and Vocational
Training

10/10/2000

10/10/2000

10/10/2000
10/10/2000
10/10/2000

10/10/2000
10/10/2000

**Seth and Zeecy Kurtz
12 Deerwood Road
Spring Valley, New York 10977 Kurtz**

November 10, 2025

To the Village of Wesley Hills:

I understand that a matter has come before the Village of Wesley Hills whereas an application has been filed for a variance for the property at 3 Laura Lane.

We ask that the variance be approved.

Thank you for all you do for our community.

A handwritten signature in black ink, appearing to be 'Seth Kurtz', written over the printed name.

Seth Kurtz

John and Nancy
73 Glenwood Lane
Spring Valley, New York 10577

Mr. Robert J. ...

100 ...

...
...
...
...
...

...



Mr. Dov and Mindy Reifer
23 Glenbrook Road
Wesley Hills, NY 10952

Nov 9, 2025

Zoning Board of Appeals

Village of Wesley Hills

432 Route 306

Wesley Hills, NY 10952

Re: *The Yurowitz Residence, 21 Glenbrook Rd Wesley Hills*

Dear Members of the Zoning Board of Appeals,

We are neighbors of the Yurowitz family and have reviewed their recent renovations, including the aspects requiring variances related to building coverage and the width and gradient of their driveway.

We appreciate the overall design and appearance of their property and believe the improvements enhance the neighborhood. We have no objections to the variances requested and respectfully urge the Zoning Board of Appeals to grant all necessary approvals.

Thank you for your time and consideration.

Respectfully submitted,



Mr. Dov and Mindy Reifer

Mr. Michael and Dasya Katz
20 Glenbrook Road
Wesley Hills, NY 10952

Nov 9, 2025

Zoning Board of Appeals

Village of Wesley Hills

432 Route 306

Wesley Hills, NY 10952

Re: *The Yurowitz Residence, 21 Glenbrook Rd Wesley Hills*

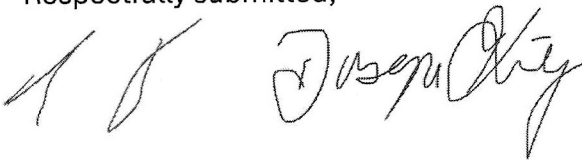
Dear Members of the Zoning Board of Appeals,

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Thank you for your time and consideration.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Joseph Kelly". The signature is written in a cursive style with a large, prominent "J" and "K".

Mr. Michael and Dasya Katz

Mr. Phillip and Esti Rausman

15 Glenbrook Road

Wesley Hills, NY 10952

Nov 9, 2025

Zoning Board of Appeals

Village of Wesley Hills

432 Route 306

Wesley Hills, NY 10952

Re: *The Yurowitz Residence, 21 Glenbrook Rd Wesley Hills*

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Thank you for your time and consideration.

Respectfully submitted,



Mr. Phillip and Esti Rausman

Mr. Robert and Rachel Rausman

22 Amsterdam Ave.

Wesley Hills, NY 10952

Nov 9, 2025

Zoning Board of Appeals

Village of Wesley Hills

432 Route 306

Wesley Hills, NY 10952

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Thank you for your time and consideration.

Respectfully submitted,

Mr. Robert and Rachel Rausman

A handwritten signature in black ink, appearing to be 'R. Rausman', with a horizontal line extending to the right.

Mr. Meir and Yocheved Friedman
29 Glenbrook Rd.
Wesley Hills, NY 10952

Nov 9, 2025

Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, NY 10952

Re: *The Yurowitz Residence, 21 Glenbrook Rd Wesley Hills*

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Thank you for your time and consideration.

Respectfully submitted,



Mr. Meir and Yocheved Friedman

Mr. Ushi and Shaindy Edelstein

17 Glenbrook Road

Wesley Hills, NY 10952

Nov 9, 2025

Zoning Board of Appeals

Village of Wesley Hills

432 Route 306

Wesley Hills, NY 10952

Re: *The Yurowitz Residence, 21 Glenbrook Rd Wesley Hills*

Dear Members of the Zoning Board of Appeals,

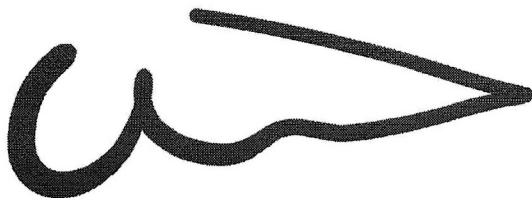
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Thank you for your time and consideration.

Respectfully submitted,

Mr. Ushi and Shaindy Edelstein

A handwritten signature in black ink, consisting of a stylized, cursive 'u' followed by a long, horizontal, slightly wavy line that ends in a sharp point to the right.