



PLANNING BOARD MEETING AGENDA

August 27, 2025 at 7:30 PM

432 Route 306, Wesley Hills, NY 10952

Phone: 845-354-0400 | Fax: 845-354-4097

CALL TO ORDER

ROLL CALL

PUBLIC HEARING

- 1. PUBLIC HEARING ON THE APPLICATION SUBMITTED BY WILLOW TREE MANAGEMENT FOR ARCHITECTURAL PLAN REVIEW.** Affecting property located on the western side of Rochelle Lane, 0 feet from the intersection of East Willow Tree Road. Designated on the Town of Ramapo Tax Map as Parcel ID #41.08-1-58.1. Subject property located at 1 Rochelle Lane.

DISCUSSIONS

- 2. DISCUSSION ON THE APPLICATION SUBMITTED BY COOL POOL FOR RAJIV DIWAN FOR A WETLANDS PERMIT.** Affecting property located on the southeastern side of Spook Rock Road, 0 feet from the intersection of Joy Road. Designated on the Town of Ramapo Tax Map as Parcel ID#41.05-1-19. Subject property is located at 26 Spook Rock Road.
- 3. DISCUSSION ON THE APPLICATION SUBMITTED BY STANLEY MAYERFELD FOR A WETLANDS PERMIT.** Affecting property located on the western side of Wilder Road, 500 feet from the intersection of Carter Lane. Designated on the Town of Ramapo Tax Map as Parcel ID#41.06-1-70. Subject property is located at 39 Wilder Road.

ADJOURNMENT

Narrative for ARB Presentation

1 Rochelle Lane, Wesley Hills, NY

We are pleased to present the proposed architectural and landscape design for a new single-family residence at 1 Rochelle Lane, located in the Village of Wesley Hills. This project reflects a cohesive vision that integrates high-end architectural finishes with a thoughtfully curated landscape, enhancing both the visual appeal and environmental harmony of the property.

Architectural Design:

Exterior Finishes:

- White marble cladding on the north, east, and south elevations, offering a timeless and elegant façade.
- Hardie board siding on the west (rear) elevation, providing a durable and complementary finish.
- Black soffits and black Andersen windows and doors create a striking contrast and modern aesthetic.
- A large iron double glass front door serves as a bold and welcoming focal point.

Structure & Features:

- The home includes two single-car garages, seamlessly integrated into the design.
- A private backyard pool enhances the lifestyle experience and is positioned to maintain privacy and visual balance.

Landscape Design:

The landscape plan, designed by a licensed landscape architect, emphasizes native and ornamental plantings that complement the home's architecture and the natural character of Wesley Hills.

Key Features:

Tree & Shrub Plantings:

- Red Flowering Dogwood and Japanese Tree Lilac provide seasonal color and vertical interest.
 - Magnolia and Colorado Blue Spruce add structure and year-round greenery.
 - Green Giant Arborvitae offers privacy screening and a lush backdrop.
- Ornamental & Groundcover Plants:
- Globe Winterberry, Green Mountain Boxwood, and Feather Reed Grass contribute texture and form.
 - Perennials such as Nepeta Walkers Low and Arkansas Blue Star add color and pollinator support.
- Hardscape & Site Features:
- A traditional blacktop driveway from street to garages with a permeable motor court

driveway that supports stormwater management and sustainability set in the front of the house.

- Carefully placed plantings around the residence soften the building edges and enhance curb appeal.

Environmental Considerations:

The project incorporates:

- Energy-efficient systems and sustainable materials.
- Native and drought-tolerant plantings to reduce irrigation needs.
- Permeable paving to manage runoff and support groundwater recharge.

Conclusion:

The proposed residence at 1 Rochelle Lane is a refined, environmentally conscious, and aesthetically cohesive addition to the Village of Wesley Hills. The integration of high-quality materials, modern design, and a professionally developed landscape plan ensures the home will enhance the neighborhood's character and meet the community's architectural standards.

We respectfully request the Architectural Review Board's approval for this project.

Materials & Finishes Narrative (Addendum)

To further support our request for ARB approval, we are providing a detailed breakdown of the exterior materials and finishes proposed for the residence at 1 Rochelle Lane. These selections were made with careful consideration to ensure durability, aesthetic harmony, and alignment with the architectural character of the Village of Wesley Hills.

Roof & Siding:

- The roof is constructed using GAD Camelot 2 in antique slate. A high-quality material to ensure longevity and weather resistance.
- Soffits and Fascia are Royal vinyl soffits, 019 aluminum all in black.
- Siding on the front and sides features Marmiro Stones Marble in Kasha (white) a premium natural stone that offers a refined and elegant appearance. The rear siding is Hardie fiber cement cedar mill plank with 7" exposure in arctic white.
- Decorative siding (on rear) is PVC trim board (azek) in white.
- The vestibule will be finished in limestone precast, adding a classical architectural element to the entryway.

Windows & Doors:

- Windows are Andersen 400 Series casements, 6-lite configuration in black, providing a modern contrast and energy efficiency.
- The main front door is custom Exclusive Iron black iron double glass door, serving as a bold and elegant focal point.
- Patio doors are Andersen 400 Series in black, and the rear entry will feature a Therma-Tru Smooth-Star G-lite door, also in black.

Garage Doors:

- The home will include Clopay Canyon Ridge Elements CED112 garage doors in black with clear glass tops, blending modern design with traditional carriage-style aesthetics.

Decking & Railings:

- The rear deck will be constructed using Trex Transcend composite decking in Salt Flat, a low-maintenance, eco-friendly material that complements the home's color palette.
- Railings will be ½" tempered clear glass with black clamp style mounts.

Lighting:

- Exterior lighting will include Hinkley Weymouth wall-mounted lanterns in black for a classic touch, and WAC architectural black floodlights for functional illumination and security.

These materials were selected not only for their visual appeal but also for their performance, sustainability, and compatibility with the surrounding neighborhood. The combination of natural stone, black accents, and high-performance products ensures a cohesive and enduring architectural statement.

PART I

Name of Municipality VILLAGE OF WESLEY HILLS Date 6/23/25

Please check all that apply:

<input type="checkbox"/> Planning Board	<input type="checkbox"/> Municipal Board
<input type="checkbox"/> Zoning Board of Appeals* (Fill out Part II of this form.)	<input type="checkbox"/> Historical Board
	<input checked="" type="checkbox"/> Architectural Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Sketch
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Preliminary
	<input type="checkbox"/> Final
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Zone Change
<input type="checkbox"/> Zoning Code Amendment	
<input type="checkbox"/> Variance	

RECEIVED
VILLAGE OF WESLEY HILLS
JUN 30 2025
BUILDING,
PLANNING & ZONING

RECEIVED
VILLAGE OF WESLEY HILLS
JUL 1 2025
BUILDING,
PLANNING & ZONING

Applicant: Willow Tree Management Phone # 845-45-6565
 Address: 241 Viola Rd. Mansey NY 10952
 Email: solmescher@gmail.com

Project Name: 1 Rochelle Lane
 Tax Map Lot No. 4108-1-5F.1 Map Date 9/17/21 last REV 5.2.22
 Current Zoning: R-35

Location: On the West side of Rochelle Lane
0 feet North of Willow Tree Rd in the
 town of Ramapo hamlet/village of Wesley Hills

Acreage of Parcel 0.8 AC Zoning District R-35
 School District East Ramapo Postal District Spring Valley
 Fire District Molleston Ambulance District
 Water District Suez Sewer District R-50 130

Project Description: (If additional space required, please attach a narrative summary.)
n/w single one family residence

If subdivision:

- 1) Is any variance from the subdivision regulations required? N/A
- 2) Is any open space being offered? If so, what amount?
- 3) Is this a standard or average density subdivision?

If site plan:

- 1) Total size of building(s) in square feet
- 2) Proposed addition
- 3) Number of dwelling units

If special permit, list special permit use and what the property will be used for.

N/A

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area.

Are there streams on the site? If yes, please provide the names. N/A

Are there wetlands on the site? If yes, please provide the names and type. N/A

Project History: Has this project ever been reviewed before? yes

If so, provide a narrative, including the list case number, name, date, and the board you appeared before. Timberline Estates Division

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

Property Owner: Willow Tree Management LLC Phone # 845-425-6565
 Address: 241 Viola Rd Monsey NY Email: Solmenched@gmail.com

Engineer/Architect/Surveyor: Geri Tec Phone # 845-547-2241
 Address: 139 Lafayette Ave Email: charese.davi-tec.com

Attorney: Robert Menche Esq Phone # 914-588-3298
 Address: 386 Rt 59 Monsey NY Email: RMenche@menche-law.com

Contact Person: Sol Menche Phone # 914-588-7621
 Address: 241 Viola Rd Email: Solmenched@gmail.com

VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

AFFIDAVIT OF OWNERSHIP

STATE OF NEW YORK)
COUNTY OF ROCKLAND) SS:
VILLAGE OF WESLEY HILLS)

Karl Ischel authorized Signatory for Willow Tree Payment ("Company")
being duly sworn, deposes and says that he/she resides at 241 Nola Rd
Monsey NY 10952

In the County of Rockland, State of New York; that he/she is the owner in fee of all that certain lot, piece or parcel of land situated, lying and being in the Village of Wesley Hills, and designated on the Town of Ramapo Map as Section No. 41.08 Lot No. 2-58.1 and that he/she hereby authorizes the attached application to be submitted in his/her behalf and that the statements of fact contained in said application are true.
The applicant is the (owner) (contract vendee) of the said property.

Owner: Karl Ischel
Address: 1 Rochelle Ln
Monsey NY 10952

Sworn to before me this 23 day of June 2029

Notary Public [Signature]

ROBERT MENCHE
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 02ME6417664
Qualified in Rockland County
Commission Expires May 17, 2026

DISCLAIMER

APPLICANT TAKES FULL RESPONSIBILITY FOR RESEARCHING THE TAX MAP FOR THE LIST OF NAMES OF PROPERTY OWNERS ON THE ENCLOSED *AFFIDAVIT OF MAILING LIST*, AND SUPPLYING THE NECESSARY AMOUNT OF SELF-ADDRESSED STAMPED ENVELOPES.

THE APPLICANT'S ENVELOPES MUST COINCIDE WITH THE LIST. THE CLERK'S RESPONSIBILITY IS LIMITED TO CHECKING NAMES ON THE ENVELOPES AGAINST THE AFOREMENTIONED AFFIDAVIT BEFORE MAILING THEM.

RECEIPT OF THIS DISCLAIMER IS ACKNOWLEDGED

Sal Maresca
APPLICANT

7/1/25
DATED

VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

AFFIDAVIT OF POSTING

STATE OF NEW YORK)
COUNTY OF ROCKLAND) SS:
VILLAGE OF WESLEY HILLS)

_____ being duly sworn, deposes and says that he/she is the applicant in the matter of an application before the Village of Wesley Hills Planning Board affecting property located at _____, Wesley Hills, Town of Ramapo, Rockland County, New York.

That on the _____ day of _____ 202____, he/she posted the posters provided by the Planning Board of the Village of Wesley Hills giving notice of the hearing on this application in a conspicuous place visible from every street along the frontage of the plot affected by this application.

Signature of Applicant

Sworn to before me this
_____ day of _____ 202____

Notary Public

TARA S ROBERTS
NOTARY PUBLIC STATE OF NEW YORK
RESIDING IN ROCKLAND COUNTY
NO. 01RO6438083
MY COMMISSION EXPIRES 02/07/20

11/41.12-2-63
ZELMANOVIC DAVID & ELAINE
4 MARK DR
SPRING VALLEY, NY 10977

11/41.12-1-19
LERER DANIEL & RIVKA
2 SKYLINE TERR
WESLEY HILLS, NY 10977

11/41.12-1-18
GELBEIN ADAM & JUDITH
6 SKYLINE TERR
SPRING VALLEY, NY 10977

11/41.12-1-20
HANDLER ASHER
PO BOX 580
LAKEWOOD, NJ 08701

11/41.12-2-64
ABIKZER TZIVYA
6 MARK DR
SPRING VALLEY, NY 10977

11/41.12-2-61
3 MARK DR LLC
PO BOX 580
LAKEWOOD, NJ 08701

11/41.12-2-44.1
RAKOWER DOV & TZIPPY
PO BOX D1800
POMONA, NY 10970

11/41.12-2-4
UMANKSKY AMALIA 2016
FAMILY TRUST
57 E WILLOW TREE RD
SPRING VALLEY, NY 10977

11/41.12-2-2
CONG SHAAR HASHAMAYIM
% J. EISENREICH
71 E WILLOW TREE RD
WESLEY HILLS, NY 10977

11/41.12-2-1
TAMBOR JACOB
2 MARK DRIVE
SPRING VALLEY, NY 10977

11/41.08-2-58.16
BRODY RIKKI
2 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.08-2-58.9
WILLOW TREE MNGT LLC
241 VIOLA RD
MONSEY, NY 10952

11/41.12-2-62
BARKHORDAR SIAMAK & SOROH
T
1907 PREUSS RD
LOS ANGELES, CA 90034

11/41.12-1-5
STEFANSKY AARON & FAY
DINAH
91 WILLOW TREE RD E
SPRING VALLEY, NY 10977

11/41.12-1-6
97 E WILLOW TREE ROAD LLC
97 E WILLOW TREE RD
SPRING VALLEY, NY 10977-101

11/41.12-1-7
103 E WILLOW TREE ROAD
LLC & HANDLER ASHER
103 E WILLOW TREE RD
SPRING VALLEY, NY 10977

11/41.12-1-4
HAGER LIPA
2 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-2-58.1
WILLOW TREE MNGT LLC
241 VIOLA RD
MONSEY, NY 10952

11/41.08-2-58.10
LEV GERSHON LLC
23 SOUTH PARKER BLVD
MONSEY, NY 10952

11/41.12-1-3
ASH ROCHEL & URIEL
96 WILLOW TREE RD E
SPRING VALLEY, NY 10977

11/41.08-2-58.15
RUBE DAVID S & ROSOLYN J
4N ROCHELLE LA
WESLEY HILLS, NY 10977

11/41.12-1-2
WEINSTEIN DAVID & SABRINA
LEGACY TRUST
102 E WILLOW TREE RD
WESLEY HILLS, NY 10977

11/41.08-2-57
GRUBER DAVID
4 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-2-58.2
WILLOW TREE MNGT LLC
241 VIOLA RD
MONSEY, NY 10952

11/41.08-1-43
BEREN JONATHAN & DENISE
3 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-2-58.11
EISENREICH JOEL & AHUVA
12 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.08-2-58.14
NORMAN ARYEH CHANI
FAMILY TRUST
6 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.08-1-42
BENISZ MARK & ELIZABETH
5 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-2-56
HOOK JONATHAN & NAOMI
6 DEERWOOD RD
WESLEY HILLS, NY 10977

11/41.08-2-58.12
ADLER ESTHER M & MEYER
10 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.08-2-58.13
MAMMON LAURENCE &
MICHELLE
8 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.08-2-58.3
BRAUNSTEIN SHALOM &
ELIANA
5 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.08-2-55
LOEBENBERG LEGACY TRUST
8 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-1-41
ENGELSTEIN YARON
7 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-2-54
GREENWALD MOISHE &
NICOLE A
10 DEERWOOD RD
SPRING VALLEY, NY 10977

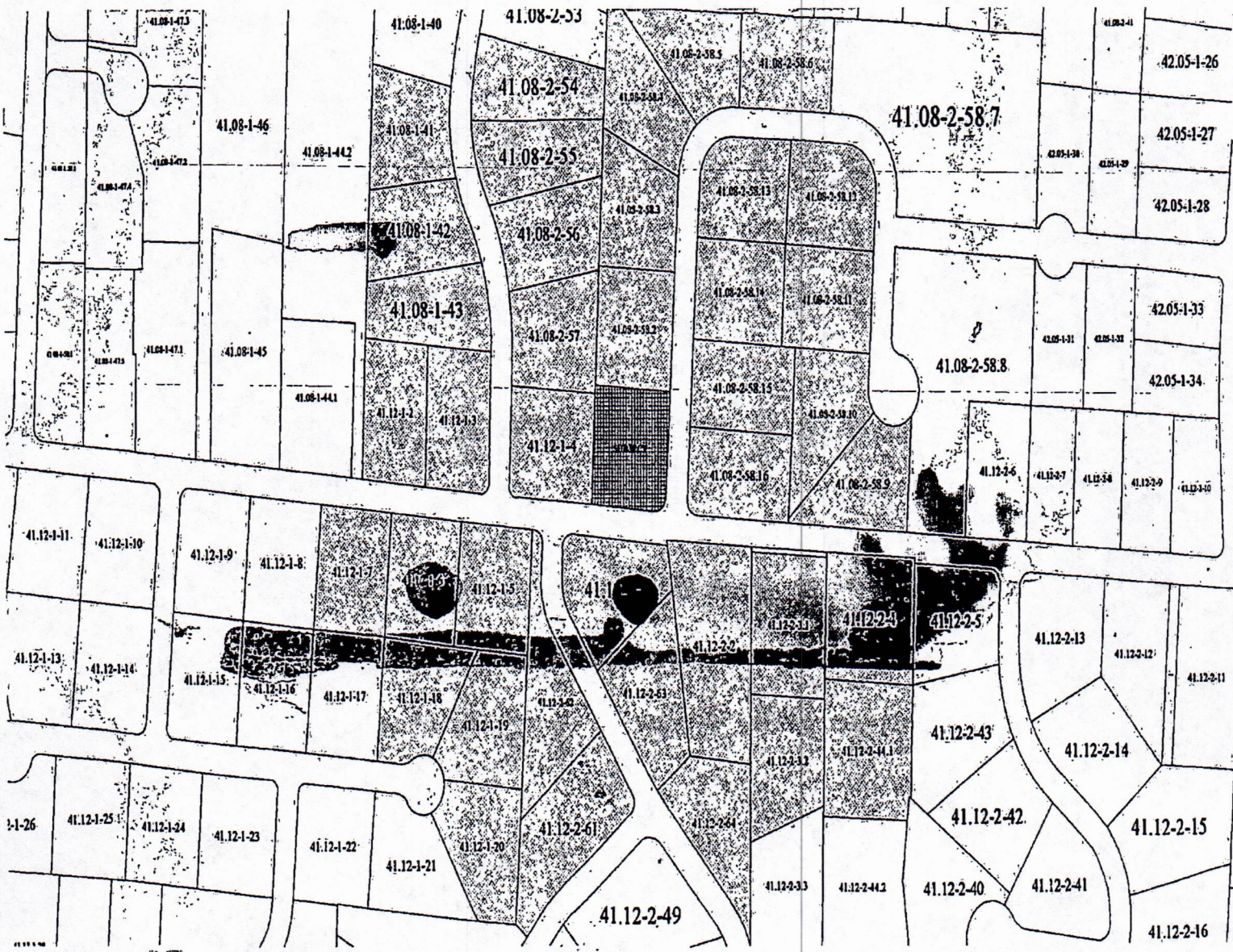
11/41.08-2-58.6
FISHKIND ARI & DEBORAH
11 ROCHELLE LA
SPRING VALLEY, NY 10977

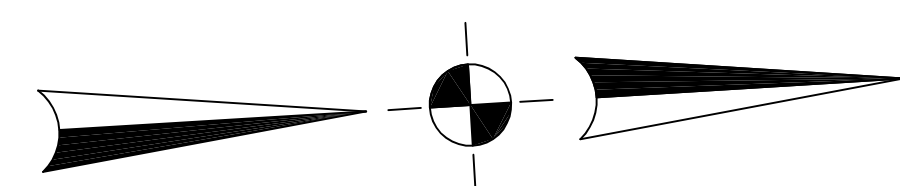
11/41.08-2-58.5
GRUBER BRENDA
9 ROCHELLE LANE
SPRING VALLEY, NY 10977

11/41.08-2-58.4
ZUPNIK JOSEPH & ELISA
7 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.12-2-3.1
STERNHELL JOSHUA &
MIRIAM
5055 COLLINS AVE - APT 5D
MIAMI, FL 33140

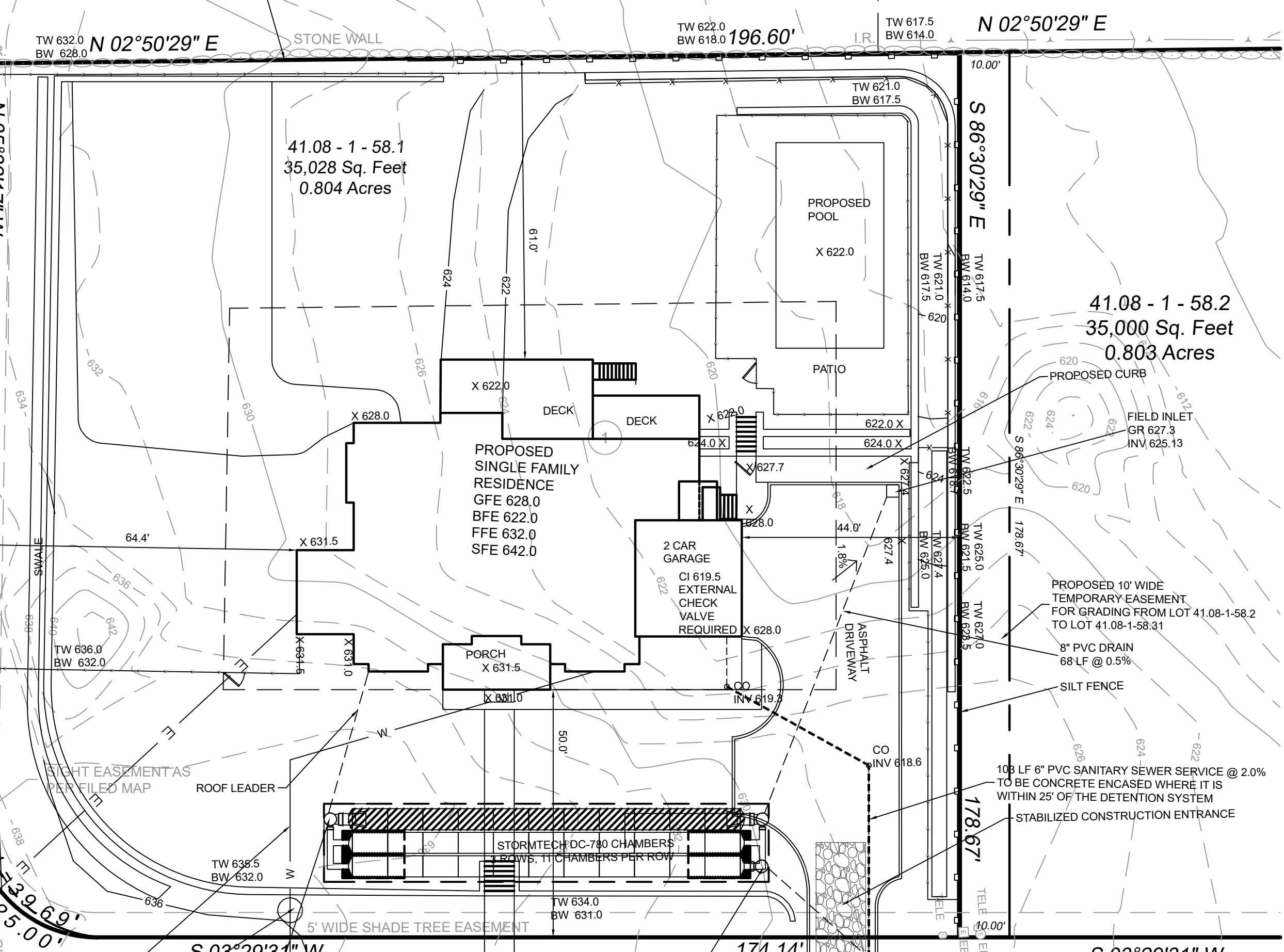
11/41.12-2-3.2
STERNHELL JOSHUA & MIRIAM
5055 COLLINS AVE-APT 5D
MIAMI, FL 33140





41.08 - 1 - 4
N/F REDISCH

LIMITS OF DISTURBANCE
0.79 ACRES



ROCHELLE LANE
(50' WIDE)

EROSION CONTROL & SEDIMENT NOTES

1. A TEMPORARY SEEDING SHALL BE APPLIED TO DISTURBED AREAS THAT ARE LEFT BARE FOR 15 DAYS UNLESS CONSTRUCTION WILL BEGIN WITHIN 30 DAYS. IF CONSTRUCTION IS SUSPENDED OR COMPLETED, AREAS SHALL BE SEEDED DOWN OR MULCHED IMMEDIATELY. STRUCTURAL MEASURES MUST BE MAINTAINED TO BE EFFECTIVE. IN GENERAL, THESE MEASURES MUST BE PERIODICALLY INSPECTED TO INSURE STRUCTURAL INTEGRITY, DETECT VANDALISM DAMAGE, AND FOR CLEANING AND REPAIR WHENEVER NECESSARY.
2. DURING CONSTRUCTION, ALL STRUCTURES SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAIN.
3. AFTER CONSTRUCTION, INSPECTION SHALL BE MADE AT LEAST SEMI-ANNUALLY AND AFTER EVERY RAIN.
4. THE STORM DRAIN INLET STRUCTURES SHALL BE PROTECTED WITH A FILTER BERM UNTIL THE AREA IS STABILIZED WITH VEGETATION OR THE BASE COURSE OF PAVEMENT IS INSTALLED.
5. CONSIDER LIMITING LAND DISTURBANCE TO ONLY THAT AREA NECESSARY FOR DEVELOPMENT.
6. THE MACADAM SURFACE SHALL BE SWEEPED "BROOM CLEAN" AT THE END OF EACH DAY DURING THE CONSTRUCTION PHASE OF THE SIDEWALKS AND CURB.
7. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT ALL POINTS WHERE A DISTURBED AREA MEETS AN IMPERVIOUS SURFACE, THIS INCLUDES ALL NEW DRIVEWAY CONNECTIONS ALONG THE NEW ROADWAY.
8. CONSTRUCTION EQUIPMENT SHALL BE LIMITED TO THOSE AREAS WITHIN THE SILT FENCE SEDIMENT PROTECTION. AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, THE AREA COMPACTED BY MACHINERY SHALL BE DICED OR OTHERWISE LOOSENEED TO A DEPTH OF 12 INCHES PRIOR TO FINAL GRADING WITH TOPSOIL AND SEEDING.



VICINITY MAP
1" = 300'

NOTE:

- 1) ALL EROSION CONTROL MEASURES MUST BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
- 2) SOIL PERCOLATION TEST REQUIRED PRIOR TO CONSTRUCTION.
- 3) INTERNAL CHECK VALVE REQUIRED.
- 4) VILLAGE ENGINEER TO BE NOTIFIED 48 HOUR PRIOR TO DRAINAGE INSTALLATION AND WITNESSED/APPROVED.
- 5) ALL SWALES SHALL BE AT LEAST 1 FOOT BELOW GRADE AROUND THE FOUNDATION AND HAVE A MINIMUM SLOPE OF 1.5%.
- 6) ALL RETAINING WALLS 4' AND GREATER MUST BE CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- 7) DETAILS/DESIGN FOR RETAINING WALL AS PER PLAN FROM PHILIP SALERNO, PE.

GENERAL NOTES

1. RECORD OWNER AND APPLICANT: WILLOW TREE MNGT LLC
241 WOLA ROAD
MONSEY, NY 10952
2. BASED ON THE VILLAGE OF WESLEY HILLS TAX MAP, THIS LOT IS 58.1 ON MAP 41.08 BLOCK 2.
3. AREA OF PROPERTY: 35,028 SQUARE FEET OR 0.80 ACRES
4. BOUNDARY COMPLETED BY CIVIL TEC ENGINEERING & SURVEYING PC ON AUGUST 31, 2021.

Rochelle Lane:	
Impervious in Front Yard	
Driveway	1,269 SF
Concrete	125 SF
Sidewalk	534 SF
Total	1,928 SF
Area of Front Yard	10,970 SF
Front Yard Impervious Ratio	
1,928 SF/10,970 SF =	0.176
0.23 > 0.2 so variance required	
East Willow Tree Road:	
Impervious in Front Yard	0 SF
Area of Front Yard	11,294 SF
Front Yard Impervious Ratio	0

Lot Coverage:	
Driveway	2,515 SF
Sidewalk	397 SF
Dwelling/Deck/Porch	4,479 SF
Pool	902 SF
Front Steps/Walk to road	277 SF
Concrete Pad	270 SF
Total	8,840 SF
Total Impervious Coverage	
12,146 SF/35,028 SF =	0.25

PARKING CALCULATION:
SINGLE FAMILY HOME REQUIRES 2 SPACES
2 GARAGE SPACES PROVIDED

BUILDING COVERAGE CALCULATION (INFORMATION PROVIDED BY ARCHITECT):
PER SECTION 230-17 NOTE 10:
AREAS LESS THAN 1.5 STY AND 15' = 426 SF
TOTAL BUILDING AREA = 4,172 SF

426 SF/4,172 SF = 0.1021
0.1021 X 0.05 = 0.0051
0.0051 X 0.10 = 0.1051
0.1051 X 35,028 SF = 3,681 SF
4,172 SF EXCEEDS 3,681 SF

PROPOSED BUILDING COVERAGE = 4,172 SF
4,172 SF/35,028 SF = 0.119

BUILDING COVERAGE PERMITTED = 0.1051
BUILDING COVERAGE PROVIDED = 0.119

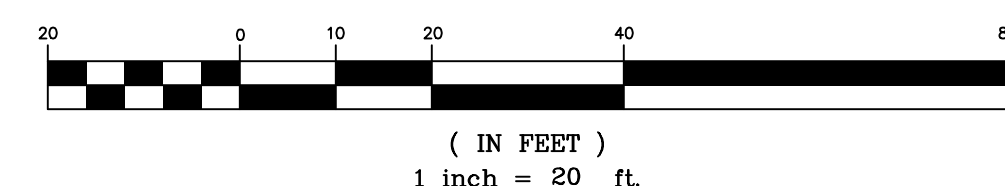
PERMITTED BUILDING COVERAGE = 0.1051

Bulk Regulations: R-35 Single Family Residence												
	Min Lot Area	Min Lot Frontage	Min Lot Width	Min Effective Square	Min Front Yard	Min Side Yard	Min Total Side Yards	Min Rear Yard	Max Impervious Surface Ratio	Max Front Yard Impervious Surface Ratio	Max Building Coverage	Max Building Height
Required	35,000 SF	100 FT	125 FT	125 SF	50 FT	25 FT	60 FT	50 FT	0.25	0.2	0.1051	2.5 stories/25 FT
Provided	35,028 SF	364 FT	196 FT	125 SF	50 FT	44 FT	N/A	61 FT	0.25	0.176	0.119*	<2.5 stories/25 FT

*Variance Granted by ZBA on 2/21/24

EAST WILLOW TREE ROAD
(50' WIDE)

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

DATE	ISSUE	DESCRIPTION	REVISIONS
JUNE 13, 2025	REV 13		REV PER CLIENT
JANUARY 17, 2025	REV 12		REV WATER SERVICE
DECEMBER 8, 2023	REV 11		REV PER ARCHITECT
OCTOBER 2, 2023	REV 10		REV PER ARCHITECT
MAY 10, 2023	REV 9		REV PER ARCHITECT
APRIL 10, 2023	REV 8		REV PER CLIENT
MAY 16, 2022	REV 7		REV PER VILLAGE ENGINEER'S COMMENTS
MAY 2, 2022	REV 6		REV PER VILLAGE ENGINEER'S COMMENTS
FEBRUARY 11, 2022	REV 5		REV PER VILLAGE ENGINEER'S COMMENTS
JANUARY 13, 2022	REV 4		REV PER VILLAGE ENGINEER'S COMMENTS
DECEMBER 27, 2021	REV 3		REV PER VILLAGE ENGINEER'S COMMENTS
NOVEMBER 10, 2021	REV 2		REV PER ARCHITECT
OCTOBER 26, 2021	REV 1		REV PER VILLAGE ENGINEER'S COMMENTS

S.B.L. 41.08 - 1 - 58.1
BUILDING PERMIT PLAN
FOR
1 ROCHELLE LANE
VILLAGE OF WESLEY HILLS - ROCKLAND COUNTY - NEW YORK

CIVIL TEC Engineering & Surveying PC

DATE: 9/17/21

139 Lafayette Avenue, 2nd Fl. 111 Main Street
Suffern, NY 10901 Chester, NY 10918
P 845.547.2241 - F 845.547.2243 845.610.3621

DRAWN BY: RB/LT

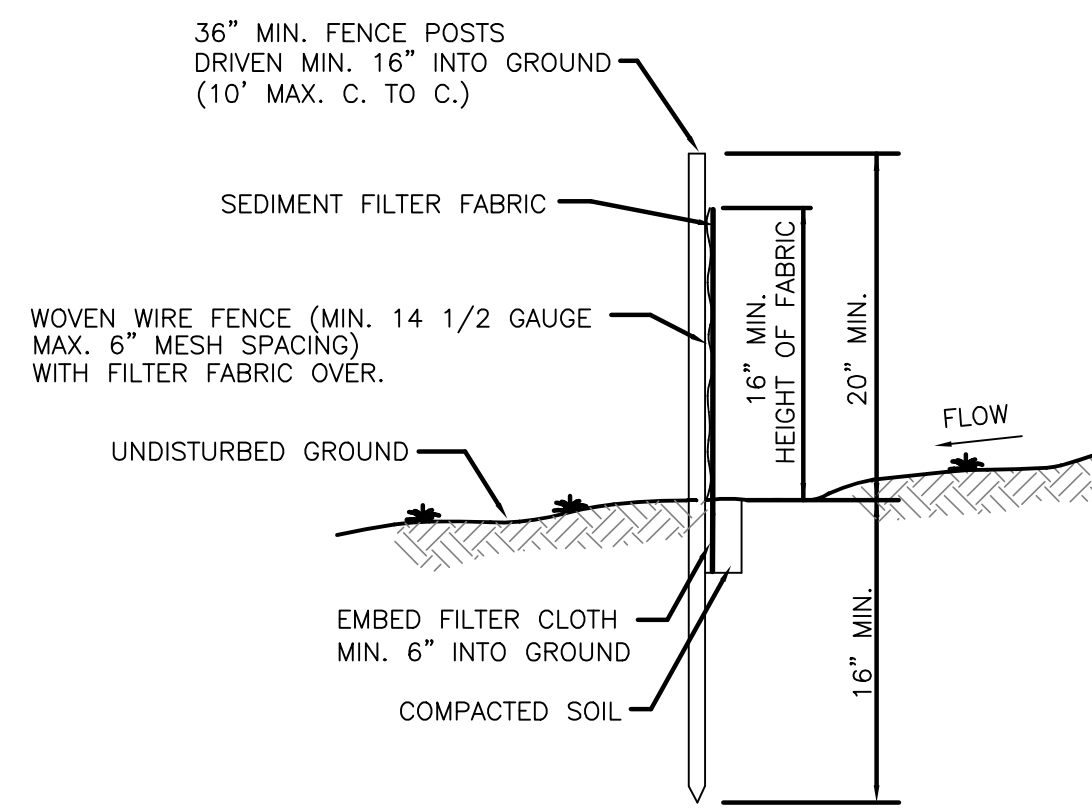
CHKD BY: RB/LT

JOB No. 3991

SCALE: 1"=20'

DWG No. 1 OF 14

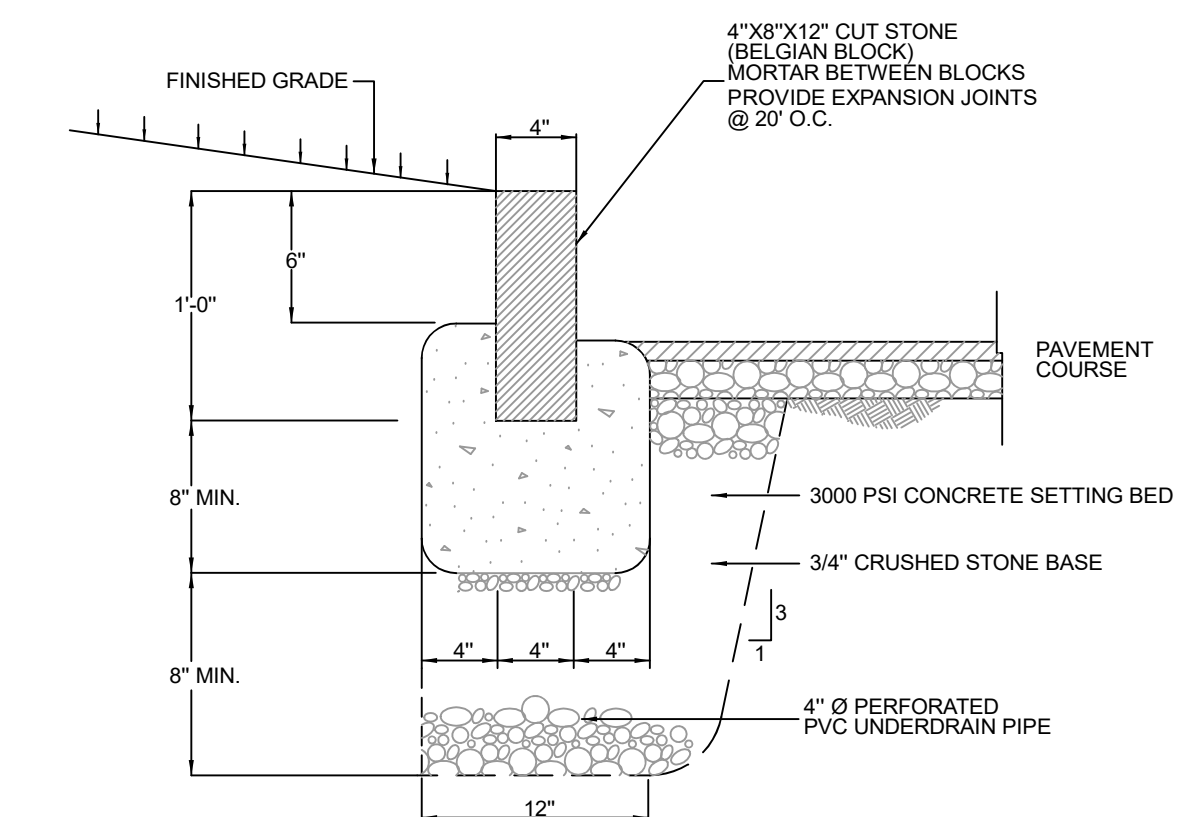
Rachel B. Barese, P.E.
N.Y. Lic. No. 90143



SECTION
SILT FENCE
N.T.S.

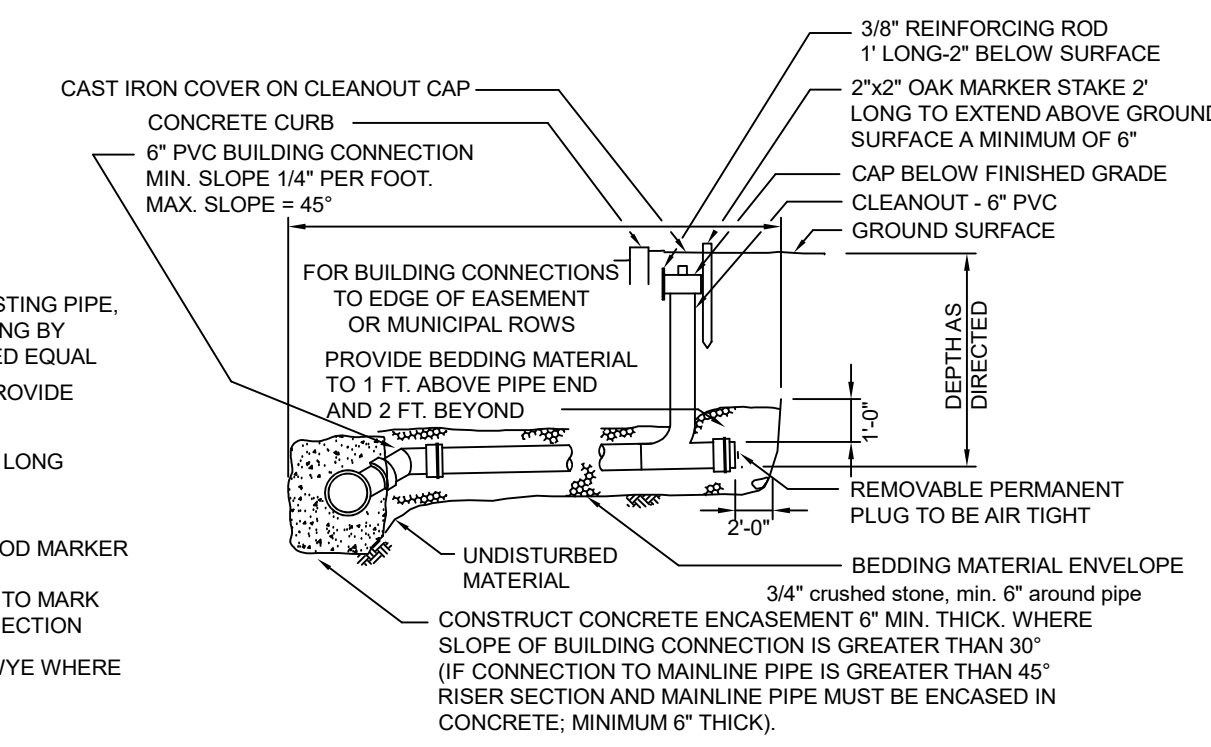
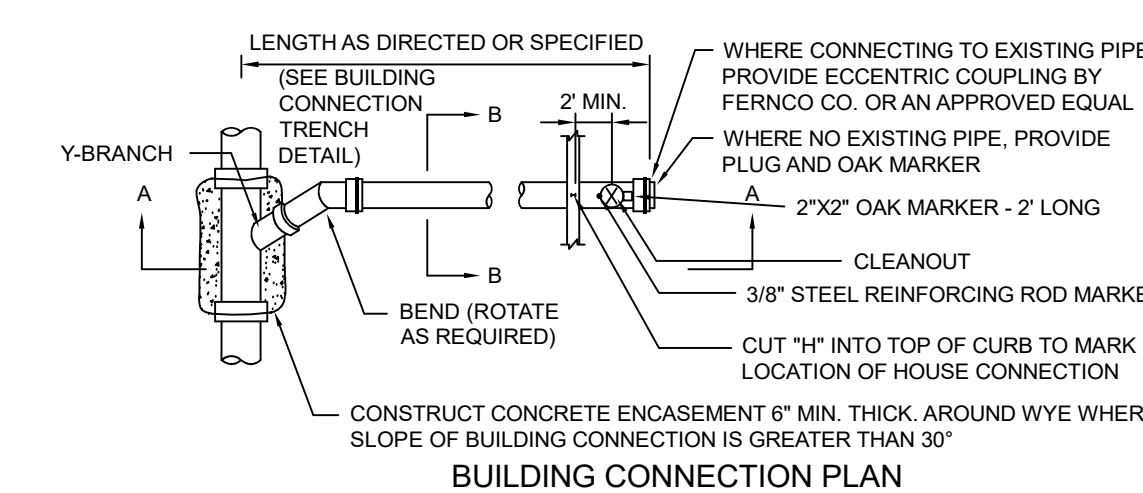
CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN BULGES DEVELOP IN THE SILT FENCE.
5. POST TO BE STEEL EITHER "T" OR "U" TYPE OR 2" HARWOOD.
6. FILTER CLOTH TO BE MIRAFI 100X STABILINKA T140N OR APPROVED EQUAL.
7. PREFABRICATED UNIT - GEOFAB. ENVIROFENCE OR APPROVED EQUAL.

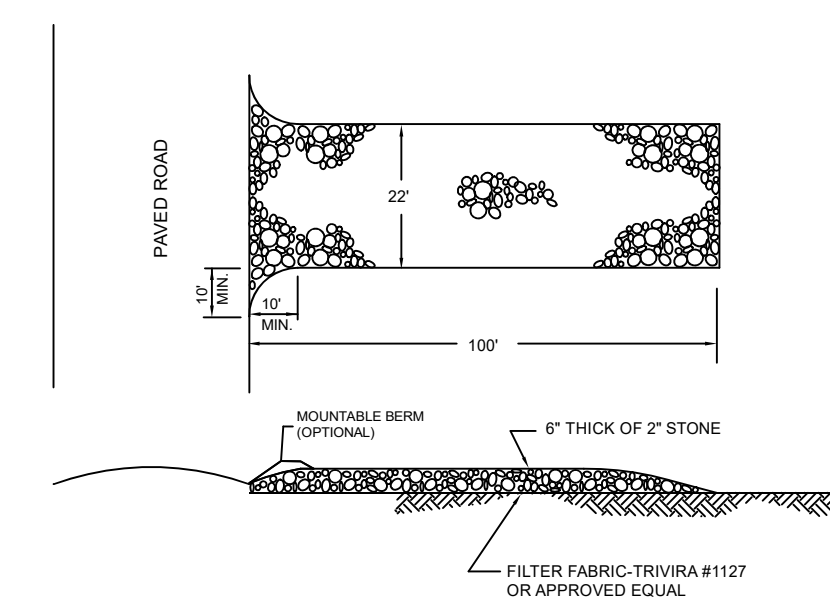


- NOTES:
1. EXPANSION JOINTS OF 3/16" CELLULOSE OR SIMILAR MATERIAL SHALL BE PLACED AT 10 FOOT INTERVALS, TO FULL DEPTH OF CURB.
 2. UNDERDRAIN MAY BE ELIMINATED IN PARKING LOTS AND OTHER NON-PUBLIC FACILITIES.

BELGIAN BLOCK CURB DETAIL
N.T.S.



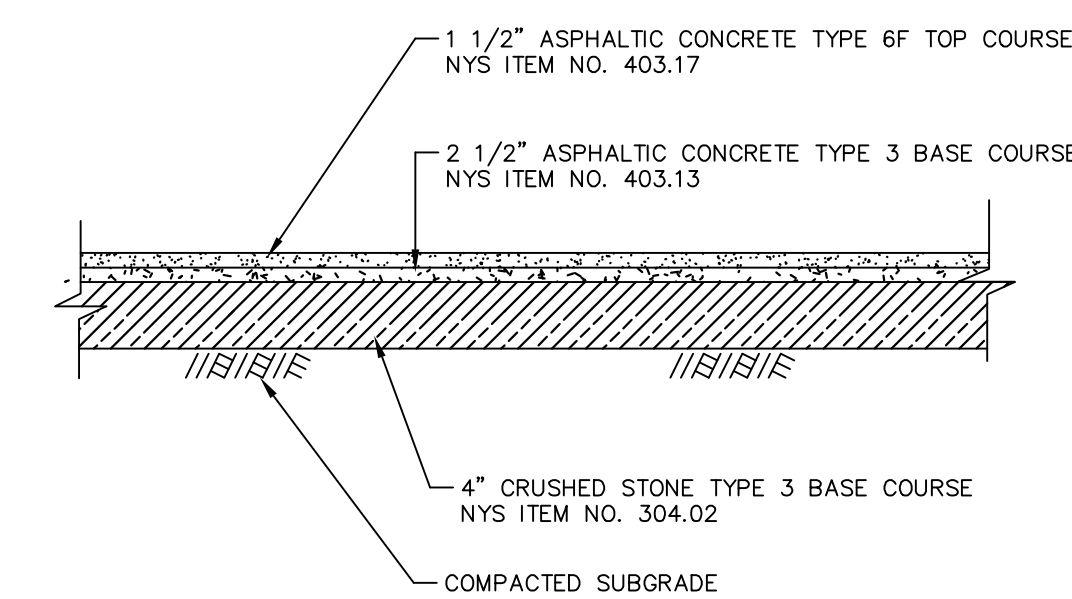
SECTION A-A
BUILDING CONNECTION ELEVATION
BUILDING CONNECTION DETAIL
N.T.S.



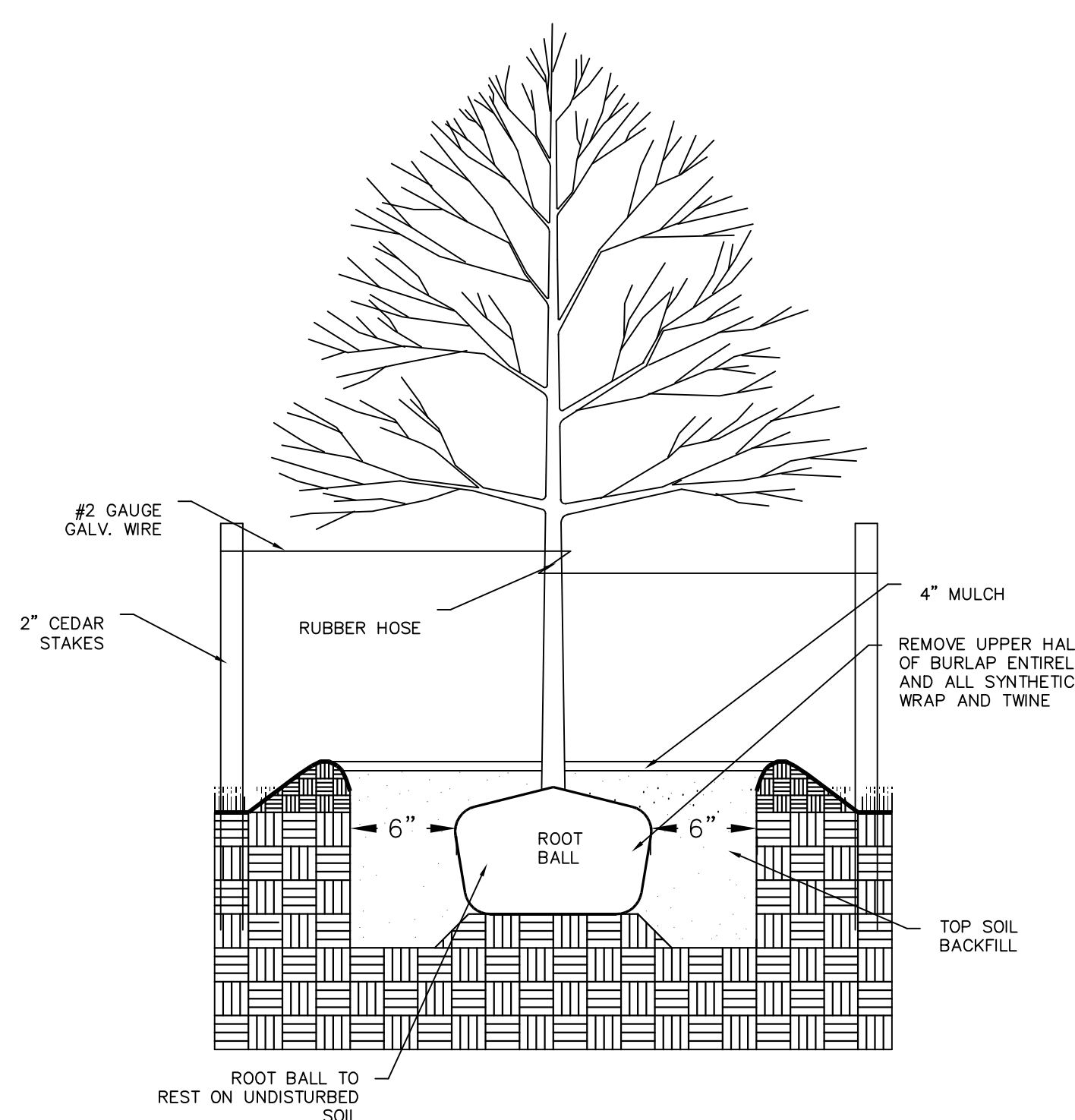
STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE 2 INCHES STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN 6 INCHES.
4. WIDTH - 12 FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS, TWENTY FOUR FEET IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED.



TYPICAL DRIVEWAY PAVEMENT SECTION
SCALE: N. T. S.



TREE PLANTING DETAIL
SCALE: N. T. S.

- NOTES:
1. EXCAVATE A HOLE THAT IS 12" WIDER & 6" DEEPER THAN THE ROOTBALL.
 2. REMOVE ANY STRINGS TIED AROUND TRUNK OR STEM BUT LEAVE BURLAP IN TACT.
 3. TOPSOIL MIX FOR BACKFILL TO BE 2 PARTS TOPSOIL, 1 PART SAND & 1 PART HUMUS.
 4. BUILD DEPRESSION AROUND PLANT & FILL WITH MULCH.
 5. STAKE ALL TREES WITH 2" CEDAR STAKES.

DATE	ISSUE	DESCRIPTION	REVISIONS
JUNE 13, 2025	REV 10	REV PER CLIENT	
JANUARY 17, 2025	REV 9	REV WATER SERVICE	
MAY 10, 2023	REV 8	REV PER ARCHITECT	
APRIL 10, 2023	REV 7	REV PER CLIENT	
MAY 2, 2022	REV 6	REV PER VILLAGE ENGINEER'S COMMENTS	
FEBRUARY 11, 2022	REV 5	REV PER VILLAGE ENGINEER'S COMMENTS	
JANUARY 13, 2022	REV 4	REV PER VILLAGE ENGINEER'S COMMENTS	
DECEMBER 27, 2021	REV 3	REV PER VILLAGE ENGINEER'S COMMENTS	
NOVEMBER 10, 2021	REV 2	REV PER ARCHITECT	
OCTOBER 26, 2021	REV 1	REV PER VILLAGE ENGINEER'S COMMENTS	

DATE: 9/17/21

ISSUE: 8

DESCRIPTION: S.B.L. 41.08 - 1 - 58.1

REVISIONS: 15

DETAILS FOR 1 ROCHELLE LANE

VILLAGE OF WESLEY HILLS - ROCKLAND COUNTY - NEW YORK

CIVIL TEC Engineering & Surveying PC

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55 Brookside Avenue Chester, NY 10918
845.610.3621

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DATE: 9/17/21

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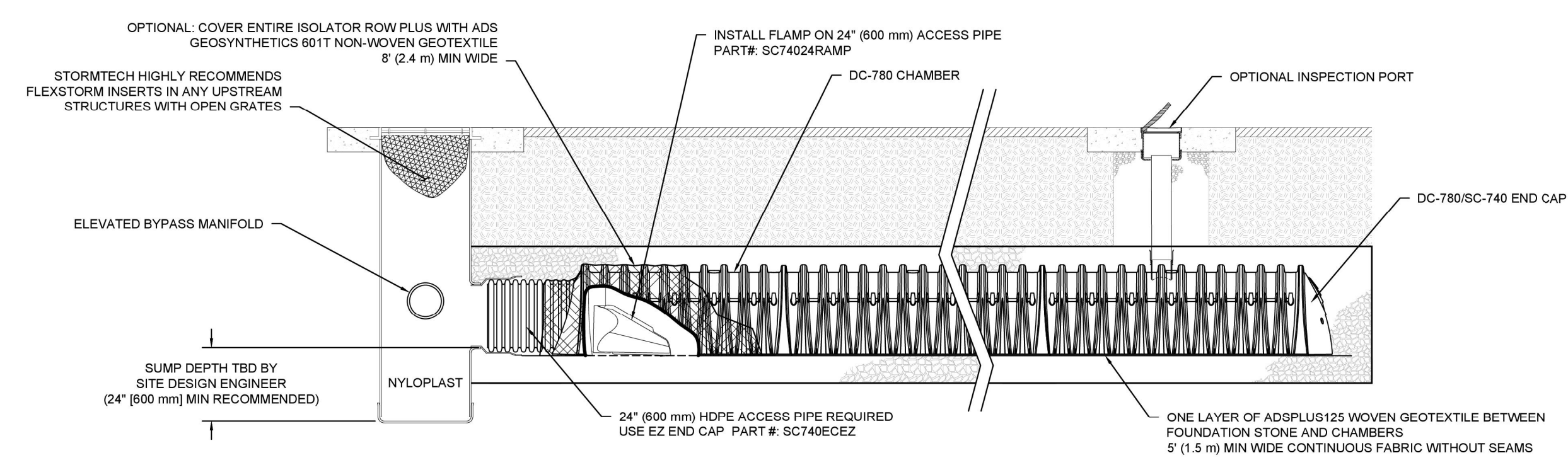
CHKD BY: RB/LT

JOB No. 3991

SCALE: 1"=20'

DWG No. 2 OF 15

Rachel B. Barese, P.E.
N.Y. Lic. No. 90143



DC-780 ISOLATOR ROW PLUS DETAIL NTS

INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- A. INSPECTION PORTS (IF PRESENT)
 - A.1. REMOVE/OPEN LID ON NYLOPLAST IN-LINE DRAIN
 - A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 - A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - A.4. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
 - B. ALL ISOLATOR PLUS ROWS
 - B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
 - B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
 - B.3. MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - B.4. FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - B.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
- A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
 - B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - C. VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

- NOTES
- INSPECT EVERY 3 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
 - CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

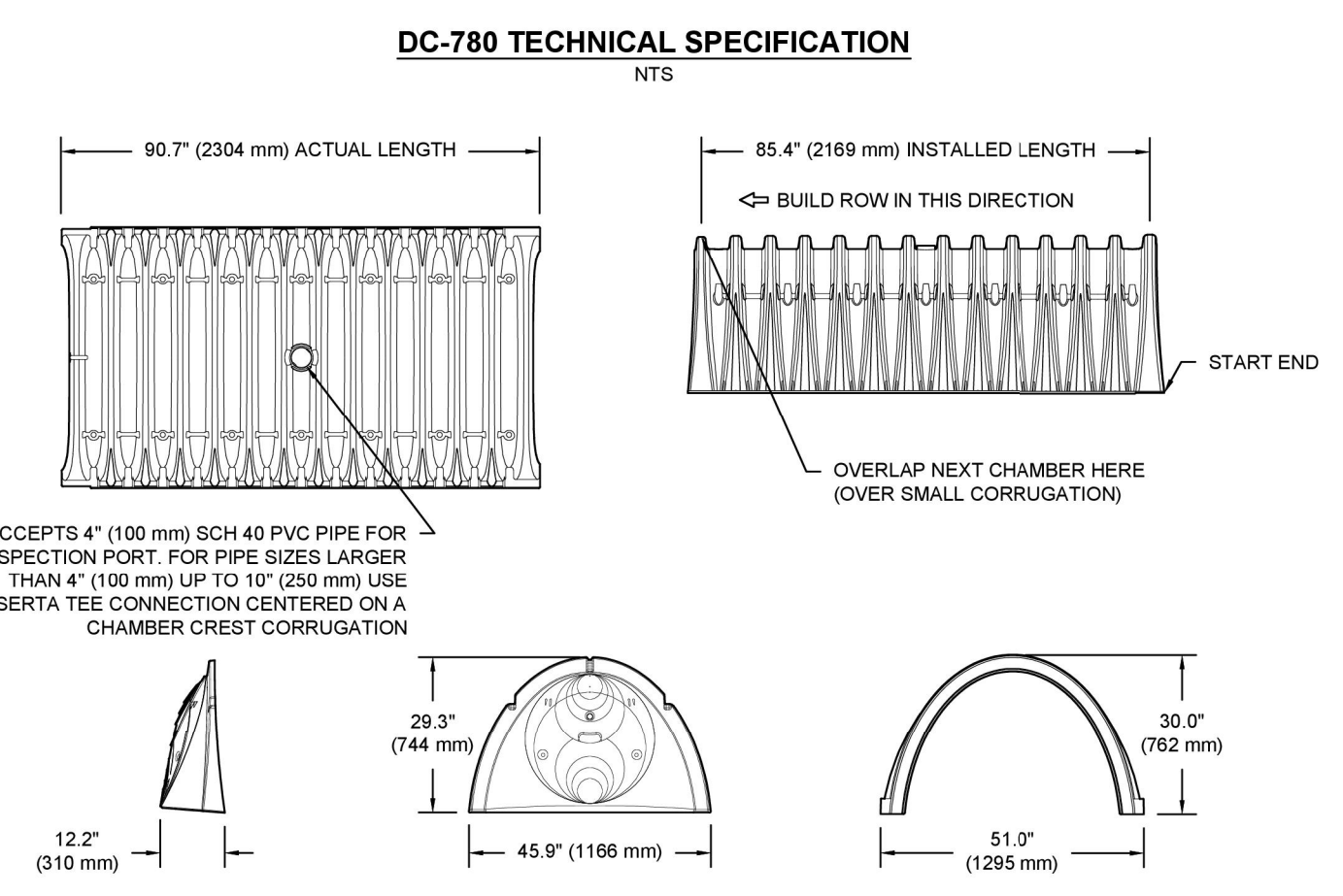
1 ROCHELLE LN COPY
WESLEY HILLS, NY, USA
DRAWN: RB
CHECKED: NA
DATE: _____
PROJECT # _____
DESCRIPTION _____
DATE: _____
DRW: CHK

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SHEET
4 OF 6



NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)	(285 mm X 762 mm X 2169 mm)
CHAMBER STORAGE	46.2 CUBIC FEET (1.30 m³)
MINIMUM INSTALLED STORAGE*	78.4 CUBIC FEET (2.20 m³)
WEIGHT	75.0 lbs. (33.6 kg)

*ASSUMES 6" (152 mm) STONE ABOVE, 9" (229 mm) BELOW, AND 6" (152 mm) BETWEEN CHAMBERS

STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"

PART #	STUB	A	B	C
SC740EP06T / SC740EP06BPC	6" (150 mm)	10.9" (277 mm)	18.5" (470 mm)	---
SC740EP06B / SC740EP06BPC	---	---	---	0.5" (13 mm)
SC740EP08T / SC740EP08BPC	8" (200 mm)	12.2" (310 mm)	16.5" (419 mm)	---
SC740EP08B / SC740EP08BPC	---	---	---	0.6" (15 mm)
SC740EP10T / SC740EP10BPC	10" (250 mm)	13.4" (340 mm)	14.5" (368 mm)	---
SC740EP10B / SC740EP10BPC	---	---	---	0.7" (18 mm)
SC740EP12T / SC740EP12BPC	12" (300 mm)	14.7" (373 mm)	12.5" (318 mm)	---
SC740EP12B / SC740EP12BPC	---	---	---	1.2" (30 mm)
SC740EP15T / SC740EP15BPC	15" (375 mm)	18.4" (467 mm)	9.0" (229 mm)	---
SC740EP15B / SC740EP15BPC	---	---	---	1.3" (33 mm)
SC740EP18T / SC740EP18BPC	18" (450 mm)	19.7" (500 mm)	5.0" (127 mm)	---
SC740EP18B / SC740EP18BPC	---	---	---	1.8" (41 mm)
SC740E06E2*	24" (600 mm)	18.5" (470 mm)	---	0.1" (3 mm)

ALL STUBS, EXCEPT FOR THE SC740E06E2 ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2994.

*FOR THE SC740E06E2 THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

NOTE: ALL DIMENSIONS ARE NOMINAL

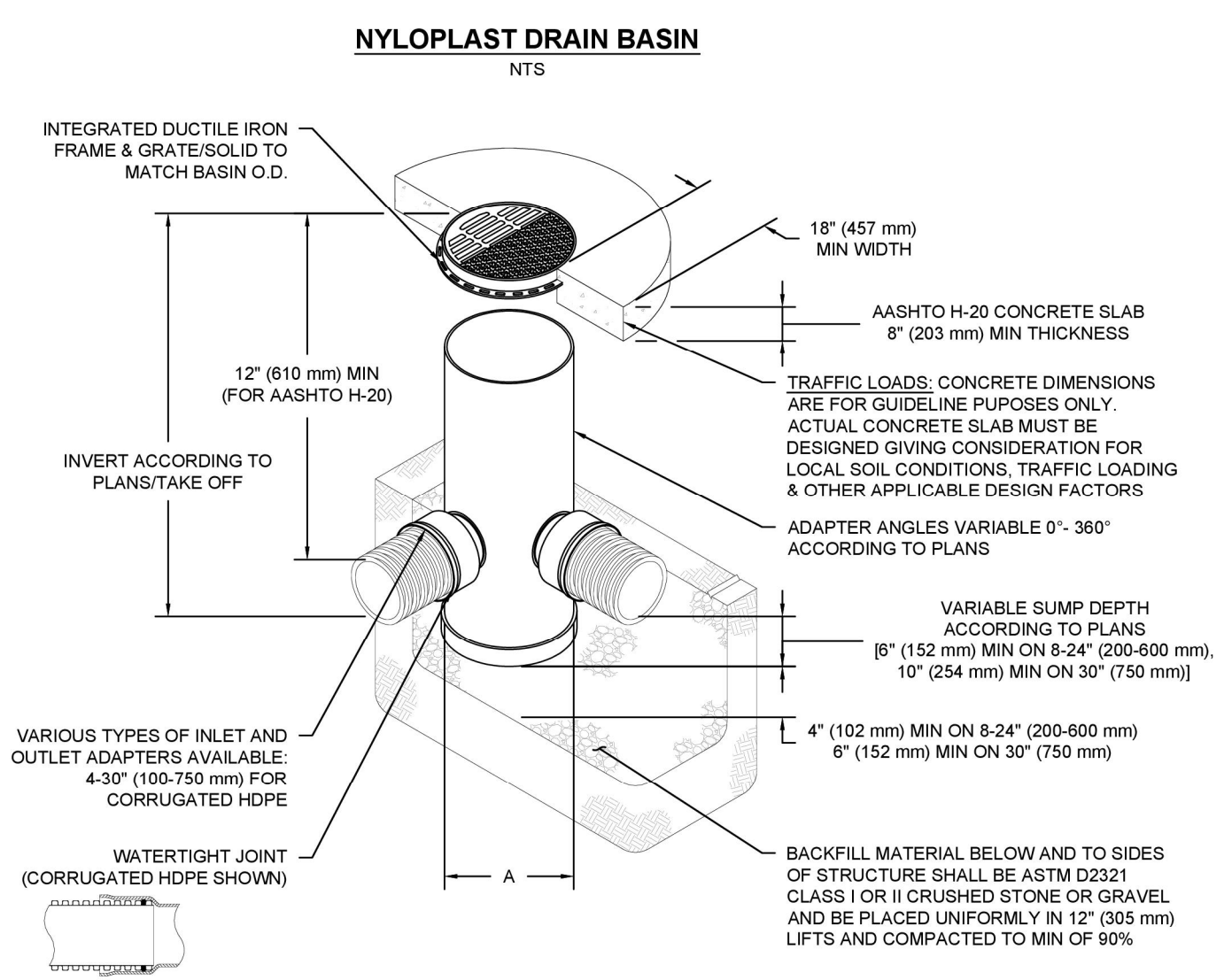
1 ROCHELLE LN COPY
WESLEY HILLS, NY, USA
DRAWN: RB
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PROJECT # _____
DESCRIPTION _____
DATE: _____
DRW: CHK

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SHEET
5 OF 6



- NOTES
- 8-30" (200-750 mm) GRATES/SOLID COVERS SHALL BE DUCTILE IRON PER ASTM A538 GRADE 70-50-05
 - 12-30" (300-750 mm) FRAMES SHALL BE DUCTILE IRON PER ASTM A538 GRADE 70-50-05
 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS
 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212
 - FOR CORRUGATED HDPE (ADS & HANCOR DUAL WALL) & SDR 35 PVC
 - FOR COMPLETE DESIGN AND PRODUCT INFORMATION: WWW.NYLOPLAST-US.COM
 - TO ORDER CALL: 800-821-6710

A	PART #	GRATE/SOLID COVER OPTIONS
8"	2808AG	PEDESTRIAN LIGHT DUTY STANDARD LIGHT DUTY SOLID LIGHT DUTY
10"	2810AG	PEDESTRIAN LIGHT DUTY STANDARD LIGHT DUTY SOLID LIGHT DUTY
12"	2812AG	PEDESTRIAN AASHTO H-20 STANDARD AASHTO H-20 SOLID AASHTO H-20
15"	2815AG	PEDESTRIAN AASHTO H-20 STANDARD AASHTO H-20 SOLID AASHTO H-20
18"	2818AG	PEDESTRIAN AASHTO H-20 STANDARD AASHTO H-20 SOLID AASHTO H-20
24"	2824AG	PEDESTRIAN AASHTO H-20 STANDARD AASHTO H-20 SOLID AASHTO H-20
30"	2830AG	PEDESTRIAN AASHTO H-20 STANDARD AASHTO H-20 SOLID AASHTO H-20

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PROJECT # _____
DESCRIPTION _____
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SHEET
6 OF 6

JUNE 13, 2025
JANUARY 17, 2025
MAY 10, 2023
APRIL 10, 2023
MAY 2, 2022

REV 5
REV 4
REV 3
REV 2
REV 1

REV PER CLIENT
REV WATER SERVICE
REV PER ARCHITECT
REV PER CLIENT
REV PER VILLAGE ENGINEER'S COMMENTS

DATE: 2/11/22

DATE: _____
ISSUE: _____
DESCRIPTION: _____
REVISIONS: _____

S.B.L. 41.08 - 1 - 58.1
DETAILS
FOR
1 ROCHELLE LANE
VILLAGE OF WESLEY HILLS - ROCKLAND COUNTY - NEW YORK

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JOB No. 3991
SCALE: 1"=20'
DWG No. 4 OF 17

Rachel B. Barese, P.E.
N.Y. Lic. No. 90143

STATE OF NEW YORK
RACHEL BETH BARESE
090143
PROFESSIONAL ENGINEER



VILLAGE OF
Wesley Hills
ESTABLISHED 1982

432 Route 306

Wesley Hills, N.Y. 10952-1221

Phone: 845-354-0400 Fax: 845-354-4097 www.wesleyhills.gov

Email: BuildingDept@wesleyhills.gov

MATERIALS LIST

<u>COLOR</u>	<u>MATERIAL</u>	<u>MANUFACTURER</u>
ROOF:	GAF Camelot 2 Antique slate	
SIDING:	Front & Sides - Marmira Stones	Kasha Marble Limestone
DECORATIVE SIDING:	(Rear-) PVC trim board white	precast vestibule
SOFFITS & FASCIA:	Vinyl soffit, o/a aluminum black	
WINDOWS:	Anderson 6-lite, 400 Series Casements in arch black	
TRIM:	N/A	
SHUTTERS:	N/A	
GARAGE DOORS:	Clopay Canyon Ridge Elements CED112 - black w/ clear glass top	
DOORS:	Front-Exclusive Iron black Iron, & light double glass door	
DECK:	Trex Transcend in Salt Flat	
FIREPLACE:	N/A	
LIGHTING:	Hinkley Weymouth Wall mount lanterns (black)	WAC Flood lights in ARCH black
RAILINGS:	N/A	
OTHER:		

Mayor: Marshall Katz. Deputy Mayor: Milton Schwartz
Trustees: Yisroel Cherns, Tova Krull, Joseph Mause
Village Clerk: Camille Guido-Downey Village Attorneys: Benjamin Selig, Bruce Minsky

Short Environmental Assessment Form

Part 1 - Project Information

RECEIVED
VILLAGE OF WESLEY HILLS
JUN 30 2025
BUILDING,
PLANNING & ZONING

Item 1.

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: 1 Rochelle Lane Single Family Residence			
Project Location (describe, and attach a location map): 1 Rochelle Lane, Spring Valley NY, 10977			
Brief Description of Proposed Action: Single Family Home Construction			
Name of Applicant or Sponsor: Sol Menche		Telephone: 845-425-6565	
		E-Mail: solmenche@gmail.com	
Address: 241 Viola Road			
City/PO: Monsey		State: NY	Zip Code: 10952
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Village of Wesley Hills Building Department			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		<u>0.8</u> acres	
b. Total acreage to be physically disturbed?		<u>0.8</u> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<u>0.8</u> acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

		NO	YES	Item 1.
5. Is the proposed action,	a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: it meets energy code requirements		NO	YES	
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____		NO	YES	
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____		NO	YES	
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:

Shoreline Forest Agricultural/grasslands Early mid-successional

Wetland Urban Suburban

15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

16. Is the project site located in the 100-year flood plan?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

17. Will the proposed action create storm water discharge, either from point or non-point sources?

If Yes,

a. Will storm water discharges flow to adjacent properties? NO YES

b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? NO YES

If Yes, briefly describe:

Storm Water Management System

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?

If Yes, explain the purpose and size of the impoundment:

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?

If Yes, describe:

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?

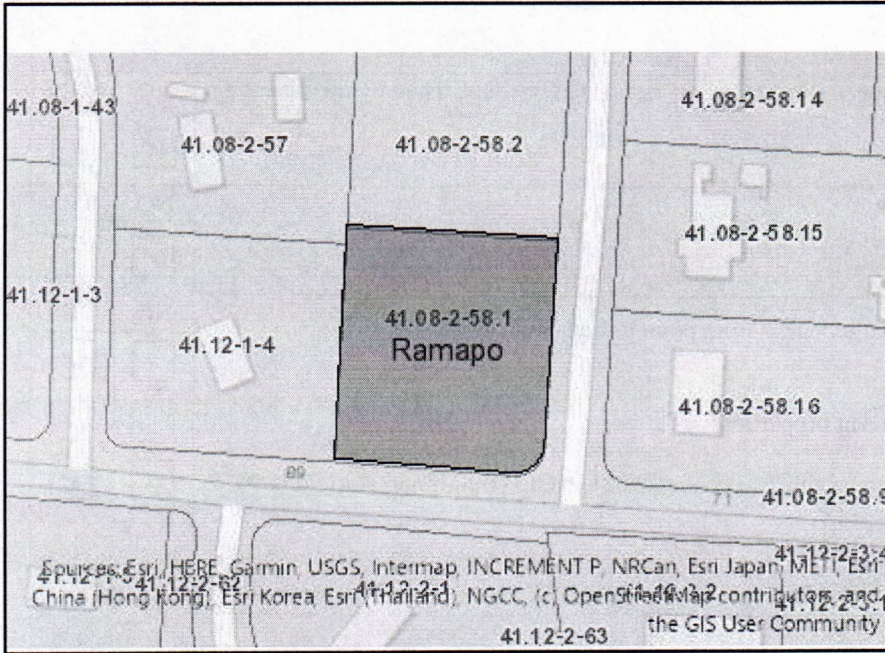
If Yes, describe:

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

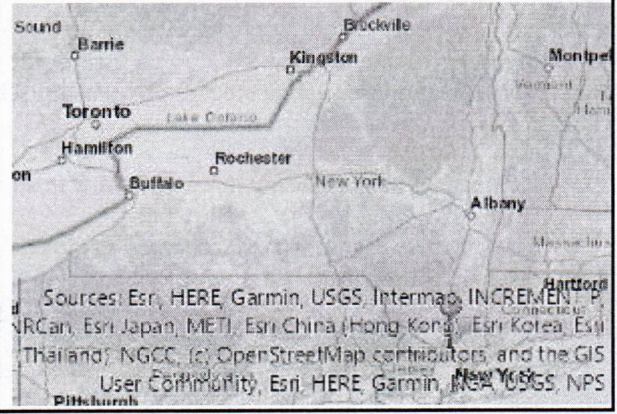
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor/name: Sol Menche Date: 6/30/15

Signature: *Sol Menche* Title: owner



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources to confirm data provided by the Mapper or to obtain data not provided by the Mapper.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

1 ROCHELLE LANE SUFFERN, NY 10901 VILLAGE OF WESLEY HILLS

1. GENERAL CONDITIONS

All work performed shall comply with all requirements of local Building Code/Zoning Ordinances of the Village of Wesley Hills and the New York edition of the 2020 IRC International Residential Code.

Contractors shall check all dimensions and conditions at the job site and be responsible for verifying same. They shall report any discrepancies to the Architect prior to construction.

Contractor or any subcontractor doing any work under this contract shall carry liability and property damage insurance against accidents of all kinds and the Owner shall be furnished with certificates of said insurance. Contractor shall carry Workman's Compensation Insurance on all workmen employed on the job site.

Contractor shall provide all materials, perform all work and install all materials in accordance with recognized good standard practice.

Contractor shall maintain the site in a safe, clean and orderly fashion for the duration of the construction period. Dispose of all construction debris at a legal off-site waste facility.

Minor items such as blocking, trim, etc., shall be performed as required to make the work complete whether shown or noted on the drawings or not.

2. SITE WORK

PREPARATION OF SITE - Protect all curbs, topsoil and those trees not to be removed. Excavated soil and top soil shall be used for grading. Grade the site to insure that water runs away from the house and that no low areas will be created and cause standing water.

EXCAVATING AND GRADING - All footings and piers carry to levels indicated or a minimum of 3'-6" below finish grade. All footings to bear on virgin soil having a minimum bearing strength of 1 ton p.s.f. or sound rock.

FOUNDATION DRAINAGE - Install waterproofing on the exterior of all below grade walls and floor slabs. Apply a geotextile prefabricated drainage system with a 4" perforated drainage pipe with a positive outflow.

BACKFILL - After completion of foundation walls and first floor framing, puddle and tamp all backfill. Regrade elevations shown on drawings and provide any additional fill required.

3. CONCRETE, MASONRY AND WOOD FRAMING

All rough carpentry shall be new, thoroughly seasoned or kiln dried, and protected from weather until placed in the building. Framing lumber shall be No. 1 and 2 common Douglas Fir dressed on four sides. Wood beams, floor joists and rafters shall have a minimum allowable stress of 1200 psi in bending. Provide wood beams, floor joists, ceiling joists, roof rafters, stud walls and headers as shown on the plans. Load bearing stud walls shall have a single plate on bottom and double plate on top of each wall. Minimum of two studs around all wall openings. Double joists around all openings and under all partitions running parallel to floor framing. Floor joists shall have one row of 1x8 cross bridging for 15'-0" spans or less. All spans over 15'-0" shall have two rows all nailed securely to joists at each end. In the case of manufactured lumber such as 'Parallam 2.0E PSL' (P.L.) and 'Microllam 1.9E LVL' (M.L.) beams, headers and posts and 'TJI Joists' by TrusJoist MacMillan Company, or Architect approved equal, follow the manufacturers installation instructions. No holes shall be drilled or notches cut in any Parallam or Microllam Beam or Post without consulting the Architect and/or Structural Engineer. All load bearing partitions shall have one row of solid bridging at mid height. All wood coming in contact with concrete shall be pressure treated.

Inspect structural members and replace any damaged or rotted members as required.

All LVLs to be 2.0E unless otherwise specified.

STRUCTURAL ENGINEERING TO BE PROVIDED BY RAJINIKANT DOSHI
Framer to provide framing plan

4. WINDOWS, SKYLIGHTS, DOORS AND HARDWARE

WINDOWS - Choice of windows and accessories as selected by Owner. Provide Architect with manufacturer drawings.

DOORS - Exterior and interior doors as selected by Owner. All glass located in doors shall be tempered. Glass in all exterior doors to be insulated.

HARDWARE - Provide egress hardware where required to achieve 20" minimum clear opening width. Hardware as selected by Owner. All hardware shall be installed in a workman like manner in strict accord with the Manufacturer's recommendations.

5. WALLS AND CEILINGS

All interior walls and ceilings shall be laminated with min 1 layer of 5/8" thick gypsum wall board, unless noted otherwise on the plans. Use moisture resistant type gypsum wall board for basement walls and ceilings and in all toilet and bathrooms. Use 1/2" Type 'X' fire rated gypsum wall board where specified on the plans.

6. FINISHES

FLOORING - Floor coverings shall be as selected by the Owner.

BATH AND TOILET ROOMS - Floors to be tile. All of the tile and marble work shall be done in strict accord with the latest version of "Handbook for Ceramic Tile Installation" by the Tile Council of America (TCA). The surface shall be cleaned and polished and left in perfect condition.

EXTERIOR: AS SELECTED BY OWNER

7. FLOORS

All subflooring shall be 3/4" tongue and groove plywood securely screwed and glued to the floor joists. All joints shall be made at floor joists. Provide option for a double subfloor with green glue. Provide sound attenuation in between floor joists.

8. PAINTING

EXTERIOR DOORS - Exterior doors shall receive two coats of Benjamin Moore Paint in accordance with door manufacturer's recommendations

INTERIOR TRIM AND FINISHES - As selected by Owner.

9. ROOFING, ROOF VENTS, FASCIA, SOFFITS, FLASHING AND INSULATION

ROOF SHINGLES - AS SELECTED BY OWNER

ROOF VENTS - Roof vents, Ridge vents shall be install as required

METAL FASCIA AND TRIM - Fascia shall be "UNA-CLAD" Kynar 500 Fluorocarbon .040 Ga. Aluminum @ Shingle Roof areas, color to match roof. Install per manufactures instructions.

METAL SOFFITS - Soffits shall be "UNA-CLAD" UC-500 Ventilated Flush Panel System. Kynar 500 Fluorocarbon .040 Ga. Aluminum @ Shingle Roof areas, color to match roof. Install per manufactures instructions.

FLASHING - Flash where required with copper flashing to insure a weathertight seal. Flashings will be stepped where necessary and stock flashings are to be used around all vents protruding through the roof to make all work weathertight. Flash all exterior door and window heads extending the flashing at least 6" above the frames.

INSULATION - All R-values to meet 2015 IECC for Zone 5 R (2015 IECC table C402.1.3) Provide R-38C insulation in cathedral ceiling in order to leave room for air circulation. Use R-49 insulation in all other ceilings.

10. HEATING, AIR CONDITIONING AND PLUMBING

Provide heating and air conditioning systems as selected by the Owner, with material and workmanship in strict accord with the regulation of all authorities having jurisdiction.

Where the winter design temperature in Table R301.2(1) is below 60 DEG F every dwelling unit shall be provided with heating facilities capable of maintaining a room temperature of not less than 68 DEG F at a point 3 feet above the floor and 2 feet from exterior walls in habitable rooms at the design temperature. The installation of one or more portable space heaters shall not be used to achieve compliance with this section.

All hot water piping shall receive insulation when in unheated spaces, as per the New York State Energy code. Provide a plumbing system with all materials and workmanship in strict accord with the regulations of all authorities having jurisdiction. The plumbing subcontractor shall obtain all the necessary permits and pay all fees. All materials shall be new, high grade and suitable and workmanship shall be of the best quality.

HOUSE DRAIN - All plumbing to be connected to the new house drain, refer to plumbing riser diagram. Sanitary lines will be PVC pipe. All below grade waste piping to be extra heavy cast iron with lead and oakum joints.

All hot and cold water lines shall be installed per the N.Y.S. residential code.

Provide 3/4" hose bibs, in locations selected by the Owner, all connections to be anti-freeze. Provide shutoff valves under all fixtures.

11. ELECTRICAL

All electrical work shall conform to the N.F.P.A., the N.E.C. and the local utility company. Contractor shall provide the Owner with an Underwriter's Laboratory certificate as required. Smoke alarm system shall be hard wired with battery backup. CARBON MONOXIDE shall be hard wired with battery backup.

CLIMATE & GEOGRAPHICAL DESIGN CRITERIA PER 2015 I.R.C. TABLE R301.2(1)														
GROUND SNOW LOAD	WIND DESIGN						SUBJECT TO DAMAGE FROM			WINTER SEASON TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	WIND SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL REGION	WIND-BORNE DEBRIS ZONE	WIND-EXPOSURE CATERFORY	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITE					
30 LBS/SFT	115	NO	NO	NO	B	B	SEVERE	42" TO BOTTOM OF FOOTINGS	MODERATE TO HEAVY	15F	YES	*	1000	53F

USE	LIVE LOAD	DEAD LOAD
EXTERIOR BALCONIES	60 PSF	20 PSF
DECKS	40 PSF	20 PSF
PASSENGER VEHICLE GARAGES	50 PSF	
ATTICS W/O STORAGE	10 PSF	20 PSF
ATTICS W/ STORAGE	20 PSF	20 PSF
ROOMS OTHER THAN SLEEPING ROOMS	40 PSF	15 PSF
SLEEPING ROOMS	30 PSF	20 PSF
STAIRS	40 PSF	10 PSF
GUARDRAILS AND HANDRAILS	50 PLF	10 PSF
ROOF LADING	20 PSF	12 PSF FOR ATTIC 15 PSF FOR CATHEDRAL

LIST OF DRAWINGS:

- A-1 COVER SHEET/GENERAL NOTES
- A-2 BASEMENT PLAN
- A-3 FIRST FLOOR PLAN
- A-4 SECOND FLOOR PLAN
- A-5 ELEVATIONS + ROOF PLAN
- A-6 ELEVATIONS
- A-7 DETAILS

LEGEND:

EXISTING CONSTRUCTION TO REMAIN

NEW PARTITION 2"x4" WOOD STUDS WITH 2 LAYERS OF 5/8" GYP BOARD ON BOTH SIDES

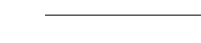
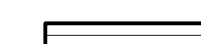
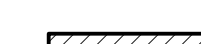
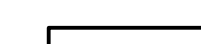
SIDING AND SHEATHING OVER 2"x6" OR 2"x10" (SEE PLAN) WOOD STUDS W/ R20 INSULATION TYVEK BUILDING WRAP & 5/8" GYP BOARD

NEW 10" CONCRETE FOUNDATION WALL ON 24"x12" REINFORCED CONCRETE FOUNDATION (WITH (2) #5 REBARS)

USE (3) 2x12 WINDOW HEADER U.N.O.

SMOKE ALARM INTERCONNECTED AND HARD WIRED W/ BACKUP BATTERY

SMOKE ALARM/CARBON MONOXIDE COMBO INTERCONNECTED AND HARD WIRED W/ BACKUP BATTERY



NOTES:
REV:

PROJECT TITLE:

RESIDENCE AT
1 ROCHELLE LANE
WESLEY HILLS, NEW YORK

DWG TITLE:
CODES & NOTES

Mayerfeld
ARCHITECTURE PLLC

15 Lyncrest Drive,
T (845) 354-0001
Monsey N.Y. 10952
F (845) 362-3272

SEAL:



DWG No:

A-1

SHEET No:

1 OF 10

SCALE:

1/4"=1'-0"

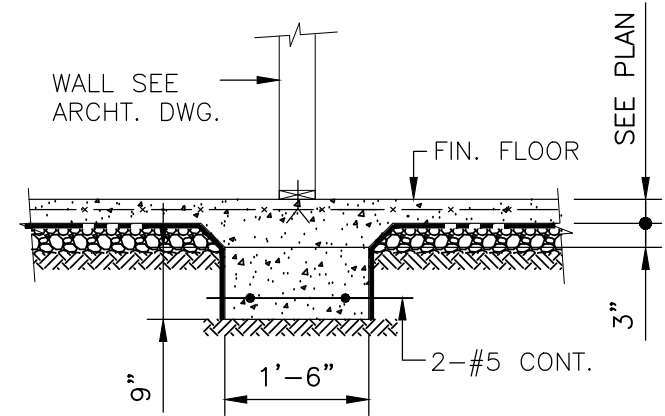
DATE:

12/28/2023

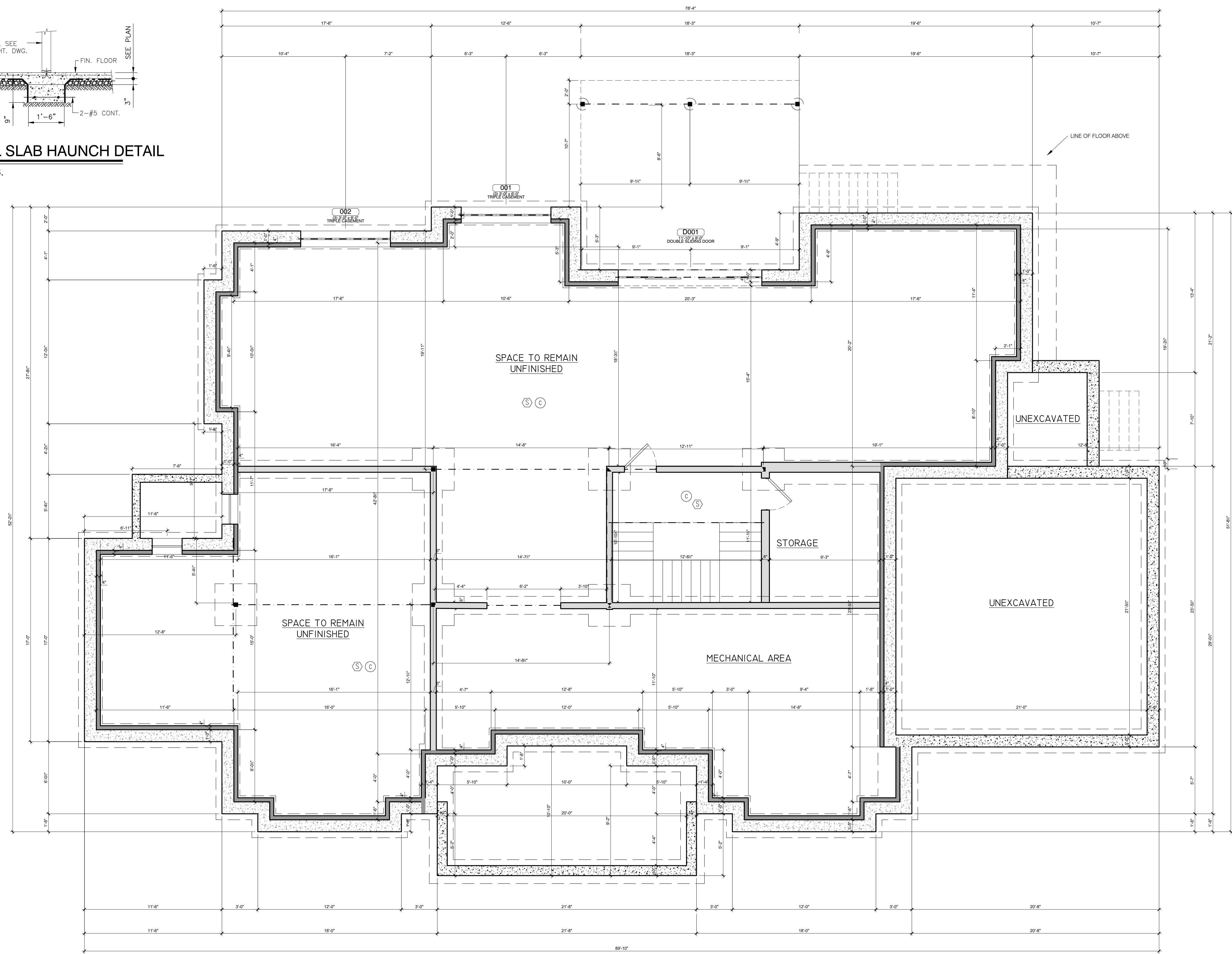
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NOTE:
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RAJINKANT DOSHI FROM
CONSULTING ENGINEERS
COLLABORATIVE INC.



TYPICAL SLAB HAUNCH DETAIL
SCALE : N.T.S.



NOTES:
REV:

PROJECT TITLE:

RESIDENCE AT
1 ROCHELLE LANE
WESLEY HILLS, NEW YORK
DWG TITLE:
BASEMENT PLAN

SCALE:

Mayerfeld
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SEAL:



DWG No:

A-2

SHEET No:

2 OF 10

SCALE:

1/4"=1'-0"

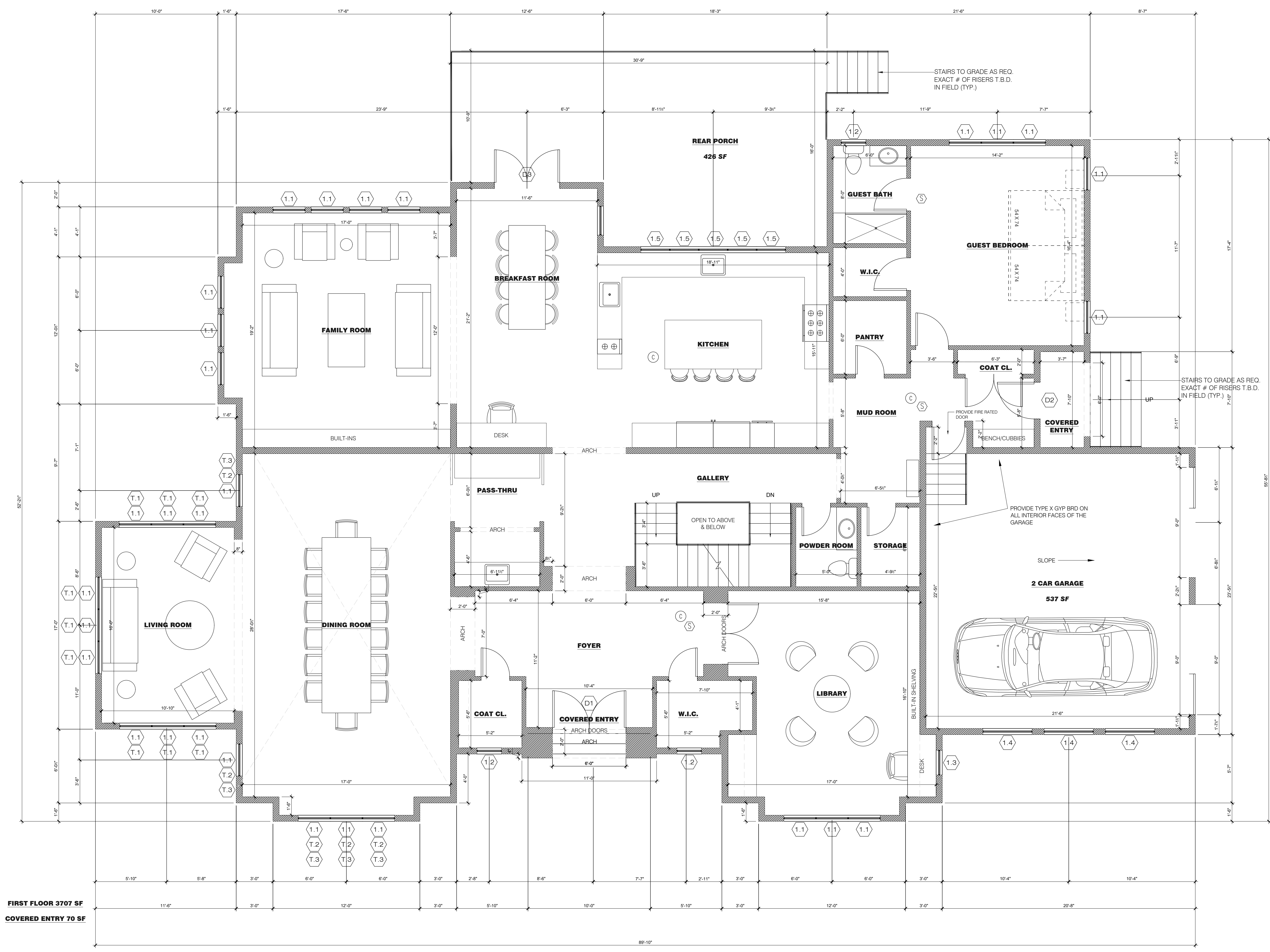
DATE:

12/28/2023

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NOTE:
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COLLABORATIVE INC.



FIRST FLOOR 3707 SF
COVERED ENTRY 70 SF

NOTES:
REV:

PROJECT TITLE:

RESIDENCE AT
1 ROCHELLE LANE
WESLEY HILLS, NEW YORK
DWG TITLE:
FIRST FLOOR PLAN

PROJECT TITLE:

Mayerfeld
ARCHITECTURE PLLC

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SCALE:



DWG No:

A-3

SHEET No:

3 OF 10

SCALE:

1/4"=1'-0"

DATE:

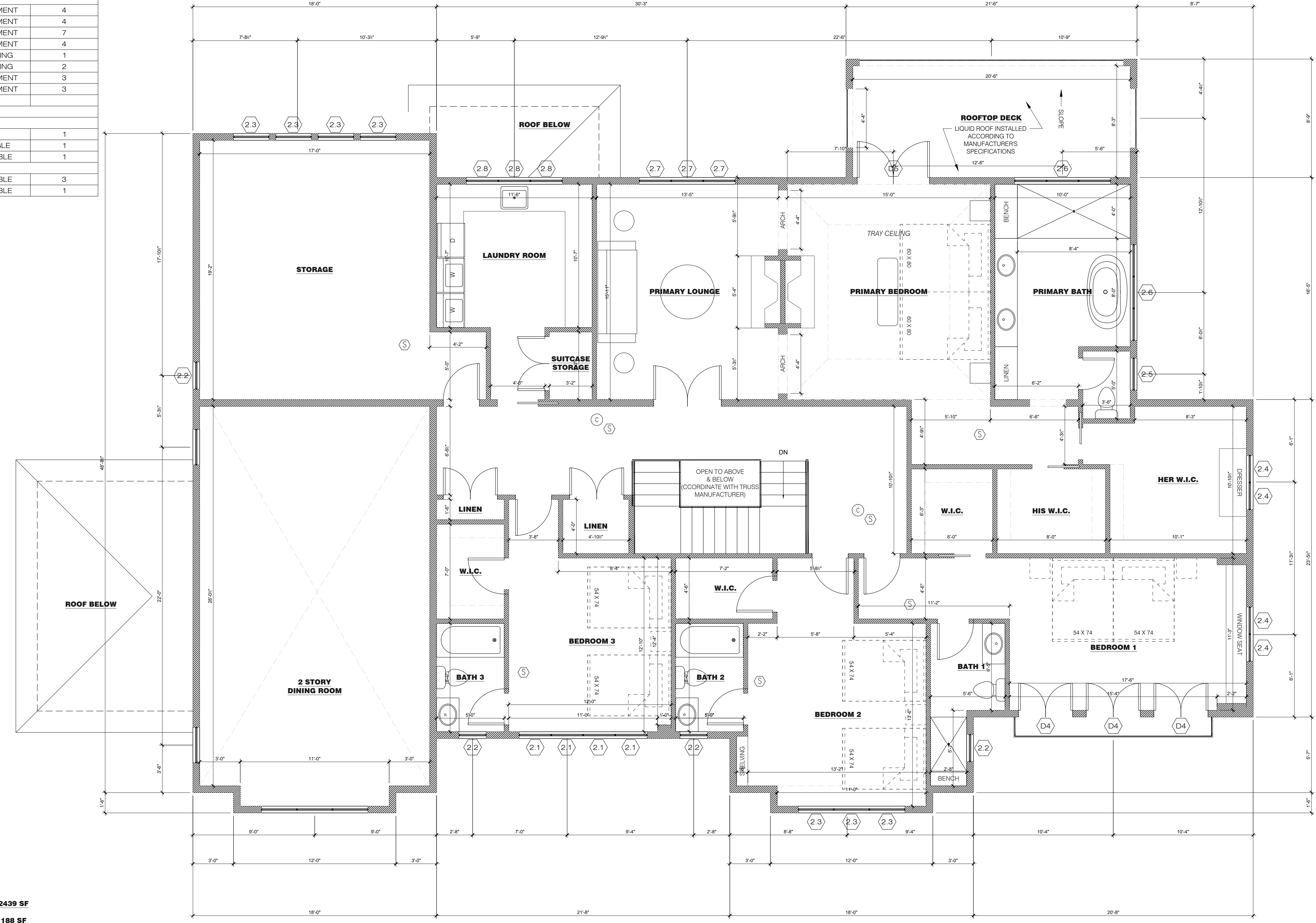
12/28/2023

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JOB No:

NOTE:
STRUCTURAL ENGINEERING
TO BE PROVIDED BY
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CONSULTING ENGINEERS
COLLABORATIVE INC.

WINDOW SCHEDULE			
SYMBOL	DIMENSION	TYPE	QUANTITY
BASEMENT			
0.1	T.B.D.	CASEMENT	X
FIRST FLOOR			
1.1	CX16	CASEMENT	29
T.1	CUSTOM	FIXED	9
T.2	CX14	FIXED	5
T.3	CX16	FIXED	5
1.2	C13	CASEMENT	3
1.3	C145	CASEMENT	1
1.4	SP404	FIXED	3
1.5	CW145	CASEMENT	5
SECOND FLOOR			
2.1	CW145	CASEMENT	4
2.2	C13	CASEMENT	4
2.3	CX15	CASEMENT	7
2.4	C14	CASEMENT	4
2.5	AX251	AWNING	1
2.6	AX3251	AWNING	2
2.7	CW15	CASEMENT	3
2.8	CW13	CASEMENT	3
WINDOW SCHEDULE			
FIRST FLOOR			
D1	CUSTOM		1
D2	FWOF3180	SINGLE	1
D3	FWOD5480	DOUBLE	1
SECOND FLOOR			
D4	HPI4070	DOUBLE	3
D5	FWOD54611	DOUBLE	1



SECOND FLOOR 2439 SF
COVERED DECK 188 SF

NOTES:
REV:

PROJECT TITLE:
**RESIDENCE AT
1 ROCHELLE LANE
WESLEY HILLS, NEW YORK**
DWG TITLE:
SECOND FLOOR PLAN

Mayerfeld
ARCHITECTURE PLLC
15 Lyncrest Drive, Monsey N.Y. 10952
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DWG No:

A-4

SHEET No:

4 OF 10

SCALE:

1/4"=1'-0"

DATE:

12/28/2023

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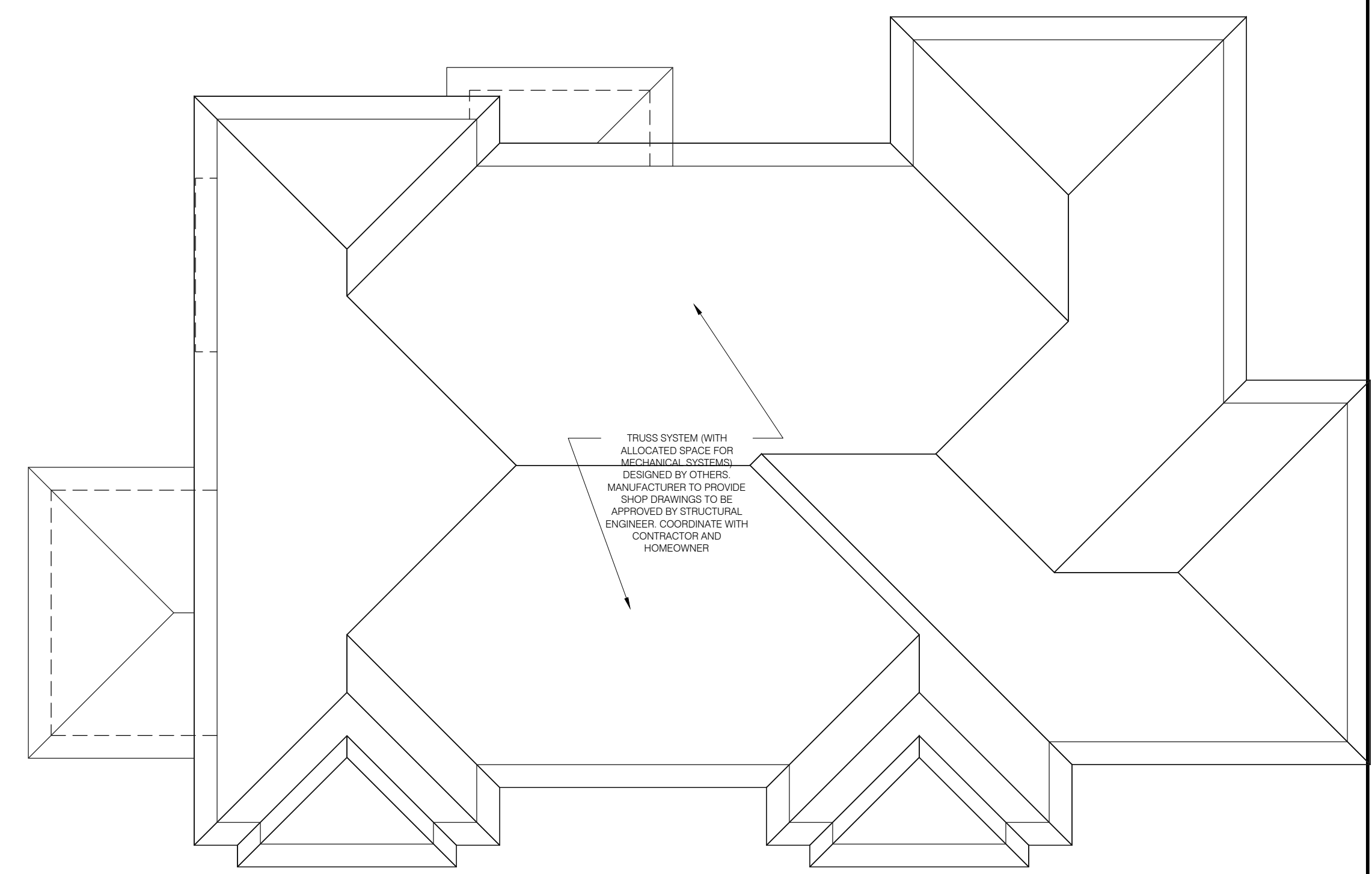
26

NOTE:
STRUCTURAL ENGINEERING
TO BE PROVIDED BY
RAJNIKANT DOSHI FROM
CONSULTING ENGINEERS
COLLABORATIVE INC.

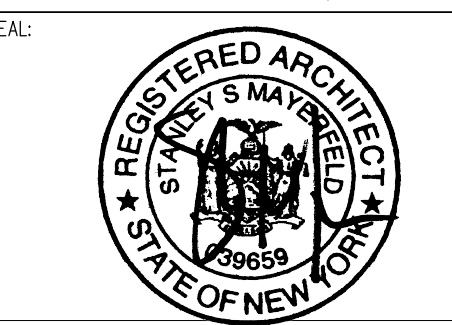


NOTES:
REV:

PROJECT TITLE:
**RESIDENCE AT
1 ROCHELLE LANE
WESLEY HILLS, NEW YORK**
DWG TITLE:
NORTH & EAST ELEVATIONS



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DWG No:
A-6
SHEET No:
6 OF 10
SCALE:
1/4"=1'-0"
DATE:
12/28/2023
JOB No:

NOTE:
STRUCTURAL ENGINEERING
TO BE PROVIDED BY
RAJNIKANT DOSHI FROM
CONSULTING ENGINEERS
COLLABORATIVE INC.



NOTES:
REV:

PROJECT TITLE:
**RESIDENCE AT
1 ROCHELLE LANE
WESLEY HILLS, NEW YORK**
DWG TITLE:
WEST & SOUTH ELEVATION

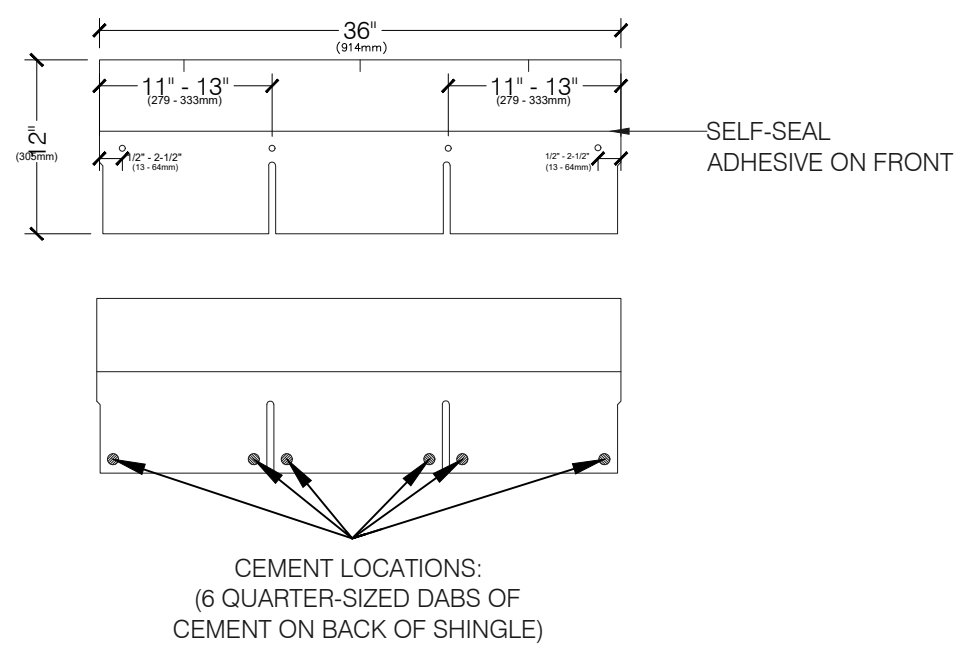
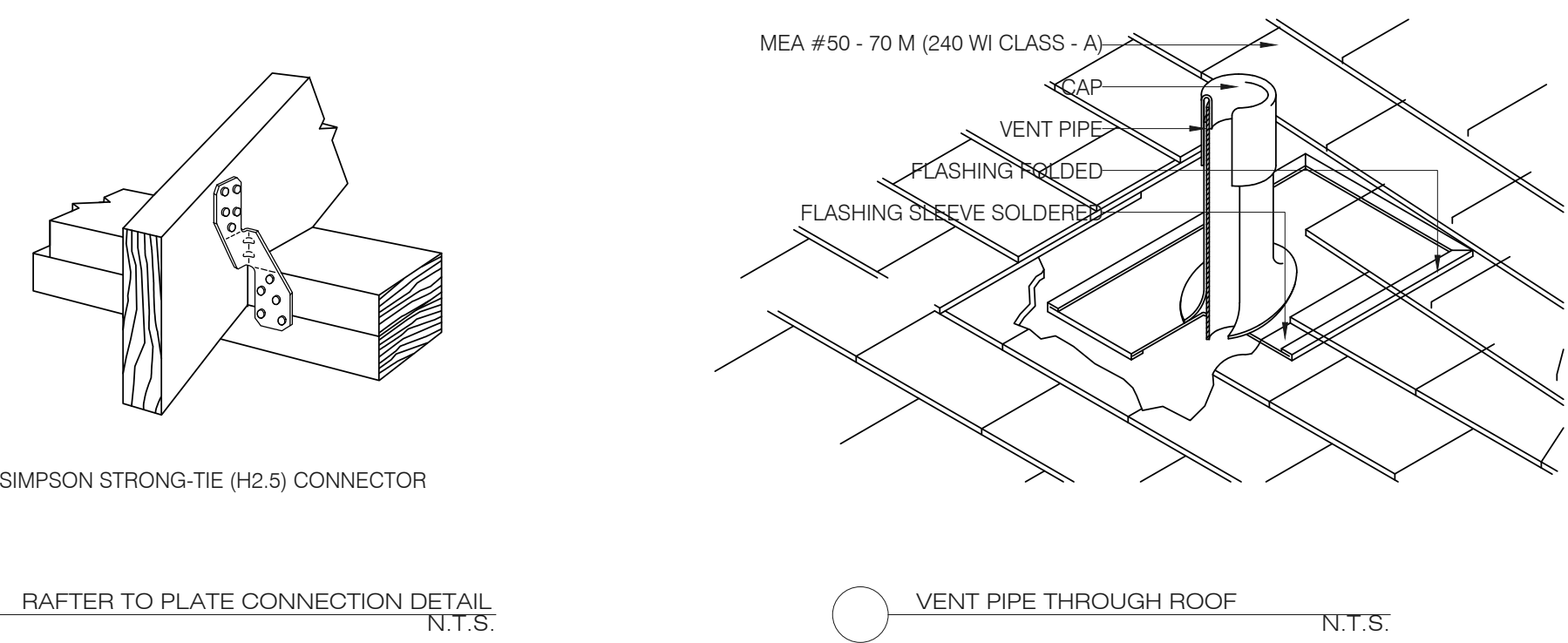
Mayerfeld
ARCHITECTURE PLLC
15 Lyncrest Drive, Monsey N.Y. 10952
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SEAL:

DWG No:
A-7

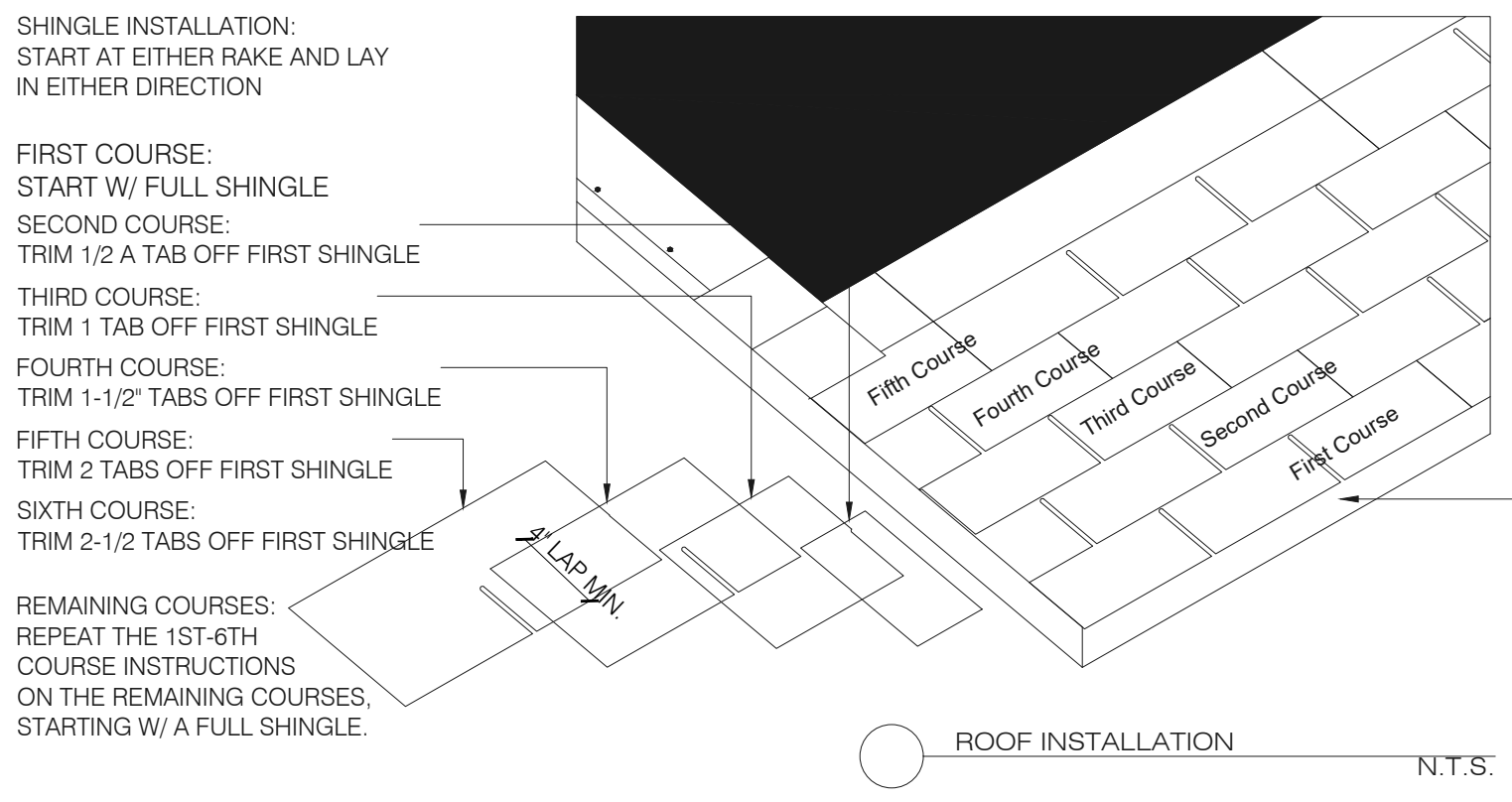
SHEET No:
7 OF 10
SCALE: 1/4"=1'-0"
DATE: 12/28/2023
JOB No:
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THESE SHINGLES MUST BE NAILED A NOMINAL 5-5/8" (143MM) FROM BOTTOM OF SHINGLE, ABOVE THE CUT OUTS, AS SHOWN. NAILS MUST NOT BE EXPOSED.

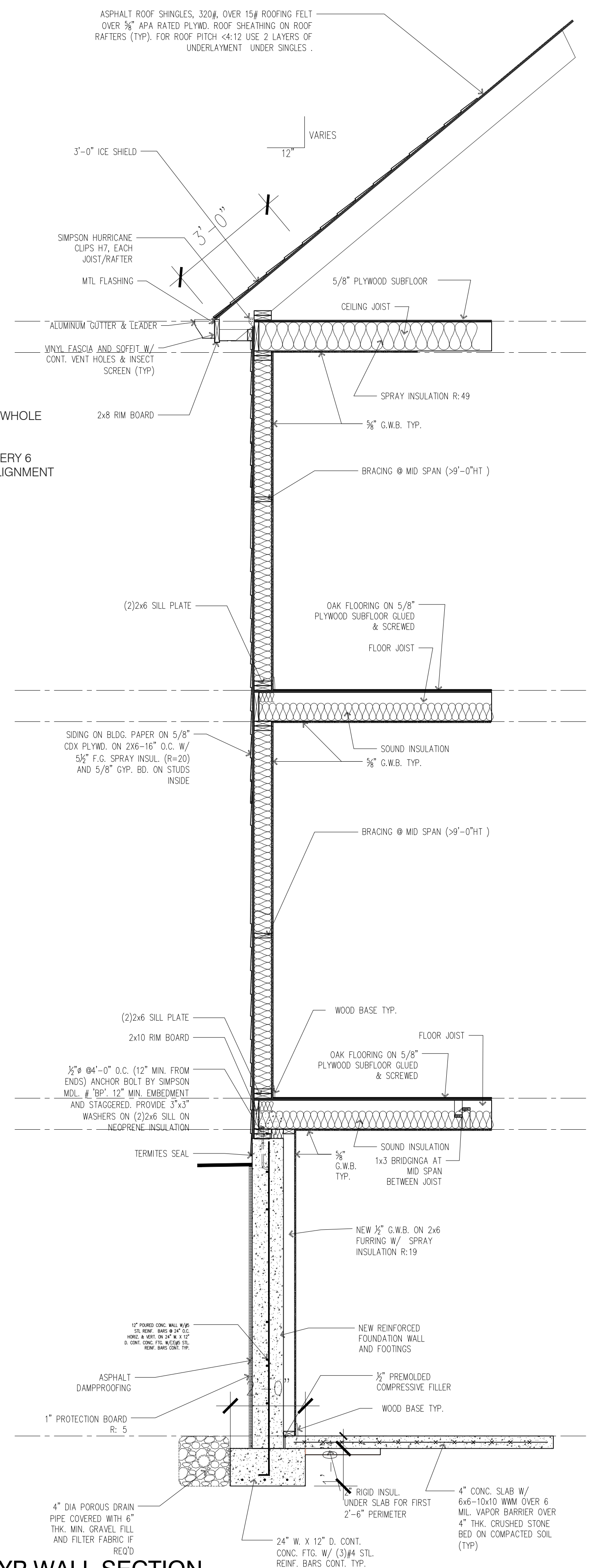
FASTENER TO BE STAINLESS STEEL MIN. 12 GA. (.105") SANK W/ A MIN. 3/8" Ø HEAD AND PENETRATE THRU ROOFING MATERIALS TO A MIN. OF 3/4" INTO SHEATHING. (2015 IBC 1507.2.5, 1507.2.6 & 1507.2.7)



NOTES:

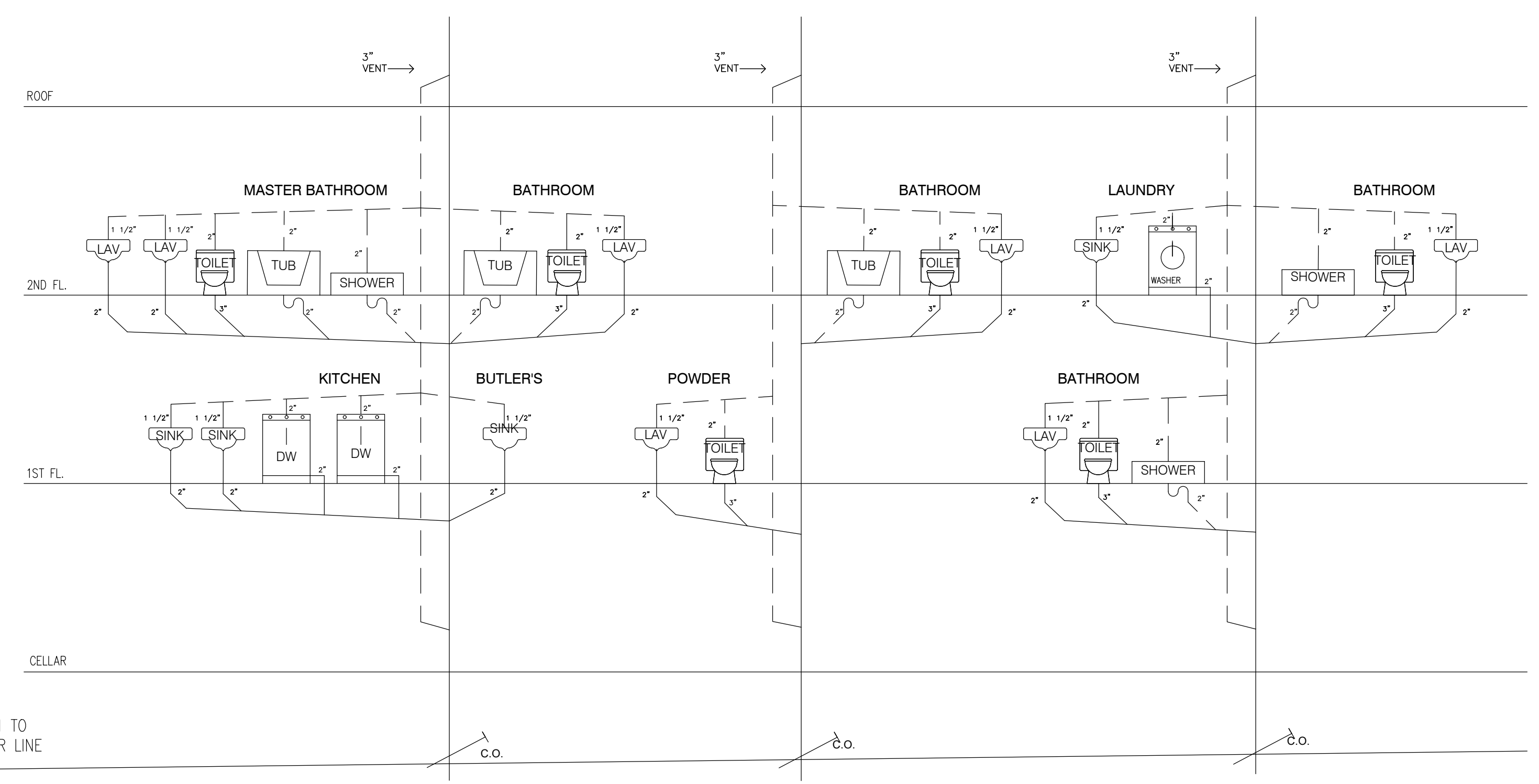
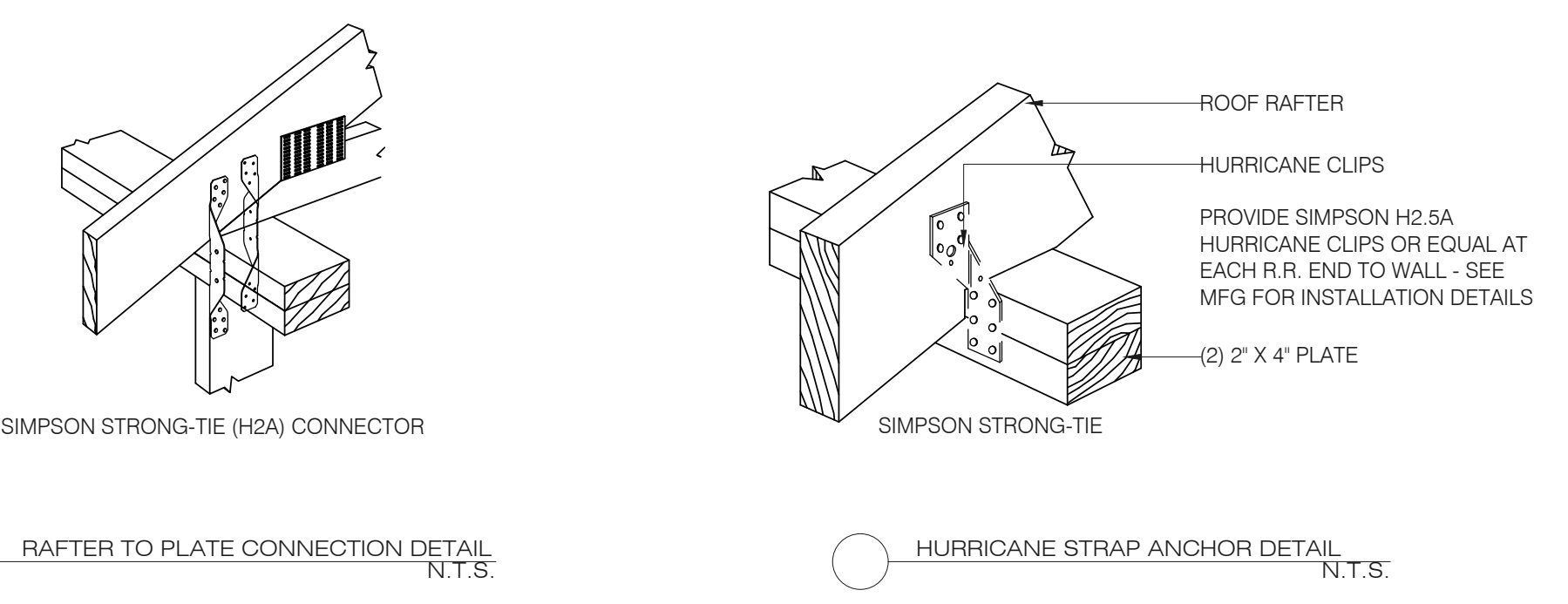
1. CONTINUE EACH COURSE WITH WHOLE SHINGLES.
2. STRIKE A CHALK LINE ABOUT EVERY 6 COURSES TO CHECK PARALLEL ALIGNMENT WITH EAVES.

PLACE FIRST COURSE OF SHINGLES 1/4" - 3/4" (6-19MM) OVER EAVE AND RAKE EDGES, COVERING STARTER COURSE OVERHANG, TO PROVIDE DRIP EDGE.



TYP WALL SECTION
SCALE : 1/2" = 1'-0"

NOTE:
STRUCTURAL ENGINEERING TO BE PROVIDED BY RAJNIKANT DOSHI FROM CONSULTING ENGINEERS COLLABORATIVE INC.



FOOTING DRAIN NOTE: FOOTING DRAIN MUST GO TO LOWEST ELEVATION WITH POSITIVE OUT FLOW

NOTES:
REV:

PROJECT TITLE:

RESIDENCE AT
1 ROCHELLE LANE
WESLEY HILLS, NEW YORK

SECTION & DETAILS

Mayerfeld
ARCHITECTURE PLLC

15 Lyncrest Drive, Montsey N.Y. 10952
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DWG No:

A-8

SHEET No:

8 OF 10

SCALE:

1/4"=1'-0"

DATE:

12/28/2023

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JOB No:



MEMORANDUM

TO: Lon Lieberman, Chairman
Members, Village of Wesley Hills Planning Board

FROM: William Brady, AICP

DATE: August 25, 2025

RE: 1 Rochelle Lane Architectural Review
Applicant: Willow Tree Management
Owner: Willow Tree Management.
SBL: 41.08-2-58.1; R-35 Zoning District

CC: John Layne, Building Inspector
Alicia Schultz, Deputy Village Clerk
Stewart Strow, P.E., Village Engineer
Bruce Minsky, Esq., Planning Board Attorney

Items Reviewed for this Memorandum

- Architectural Review Application Package, prepared and signed by Sol Menche, signed June 23, 2025.
- Project Narrative, unsigned and undated.
- Photos of house under construction.
- Short Environmental Assessment Form Part 1, prepared and signed by Sol Menche, June 30, 2025.
- Architectural Plans and Elevations, seven sheets, stamped by Stanley Mayerfeld, by Mayerfeld Architecture, dated December 28, 2023.
- Building Permit Plan, prepared, stamped and signed by Rachel Beth Barese of Civil Tec Engineering and Surveying, last revised June 13, 2025.

Project Summary

Willow Tree Management (“the Applicant”) is applying architectural approval for a 2.5-story home already under construction. The total square footage is not shown on plans. The site is 35,028 square feet (0.8 acres), located at the southeast corner of Rochelle Lane and East Willow Tree Road, and located in the R-35 zone. ARB review is required by §230-36.E.(5).

Submission Comments

1. Please submit these required additional items, per §230-36.E(5)(a): Colors and samples of façade and roofing materials to be used (with manufacturers’ pictures if available).

Architectural Review Comments

- 2. A public hearing is required as per Village Code §230-36.E(5)(c). The Planning Board may wish to schedule a public hearing if it finds the application to be complete enough.
- 3. As per the Village Code §230-36.E(5)(e)[1] and [2], no proposed construction should be excessively similar or dissimilar in relation to the surrounding existing structures within 500 feet. Photographs from Google Maps of nearby homes are included below. The proposed design does not appear to be excessively similar or dissimilar to homes in the surrounding neighborhood.

6 Rochelle Lane



9 Rochelle Lane



5 Rochelle Lane



9 East Willow Tree Road



SEQR/GML Comments

- 4. GML review will not be required for this application, as the County does not review ARB applications.
- 5. This can be classified as a Type II action as per SEQR §617.5(25), as “official acts of ministerial nature involving no exercise of discretion, including building permits and historic preservation permits where issuance is predicated solely on the applicant’s compliance or noncompliance with the relevant local building or preservation codes.”

VILLAGE OF WESLEY HILLS

432 Route 306

Wesley Hills, New York 10952

(845) 354-0400 Fax: (845) 354-4097

RECEIVED
VILLAGE OF WESLEY HILLS
JUL 8 2025
BUILDING,
PLANNING & ZONING

APPLICATION FOR WETLANDS PERMIT

NAME OF APPLICANT HENRY GONZALEZ FOR COOL POOL **PHONE** (845) 352-0110 EXT. 114

ADDRESS 85 SOUTH PASCACK ROAD NANUET NY 10954

PROJECT NAME DIWAN - 26 SPOOK ROCK ROAD WESLEY HILLS **TAX LOT #** SECTION 41.05 BLOCK 1 LOT 19

LOCATION 26 SPOOK ROCK ROAD WESLEY HILLS

DESCRIBE THE SPECIFIC PURPOSE, NATURE AND SCOPE OF THE ACTIVITY PROPOSED.


PROPOSED 14' X 34' INGROUND POOL WITH POOL COPING, 4'X'8' EQUIPMENT PAD, LED POOL LIGHTS,
PENTAIR INTELLICENTER WITH SALT GENERATOR, STA-RITE MAX-E THERM HEATER 333K BTU,
POLARIS POOL CLEANER, PENTAIR VARIABLE SPEED PUMP, STA-RITE MODULAR MEDIA FILTER SYSTEM,
EXISTING PAVERS TO REMAIN.

(Attach a separate piece of paper if necessary)

“Permission is hereby granted to the Village of Wesley Hills, its agents, servants and employees to enter upon the above described property solely for the purposes incidental to the within application at reasonable times upon reasonable notice to the owner or tenant in possession.”

SUBMIT THE FOLLOWING:

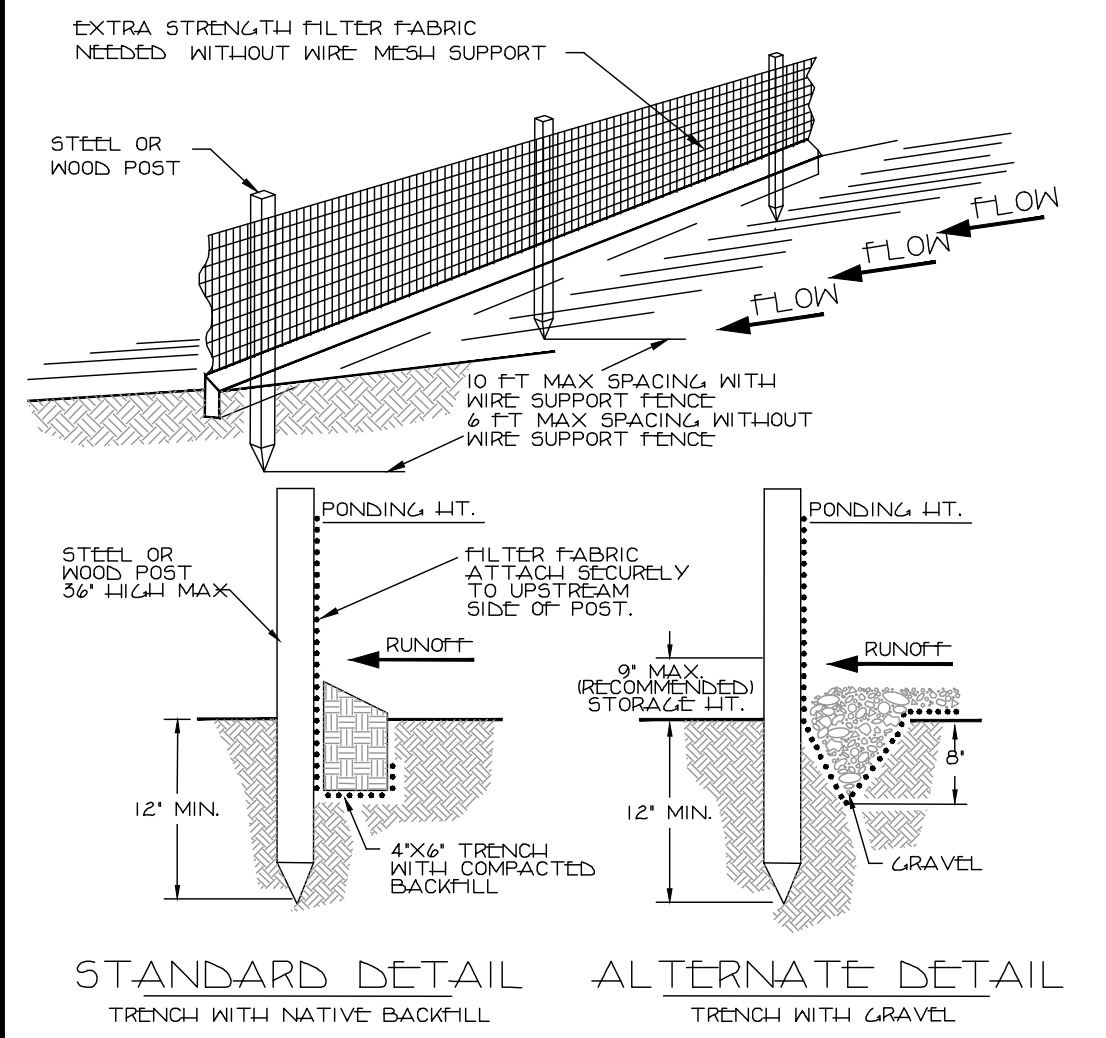
- 1) **A MAP SHOWING THE AREA OF WETLAND, WATER BODY OR WATERCOURSE DIRECTLY AFFECTED.**
- 2) **A TOPOGRAPHICAL AND PERIMETER SURVEY, HYDROLOGICAL COMPUTATION, ENGINEERING STUDIES AND OTHER FACTUAL OR SCIENTIFIC DATA AND REPORTS AS DEEMED NECESSARY BY THE PLANNING BOARD TO PERMIT IT TO ARRIVE AT A PROPER DETERMINATION.**
- 3) **FEE(S): \$100 for first 1,000 square feet of affected area, plus \$50 for each additional 1,000 square feet of affected area (as determined by Village Engineer), plus actual publication cost.**


SIGNATURE (APPLICANT OR AGENT) HENRY GONZALEZ FOR COOL POOL

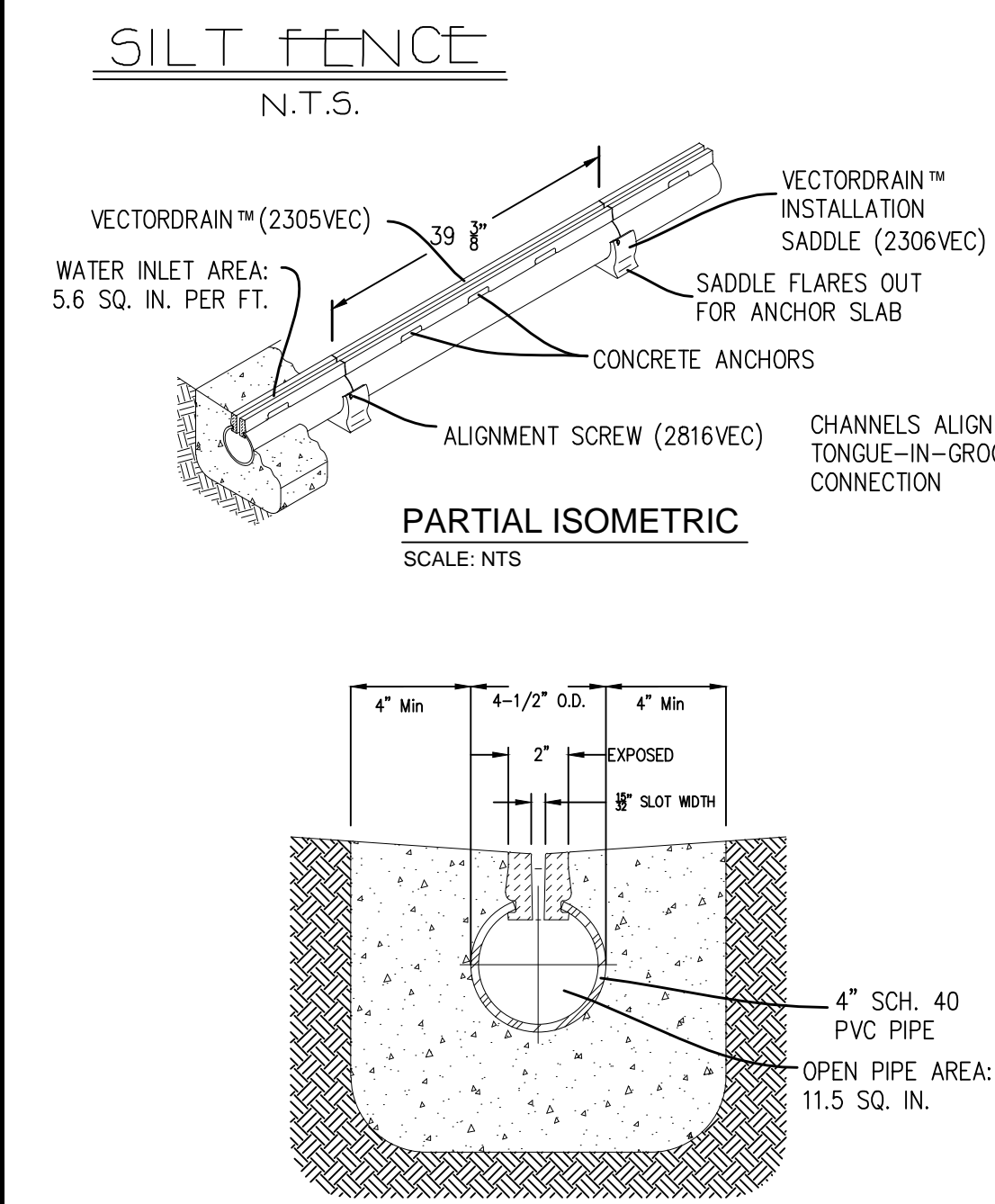
JULY 7, 2025
DATE

TAX LOT: SECTION 41.05, BLOCK 1, LOT 19
 REFERENCES:
 - ALL BOUNDARY INFORMATION IS REFERENCED FROM A SURVEY PREPARED BY ANTHONY R. CELENTANO, PLS DATED OCTOBER 27, 2024.
 - BEING LOT 1 IN BLOCK A ON A CERTAIN MAP ENTITLED "SUBDIVISION OF VISTA CELESTE" FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP #3308 BOOK #69 PAGE #23 ON 02/11/1965.

- NOTES:
- ALL DISTURBED AREAS TO BE TOPSOILED AND SEEDED.
 - ALL DIRT FROM THE EXCAVATION IS TO BE REMOVED FROM THE SITE.
 - DATUM=NAVD83
 - THERE SHALL BE NO DIRECT DISCHARGE TO THE TRIBUTARY OF THE MALDEN RIVER.
 - OWNER: RAJIV & SHAILAR DIWAN 26 SPOOK ROCK ROAD SUFFERN, NY 10990
 - FLOOD PLAIN ELEVATION=376.4 FEET (MOST UP TO DATE)
 - CARTRIDGE FILTERS WILL BE UTILIZED SO NO BACKWASH IS REQUIRED.

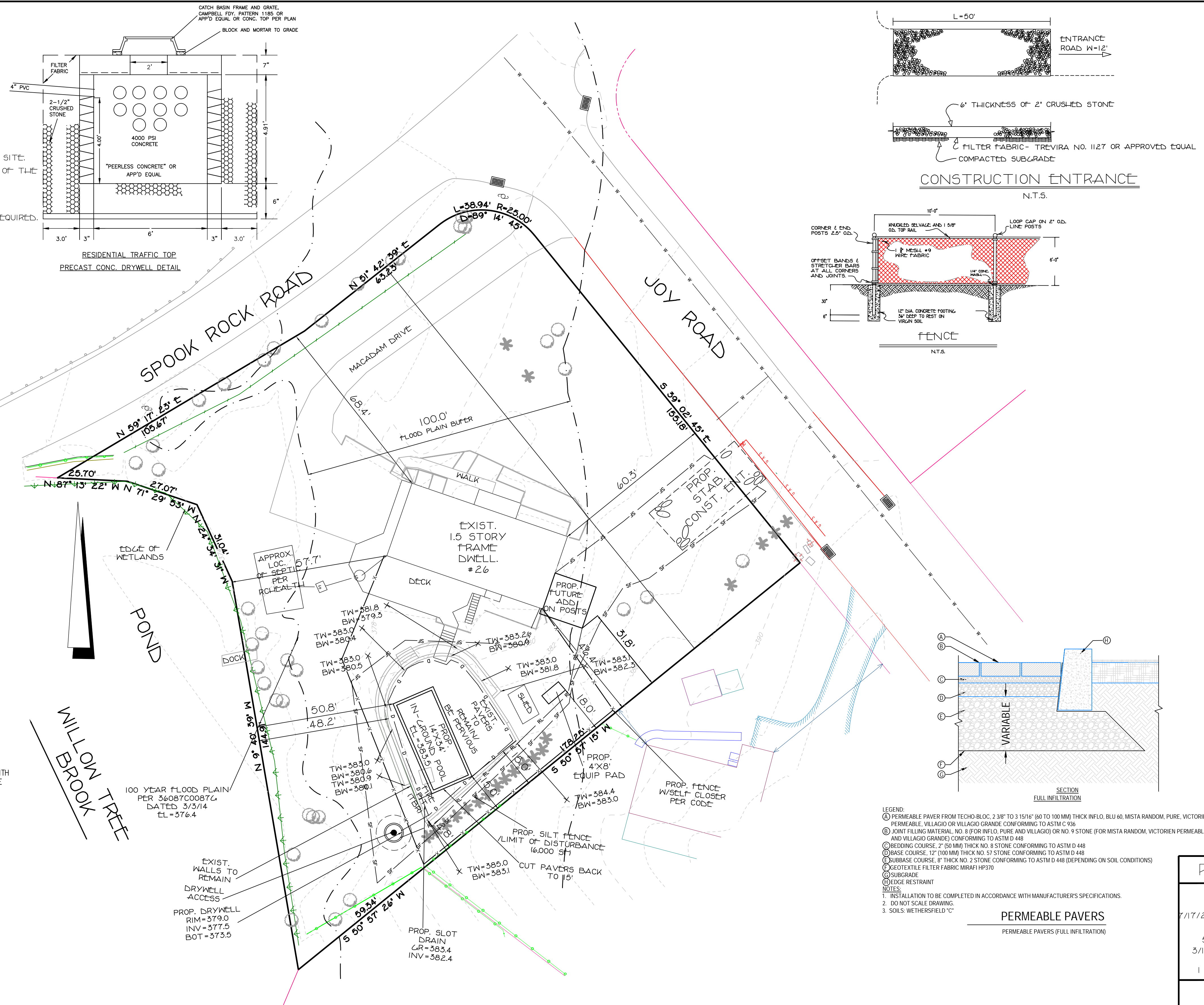


- NOTE:
- INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 - SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.



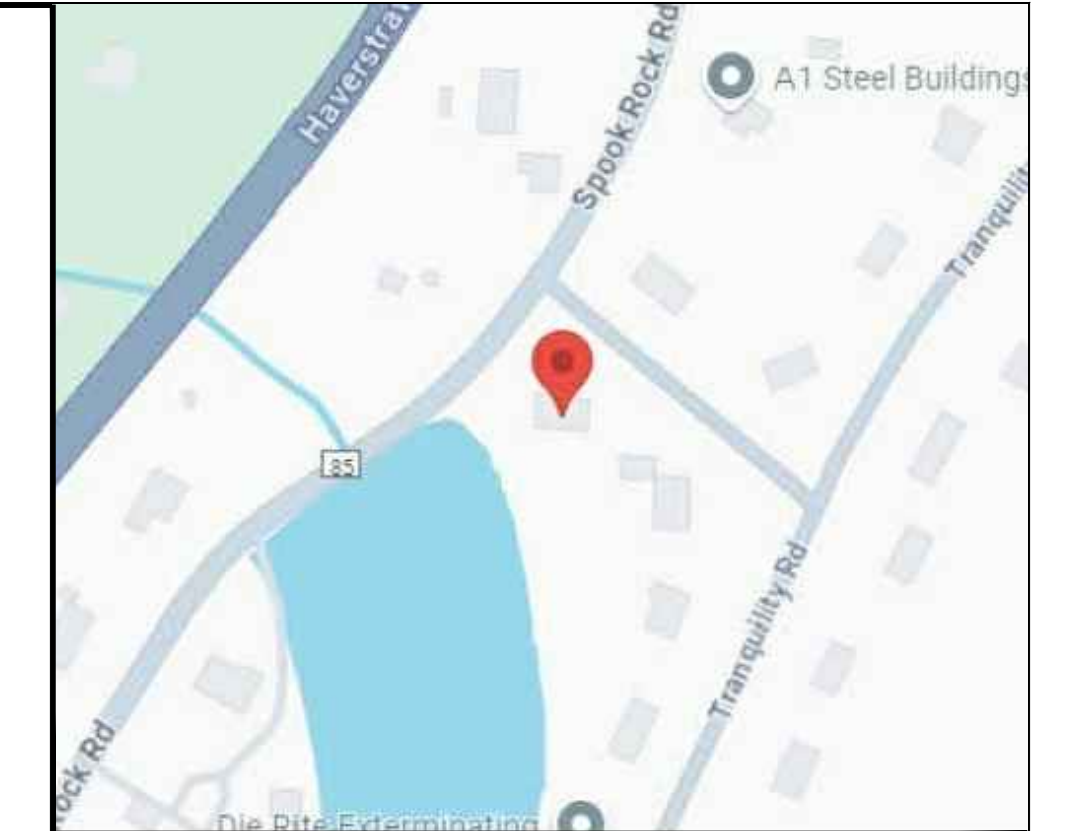
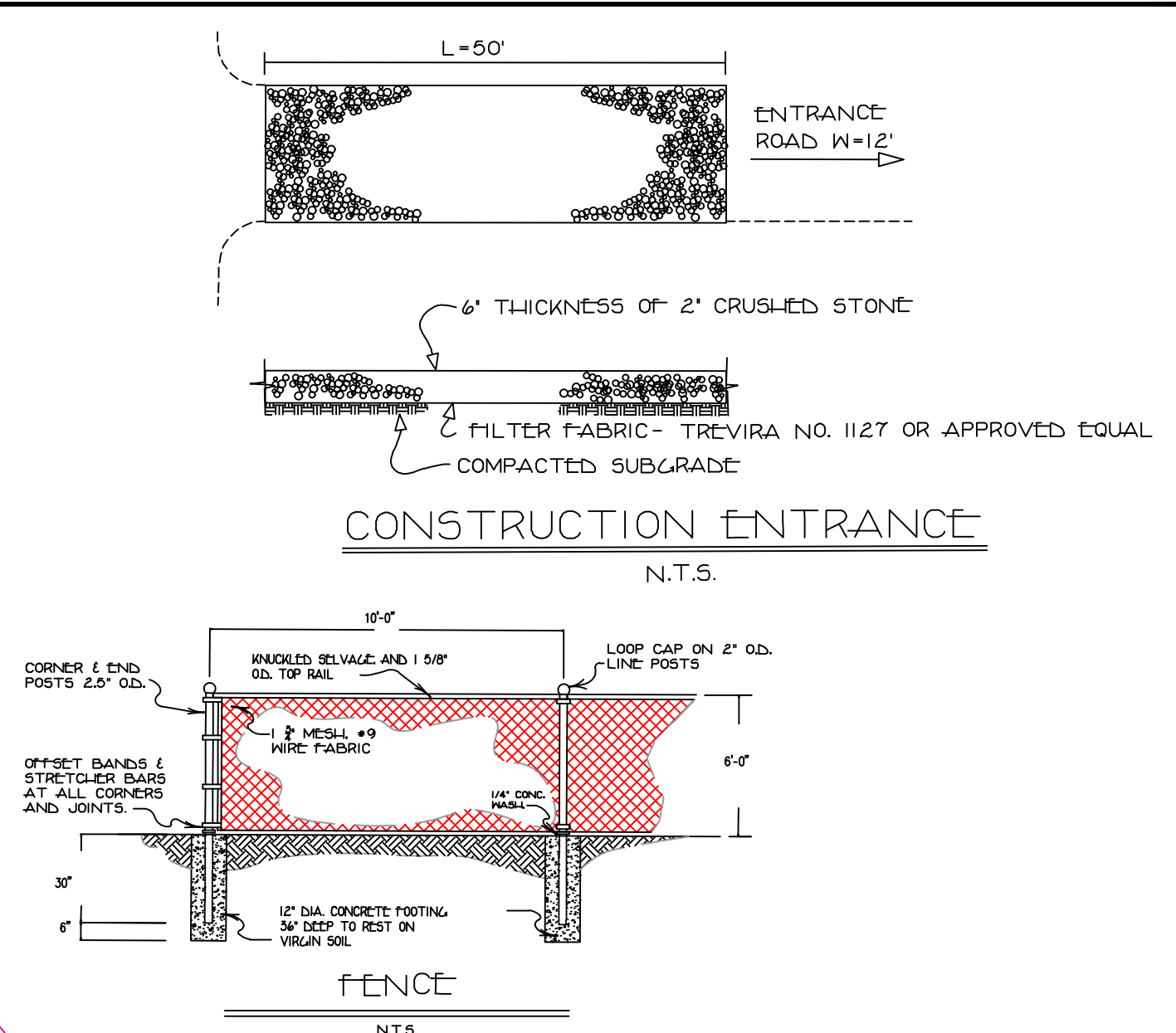
EXISTING IMPERVIOUS SURFACES:
 DWELLING = 1,819 SF
 DECK = 914 SF
 DRIVEWAY & WALK = 2,713 SF
 SHED = 85 SF
 PAVERS = 1,745 SF
 TOTAL = 7,276 SF
 EX. COV. = 7,276 SF / 35,006 SF = 0.208
 PROP. COVERAGE:
 DWELLING = 1,819 SF
 DECK = 914 SF
 DRIVEWAY & WALK = 2,713 SF
 SHED = 85 SF
 PAVERS = 1,169 SF TO REMAIN & BE PERVIOUS
 PROP. POOL = 976 SF
 PROP. EQ. PAD = 32 SF
 PROP. ADD = 257 SF
 TOTAL IMPERVIOUS = 6,396 SF
 PRO. COV. = 6,396 SF / 35,006 SF = 0.183

CALL BEFORE YOU DIG, DRILL OR BLAST
 NO LESS THAN TWO WORKING DAYS NOTICE
 IT'S THE LAW!



	MINIMUM LOT AREA (SF)	MINIMUM LOT FRONTAGE (FT)	MINIMUM LOT WIDTH (FT)	MINIMUM EFFECTIVE SQUARE SIDE (FT)	FRONT YARD (FT)	SIDE YARD (FT)	TOTAL SIDE YARD (FT)	REAR YARD (FT)	MAXIMUM IMPERVIOUS SURFACE RATIO	MAXIMUM FRONT YARD IMPERVIOUS SURFACE RATIO	MAXIMUM BUILDING COVERAGE	MAXIMUM BUILDING HEIGHT (STORIES/FT)	MAXIMUM EXPOSED BUILDING HEIGHT (FT)	SIDE YARD POOL/PATIO (FT)	REAR YARD POOL/PATIO (FT)
REQD.	50,000	100	150	150	50	30	75	50	0.20	0.15	0.10	2.5 / 25	40	15	15
EXIST.	35,006*	363.0	180.5	150	60.3	46.4	NA	57.7	0.21*	NO CHANGE	0.081	NO CHANGE	NO CHANGE	NA/12.8*	NA/48.2
PROD.	35,006*	363.0	180.5	150	60.3	31.8	NA	57.7	0.183	NO CHANGE	0.088	NO CHANGE	NO CHANGE	15.0/15.0	50.8/48.2

* EXISTING NON-COMFORMING.



Drywell Design:

Wethersfield 'C'

Development size = 0.0195 Acre
 Undeveloped SCS Curve No. = 74.0000
 Developed SCS Curve No. = 98.0000

1. Selected Design Storm
 100 year, 24-hour = 9.3000

2. Type of subsurface disposal system:
 Precast drywell with 3-3/4" steel rebar

3. Determine Percolation Rate:
 Percolation Rate = 1.0000 inches
 Drop Time = 30.0000 minutes
 Surface area of Cylinder = 1.0000 sq ft
 Ac = PFD/Naig = 1.0000 sq ft
 D = 9.0000 inches
 Ac = 2.2503 Ft²
 Bottom Area = 0.7854 Ft²
 Ab = 0.7854 Ft²
 Volume of Percolation = 3.0107 Ft³
 Ap = 3.0107 Ft³
 Ap/Ab = 0.0054 Ft³
 Soil Percolation Rate = 0.0007 Ft³/Ft²/day
 S = 1.0000 Ft³/Ft²/day
 S = (minus digging factor of 25%) = 0.7500 Ft³/Ft²/day

4. Calculate Required Storage Volume:
 100y, 24 hour rainfall = 9.3000 inches
 From Table 2-1 of TR-55
 Existing CIP = 74.0000 therefore depth Vm = 6.11 inches
 Proposed CIP = 98.0000 therefore depth Vm = 9.10 inches
 Delta Vm = 2.9900 inches
 Vm = Delta Vm * Area = 215.6282 Ft³

5. Calculate Volume per Drywell:
 Vm = Pm * D * height = 3.0000 feet
 Thickness of Stone = 0.3330 feet
 Diameter of drywell = 4.0000 feet
 Height of drywell = 225.1000 Ft³

6. Calculate 24-hour percolation volume per drywell (Vp):
 Vp = S * surface area of drywell * soil percolation rate (S)
 Vp = PDR * S = 98.0083 Ft³/day/drywell
 *Note: Bottom of drywell not included

7. Calculate the total 24-hour volume per drywell (Vd):
 Vd = Volume of drywell (Vm) + percolation volume (Vp)
 Vd = 323.7083 Ft³

8. Determine number of drywells required (Ndw):
 Ndw = Req. Volume of Storage (Vd) / Total Vol. per Drywell (Vd)
 Ndw = 0.7

USE 1

UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS MAP NOT HAVING THE SEAL OF THE SURVEYOR OR ENGINEER SHALL NOT BE VALID. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. USE OF UNSEALED COPIES OF THIS DOCUMENT IN ANY COURT, FINANCIAL TRANSACTION OR FILING WITH ANY STATE, COUNTY OR OFFICE IS AN UNLAWFUL VIOLATION OF FEDERAL COPYRIGHT LAWS.

PAUL GDANSKI, PE, PLLC
 3512 WHITTIER COURT
 MALDEN, N.J. 07430
 TEL: (917) 418-0999

REVISIONS

7/17/25 ADD FUTURE ADD.
 6/15/25 REVISE
 5/28/25 REVISE
 3/18/25 ADD SEPTIC
 3/15/25 REVISE
 1/11/25 REVISE

PLOT PLAN FOR DIWAN
 26 SPOOK ROCK RD.
 LOCATED IN THE VILLAGE OF WESLEY HILLS ROCKLAND COUNTY, NEW YORK

GRAPHIC SCALE
 0 10 20 30 40 50

PAUL GDANSKI, PE, PLLC
 3512 WHITTIER COURT
 MALDEN, N.J. 07430
 TEL: (917) 418-0999

NOV. 6, 2024

SCALE: 1" = 20'

1 OF 1

DRAINAGE AGENCY
A DIVISION OF THE HIGHWAY DEPARTMENT
26 Scotland Hill Road, Chestnut Ridge, NY 10977
Phone: (845) 638-5060 Fax: (845) 638-5037
Email: Drainageagency@co.rockland.ny.us

Charles H. "Skip" Vezzetti
Superintendent of Highways
Chairman, Drainage Agency

Vincent Altieri, Esq.
Executive Director

Via email: permits@coolpool.com

May 29, 2025

Mike Insignares
85 South Pascack Road,
Nanuet, NY 10954

Re: **SCA Permit Application No. 25-04**
Project Name: Inground Pool with Paver Patio
Location: 26 Spook Rock Road, Suffern
Parcel ID: Section 41.05, Block 1, Lot(s) 19
Municipality: Village of Wesley Hills
Resource: Willow Tree Brook

Dear Mike Insignares:

The Rockland County Drainage Agency (RCDA) has received and reviewed the following information submitted regarding the above referenced permit application:

- A. Comment Response Letter from Paul Gdanski, P.E., PLLC, to Shajan S. Thottakara, P.E., CFM, RCDA, for 26 Spook Rock Road, dated 03/08/2025.
- B. Additional Review Fee Check from Cool Pool LLC.
- C. Plot Plan for "26 Spook Rock Rd." drawing, prepared, signed and sealed/stamped by Paul Gdanski, P.E., dated/last revised 03/18/2025.
- D. Digital copy of the Plot Plan for "26 Spook Rock Rd." drawing, prepared, signed and sealed/stamped by Paul Gdanski, P.E., dated/last revised 5/28/2025.
- E. Improvement Cost Estimate Form for Permit Application 25-04, prepared and signed by Paul Gdanski, P.E., dated 5/28/2025.

Based on a review of the materials submitted, the RCDA offers the following comments:

- 1) Please provide a certification issued by the Floodplain Administrator (FA) of the Village of Wesley Hills certifying that the proposed construction is in compliance with the floodplain regulations of this municipality and the Federal Emergency Management Agency (FEMA). Alternatively, please have the FA certify that the entire project is outside the 100-year floodplain limits, **as previously requested**.
- 2) The proposed drywells are to be installed to a depth of approximately 8 feet according to the details provided. Test pits should be excavated in the vicinity of the proposed drywells to determine the depth of the seasonal high-water table, to ensure it is below the bottom of the proposed drywells for storage volume and required additional clearance for proposed infiltration. Prior to excavating the test pits, please provide the RCDA with the required test witnessing fee and then coordinate with this office for an RCDA inspector to be present at the site when the test pits are scheduled to be excavated. Alternatively, this requirement could be added as a special condition of permit, when issued, **to be addressed prior to any other construction**; however, the applicant is hereby notified that, depending on the depth to groundwater, the proposed SMP design may need to be changed by your engineer and reapproved by the RCDA.
- 3) Upon publishing the "Notice of Application" provided earlier, please obtain the requested "**Affidavit of Publication**" from the newspaper publisher and forward it to the RCDA for filing with your application.

- 4) Please provide three (3) sets/copies of the latest drawings, certified (signed and stamped/sealed) by a P.E. or R.A. to the RCDA.
- 5) *The RCDA is prepared to issue SCA Permit No. 25-04 under the Rockland County Stream Control Act regarding the above-referenced matter. In that regard, pursuant to the RCDA permit regulations, please submit **one of the following two options (A or B):***
- a) **Performance bond** in the amount of TWENTY THOUSAND TWO HUNDRED DOLLARS (\$20,200) to be released after permit conditions have been satisfied. Please see the attached/enclosed “*Bond Form for the Issuance of a Permit from the Rockland County Drainage Agency*” with performance bond instructions. Please have your Surety Company complete the attached/enclosed form and submit it with the required performance bond documents. **Please note that the Performance bond must be posted by the applicant or property owner.**
- B. **Cash bond** in the form of a certified bank check made payable to: *Rockland County Commissioner of Finance* in the amount of TWENTY THOUSAND TWO HUNDRED DOLLARS (\$20,200). *The cash bond amount will be returned to the permittee after permit conditions have been satisfied.*

The RCDA will issue the permit upon receipt, review and acceptance of the items requested above.

No work shall be done at the site until a valid Stream Control Act (SCA) permit has been obtained from the RCDA.

Please contact the undersigned at (845) 638-5060 or by email: thottaks@co.rockland.ny.us, if you have any questions regarding this matter.

Very truly yours,



Shajan S. Thottakara, P.E., CFM
Rockland County Drainage Agency

- c: Vincent Altieri, Esq., RCDA
Rajiv Diwan, Property Owner (by email: diwanr@gmail.com)
Paul Gdanski, P.E., Paul Gdanski, P.E., PLLC (by email: pgski@earthlink.net)
Building Inspector/Floodplain Administrator, Village of Wesley Hills (by email: buildinginspector@wesleyhills.org)
Rockland County Department of Planning (by email)



Memorandum

To: Lon Lieberman, Chairman
Members, Village of Wesley Hills Planning Board

From: William C. Brady, AICP
Gerard Chesterman, Planner

Re: **Diwan** – 26 Spook Rock Road Wetlands Permit
26 Spook Rock Road, Wesley Hills, New York
SBL# 41.05-1-19; R-50 Zoning District

Date: August 25, 2025

cc: Stewart Strow, P.E., Village Engineer
Bruce Minsky, Esq., Planning Board Attorney
Alicia Schultz, Deputy Village Clerk
John Layne, Building Inspector
Mark Friedman, Applicant

Received and reviewed for this memorandum:

- Application for Wetlands Permit, prepared and signed by Henry Gonzalez, dated July 7, 2025
- Plot Plan for Diwan, prepared, stamped, and signed by Paul Gdanski, P.E., dated November 6, 2024, last revised July 17, 2025

Project Summary

The applicant is proposing to build a 14' by 34' in-ground pool in the backyard of a single-family home. The applicant is also proposing an addition to the southeast side of the house. The applicant has submitted a wetlands permit application as both the pool and the addition are proposed to be within the 100' wetlands buffer area.

The proposed activity is located at 26 Spook Rock Road, on SBL 41.05-1-19, and in the R-50 Zoning District.

Zoning Comments

1. It appears that the applicant will need to apply to the ZBA for variances for this proposed construction. The Bulk table indicates the variances needed are:
 - a. Maximum Impervious Surface: 0.20 required, 0.21 proposed.
 - b. Minimum Pool Side Yard: 15' required, 12.8' proposed.

Wetland Permit Comments

2. The applicant must provide confirmation whether a permit is required from the NYSDEC. As noted by the Planning Board's engineer, the NYSDEC has expanded its jurisdiction over freshwater wetlands.
3. Section 221-7.C requires the Planning Board to consider whether an application for a wetlands permit to construct within a wetland buffer is not contrary to the purposes of §221-2 of the chapter. It also directs the

Planning Board to investigate whether prohibiting such construction or disturbance in the buffer would cause undue hardship to the property owner. The section states in full:

The Planning Board may grant a permit, subject to such terms and conditions as it shall reasonably impose upon finding that such activity is not contrary to the purposes of § 221-2 of this chapter. Said Board may also, in its discretion, permit any activity otherwise prohibited by this chapter to be done, except with respect to property designated on the State Wetlands Map or otherwise regulated by the state, provided that the Planning Board determines after investigation that to prohibit such activity would cause undue hardship to the property owner.

4. We will defer to the Planning Board Engineer regarding the engineering specifications of the wall construction and required drainage improvements.

Please let me know if you have any questions or comments regarding this review.



Glenn McCreedy, P.E., C.M.E.
Stuart Strow, P.E., C.F.M.

August 26, 2025

Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

Attn: Planning Board

Re: 26 Spook Rock Road
Wetland Permit Review
Tax Lot 41.05-1-9
CDW #WH25-302

Dear Members of the Planning Board,

Our office has received and reviewed a wetland permit submission for the above referenced project. The following information was provided for our review:

- Application for Wetlands Permit, prepared and signed by Henry Gonzalez, dated July 7, 2025
- Plot Plan for Diwan, prepared by Paul Gdanski, P.E., last revised July 17, 2025
- Letter from Rockland County Drainage Agency dated May, 29, 2025.
- E-mail from Paul Gdanski, sent to Village of Wesley Building Department on August 22, 2025

The proposed project features the construction of a swimming pool in an area that is currently developed as a patio. A plot plan submittal for this project was reviewed by our office on February 3, 2025. In that review, we requested that the wetland be shown on the plot plan. We also asked the applicant to confirm whether permitting was required from the Rockland County Drainage Agency and NYSDEC.

The letter from the Rockland County Drainage Agency dated May, 29, 2025 appears to indicate that the Drainage Agency is prepared to issue a permit subject to several conditions.

The email from Paul Gdanski includes a message from NYSDEC Bureau of Ecosystem Health. In summary, the email from NYSDEC states that "based on the information we have at our disposal" it does not appear that a wetland permit would be required. We do not know what information was provided to NYSDEC about this project, or what other information was available at their disposal. Additionally, the email notes that it is not an "official" determination" and that if an official determination is required by the local government, a Jurisdictional Determination request must be submitted to NYSDEC.

We offer the following engineering review comments:

1. The wetland line is now shown on the plan. The date of the delineation and identify of the person that delineated the wetland should be added to the plan.
2. The latest revision to the plan shows a "proposed future addition on posts" on the easterly side of the existing structure. The applicant must clarify whether this addition is part of the current application. We note that the addition is reflected in the bulk table (side setback) but it is not reflected in the drainage calculations.
3. The project proposes installation of permeable pavers and a drywell. Soil testing will be required to confirm the soil infiltration rates and depth to groundwater.

4. The project proposes the construction of a retaining wall with a maximum height of less than 3 feet. A typical retaining wall detail should be added to the plan.
5. The Wetland Permit application was completed by the swimming pool contractor. The project description includes detailed information about the swimming pool equipment, but it does not include any information that describes the project in respect to the wetland.

The subject property includes development within the 100-foot wetland buffer. That development includes the dwelling, driveway, patio and septic system. The proposed pool is located in area that is currently developed as a patio. We do not anticipate any adverse impacts to the wetland as result of this construction if the erosion control measures are properly installed and maintained.

The applicant was previously advised that as of January 1, 2025 NYSDEC has expanded their jurisdiction over freshwater wetlands. Per Sections 221-7-C of the Village Code, the Planning Board can reasonably impose terms and conditions in granting a permit.

If the Planning Board is inclined to grant this permit request, we recommend that the Planning Board should require an official determination from NYSDEC regarding their jurisdiction over the wetland.

Please contact our office if you have any questions.

Very truly yours,



Civil Design Works, LLC
Stuart Strow, P.E.
Principal

W:\Projects\WH\2025\WH25-302 - 26 Spook Rock Road\Correspondence\Review Letters\2025-08-26 26 Spook Rock Road - wetland permit review.docx

Paul Gdanski, PE, PLLC

3512 Whittier Court
Mahwah, NJ 07430
(917) 418-0999
Email: pgski@earthlink.net

Item 2.

August 30, 2025

Village of Wesley Hills
432 Route 306
Wesley Hills, NY 10952

Attn: Alicia Schultz, Deputy Village Clerk

Re: 26 Spook Rock ó Review Letters

To Whom It May Concern:

We have received the following letters and addressed the comments as follows:

Nelson Pope Voorhis letter dated August 25, 2025

1. It appears that the applicant will need to apply to the ZBA for variances for this proposed construction. The Bulk table indicates the variances needed are:
 - a. Maximum Impervious Surface: 0.20 required, 0.21 proposed.
 - b. Minimum Pool Side Yard: 15ørequired, 12.8øproposed.

The variances were existing and we are bringing it in to conformance as indicated on the bulk table.

2. The applicant must provide confirmation whether a permit is required from the NYSDEC. As noted by the Planning Board's engineer, the NYSDEC has expanded its jurisdiction over freshwater wetlands.

We have received confirmation from NYSDEC that the wetlands are not theirs.

3. Section 221-7.C requires the Planning Board to consider whether an application for a wetlands permit to construct within a wetland buffer is not contrary to the purposes of §221-2 of the chapter. It also directs the Planning Board to investigate whether prohibiting such construction or disturbance in the buffer would cause undue hardship to the property owner.

The pool construction takes place on all ready disturbed area with pavers. The addition is significantly away from the wetlands and is on posts. The only true disturbance will be the drywell which is underground and the area above will be restored to grass as it is now.

4. We will defer to the Planning Board Engineer regarding the engineering specifications of the wall construction and required drainage improvements.

All the walls are existing and will remain.

Civil Design Works letter dated August 26, 2025

- 1) The wetland line is now shown on the plan. The date of the delineation and identify of the person that delineated the wetland should be added to the plan.

It has been added to the plan.

- 2) The latest revision to the plan shows a proposed future addition on postsö on the easterly side of the existing structure. The applicant must clarify whether this addition is part of the current application. We note that the addition is reflected in the bulk table (side setback) but it is not reflected in the drainage calculations.

The addition is in the drainage calculations. The applicant is planning on doing the addition in the future and rather than return again, we felt it would be best to show it now.

- 3) The project proposes installation of permeable pavers and a drywell. Soil testing will be required to confirm the soil infiltration rates and depth to groundwater.

A note has been added.

- 4) The project proposes the construction of a retaining wall with a maximum height of less than 3 feet. A typical retaining wall detail should be added to the plan.

No retaining walls are proposed as they are all existing. A detail has been added.

- 5) The Wetland Permit application was completed by the swimming pool contractor. The project description includes detailed information about the swimming pool equipment, but it does not include any information that describes the project in respect to the wetland.

As mentioned in this response, only already disturbed areas are being disturbed.

All areas will be restored when completed and no work is taking place in the wetlands.

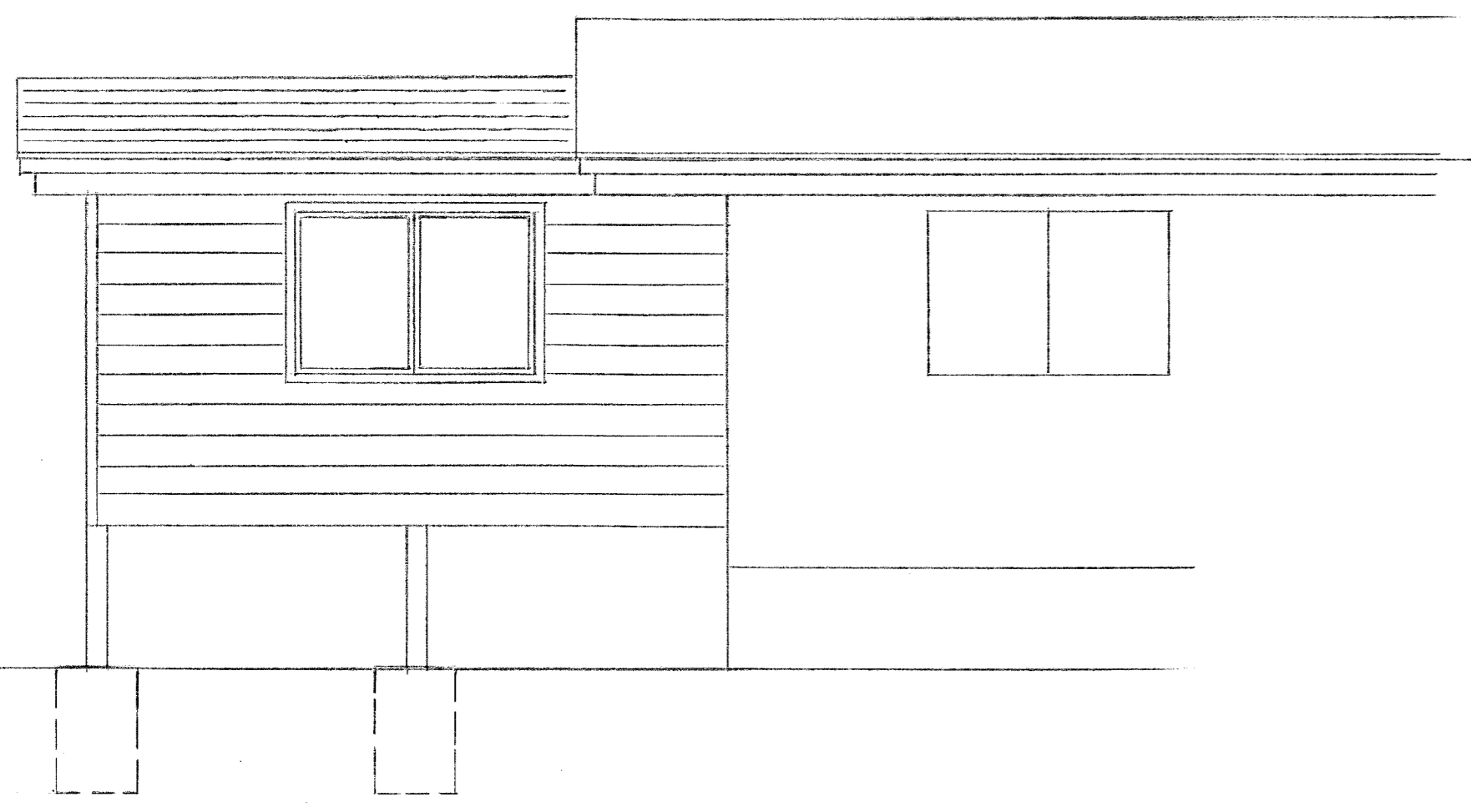
Very truly yours,

Paul Gdanski

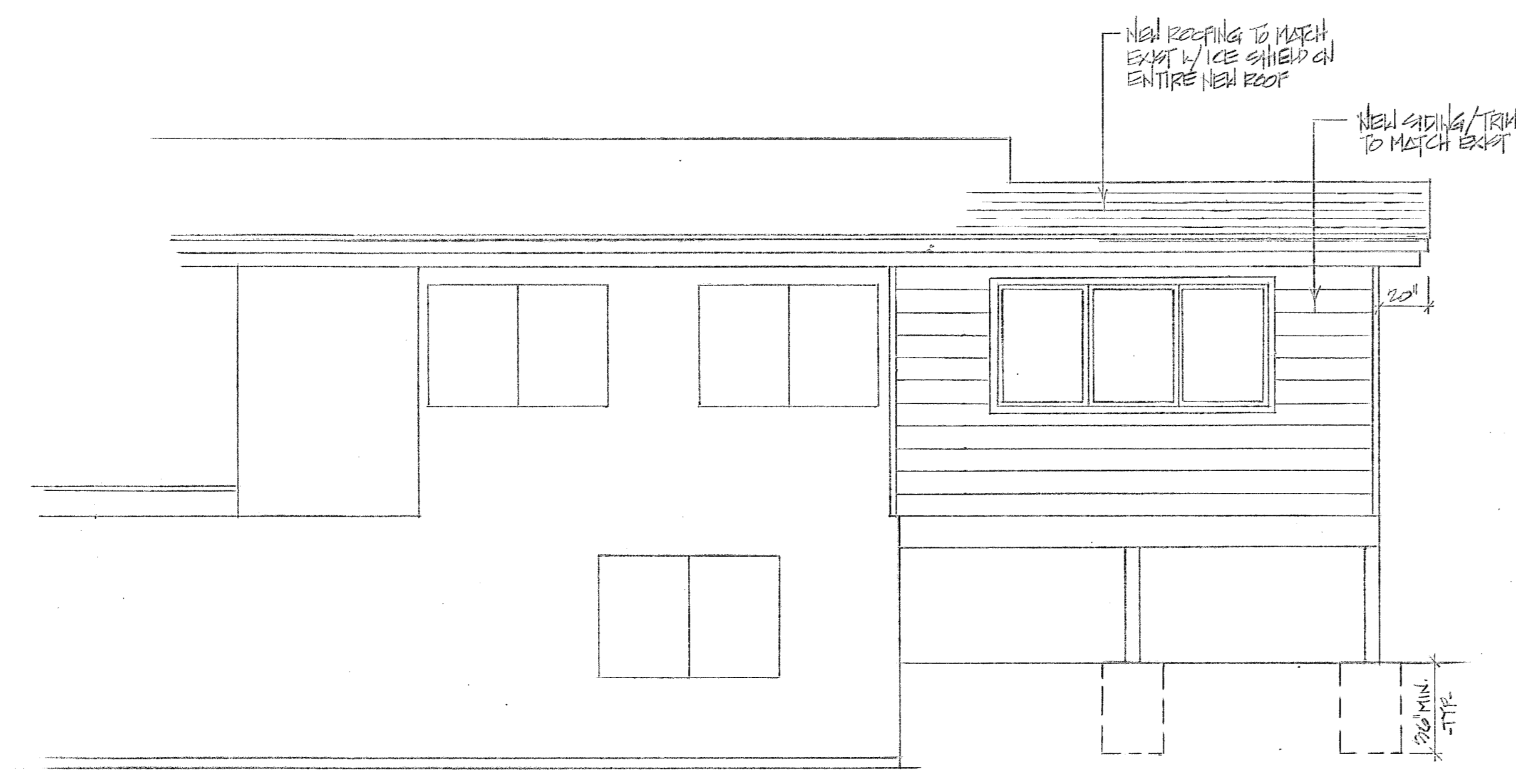
Paul Gdanski, P.E.

GENERAL SPECIFICATIONS

- GENERAL NOTES**
1. ALL WORK PERFORMED SHALL COMPLY WITH THE BUILDING AND ZONING ORDINANCES OF THE TOWN OF JESSUP, MISS., AND THE N.Y.S. BUILDING AND ENERGY CODES.
 2. THESE PLANS ARE TO BE USED FOR PERMITS & CONSTRUCTION GUIDE ONLY. IT IS NOT INTENDED TO BE USED AS A CONTRACT DOCUMENT, UNLESS OTHERWISE INDICATED BY ARCHITECT.
 3. CONTRACTOR OR ANY SUBCONTRACTOR DOING ANY WORK UNDER THIS CONTRACT SHALL CARRY LIABILITY AND PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ALL RISKS AND SHALL FURNISH OWNER WITH CERTIFICATE OF INSURANCE.
 4. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS ON THESE PLANS AGAINST FIELD CONDITIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
 5. ALL DIMENSIONS AND LOCATIONS AS INDICATED ON THE DRAWINGS SHALL BE CONSIDERED AS REASONABLY CORRECT, BUT IT SHALL BE UNDERSTOOD THAT THEY ARE SUBJECT TO MODIFICATION AS MAY BE NECESSARY OR DESIRABLE AT THE TIME OF INSTALLATION TO MEET ANY UNFORESEEN OR OTHER CONDITION.
 6. ARCHITECT AND RELATED CONSULTANTS HAVE NOT BEEN RETAINED FOR CONSTRUCTION INSPECTION SERVICES OR FOR APPROVAL OF SHOP DRAWINGS. ARCHITECT IS ONLY RESPONSIBLE FOR THESE WORKING DRAWINGS AND THEIR RELATED SPECIFICATIONS. IT REMAINS INCUMBENT ON THE CONTRACTOR TO INFORM THE BUILDING DEPARTMENT OR THE ARCHITECT OF ANY DISCREPANCY OR CHANGE ON APPROVED PLANS AND OF ANY UNFORESEEN DEVELOPMENT THAT MAY OCCUR DURING THE COURSE OF CONSTRUCTION.
 7. ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXISTING STRUCTURE OR ANY UNFORESEEN PROBLEMS PRIOR TO NEW CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY NEW CONSTRUCTION AND/OR DEMOLITIONS OPERATIONS AND METHODS.
 8. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS. ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED. ARCHITECT SHALL BE INFORMED OF ANY DISCREPANCIES, MATCH ALL EXISTING MATERIALS, DIMENSIONS, AND CONDITIONS AS THEY APPLY.
 9. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED PRIOR TO START OF WORK. DO NOT SCALE DIMENSIONS FROM DRAWINGS. WRITTEN DIMENSIONS ARE TO BE FOLLOWED FOR CONSTRUCTION PURPOSES.
 10. ALL CONSTRUCTION & MATERIALS SHALL BE NEW - UNLESS OTHERWISE NOTED. ALL MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR, UNLESS OTHERWISE NOTED.
 11. ALL WORK OF THE VARIOUS TRADES INVOLVED WITH THE CONSTRUCTION OF THIS PROJECT, IS TO BE PERFORMED BY CAPABLE AND REPUTABLE CONTRACTORS, LICENSED IN THE STATE OF NEW YORK AND AS REQUIRED BY THE LOCAL GOVERNING AGENCY.
 12. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT HAS BEEN SECURED AS REQUIRED BY THE APPLICABLE GOVERNING AGENCY OR AGENCIES.
 13. ALL CONDITIONS AND DIMENSIONS SHALL BE VERIFIED BEFORE START OF ANY WORK AND DISCREPANCIES OR VARIATIONS TO APPROVED PLAN ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING.
 14. PRIOR TO COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE FROM THE JOB SITE ALL TOOLS, SURPLUS MATERIALS, EQUIPMENT, SCRAP, DEBRIS, AND WASTE EXCEPT AS OTHERWISE NOTED BY THE OWNER.
- SITE NOTES**
15. CONTRACTOR/OWNER IS RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES AND VERIFYING LOCATION OF SAME UTILITY COMPANIES LINES, SERVICES AND OTHER POSSIBLE EQUIPMENT OF UTILITY COMPANY.
 16. ALL EXISTING CONDITIONS INDICATED ON THE PLANS TO BE REMOVED OR RELOCATED ARE TO BE SO EXECUTED IN A MANNER THAT WILL NOT DISTURB ADJACENT AREAS OR CONDITIONS WHICH ARE TO REMAIN.
 17. EXTREME CAUTION IS TO BE TAKEN DURING EXCAVATION AND/OR DEMOLITION. CONTRACTOR TO OBSERVE ANY VARIATIONS OR UNFORESEEN DISCREPANCIES IN THE PLANS AND REPORTED IMMEDIATELY TO THE OWNER.
 18. ALL FOOTINGS TO REST ON VIRGIN SOIL HAVING A MINIMUM BEARING CAPACITY OF 2000 P.S.F. AT 2' MINIMUM BELOW THE FINISHED GRADE.
 19. EARTH UNDER CONCRETE SLAB BE THOROUGHLY COMPACTED AND CLEANED OF DEBRIS, WATER AND OTHER MATTER. THE SUB-GRADE SHALL DROUGHT TO A TRUE PLANE & COMPACTED TO HOLD BEARING. ALL FILL MATERIAL SHALL BE SOIL OR SOIL-ROCK MIXTURE FREE FROM ORGANIC MATTER AND OTHER OBJECTIONABLE MATERIAL. IT SHALL CONTAIN NO ROCKS OR LUMPS OVER SIX INCHES IN GREATEST DIMENSION AND NOT MORE THAN 10% OF THE ROCKS OR LUMPS SHALL BE LARGER THAN 2" IN GREATEST DIMENSION.
 20. DO NOT BACKFILL UNTIL MAIN FLOOR SYSTEMS, INCLUDING SLABS AND FLOOR DECKING, ARE INSTALLED.
 21. BACKFILL AGAINST 8" POURED CONCRETE WALLS SHALL BE A MAXIMUM OF 7" OF AND 10" CONCRETE BLOCK WALLS MAXIMUM 6" ABOVE SLAB TO ADJACENT GRADE.
 22. TOP 6" OF NEWLY GRADED AREAS IS TO BE TOP SOIL RAKED FREE FROM DEBRIS, STICKS, STONES OR OTHER OBJECTIONABLE MATERIAL.
 23. GENERAL CONTRACTOR OR OWNER SHALL FIELD VERIFY ALL INVERT ELEVATIONS AND SEWER CONDITIONS INDICATED PRIOR TO CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR INFORMATION CONTAINED IN SURVEYS OR SEWER DEPT. RECORDS.
 24. FOOTING DRAINS TO BE PROVIDED WHERE REQUIRED AND APPROPRIATE THEY SHALL BE Laid IN GRAVEL BED AND PROTECTED AT TOP WITH FILTER FABRIC AND PROVIDE POSITIVE OUTFLOW TO STORM DRAIN OR DRY WELL.
 25. FINISHED GRADE AND URSEWAY SHALL PITCH AWAY FROM THE BUILDING, SO THAT ALL SURFACE WATER FLOWS AWAY FROM IT.
 26. INSTALLATION OF GAS METERS SHALL BE IN STRICT ACCORDANCE WITH LOCAL UTILITY COMPANY SPECIFICATIONS.
 27. INSTALLATION OF ELECTRIC METERS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH LOCAL UTILITY COMPANY SPECIFICATIONS.
 28. FINISHED GRADE HEIGHT SHALL BE MINIMUM 8" BELOW ADJACENT FRAMING AND MAXIMUM (IF ANY) AS PER LOCAL CODES.
- CONCRETE AND MASONRY**
29. NEW POURED CONCRETE TO BE MINIMUM 3000 P.S.I. COMPRESSIVE STRENGTH IN 28 DAYS. 8.0 BAGS OF CEMENT MIN. PER CUBIC YARD OF CONCRETE AND MAXIMUM 7.0 GALLONS OF WATER PER 94 LB BAG OF CEMENT. 6.14 GALLONS OF WATER PER 94 POUND BAG OF CEMENT FOR AIR ENTRAINMENT CONCRETE. SUBMIT TESTING REPORTS PERFORMED BY APPROVED TESTING LABORATORY, AS REQUIRED BY LOCAL OFFICIALS.
 30. CONCRETE DESIGN, MATERIALS, AND METHODS OF CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE STANDARD 3180 OF THE AMERICAN CONCRETE INSTITUTE. ALL MASONRY OR CONCRETE ANCHORS AND FASTENERS OF ANY KIND, TO BE GALVANIZED OR ZINC COATED.
 31. BLOCK FOUNDATION WALLS TO BE REINFORCED HORIZONTALLY WITH 6#-O-WALL EVERY SECOND COURSE AND VERTICALLY WITH (#4 # 8 RE-BARS EVERY FOUR FEET BLOCK SHALL BE FILLED SOLID WITH CONCRETE AROUND REINFORCING BARS). TOP COURSE OF BLOCK SHALL BE FILLED SOLID WITH CONCRETE AND 3/4" DIAMETER ANCHOR BOLTS SHALL BE PLACED 4'-0" TO 6'-0" O.C.

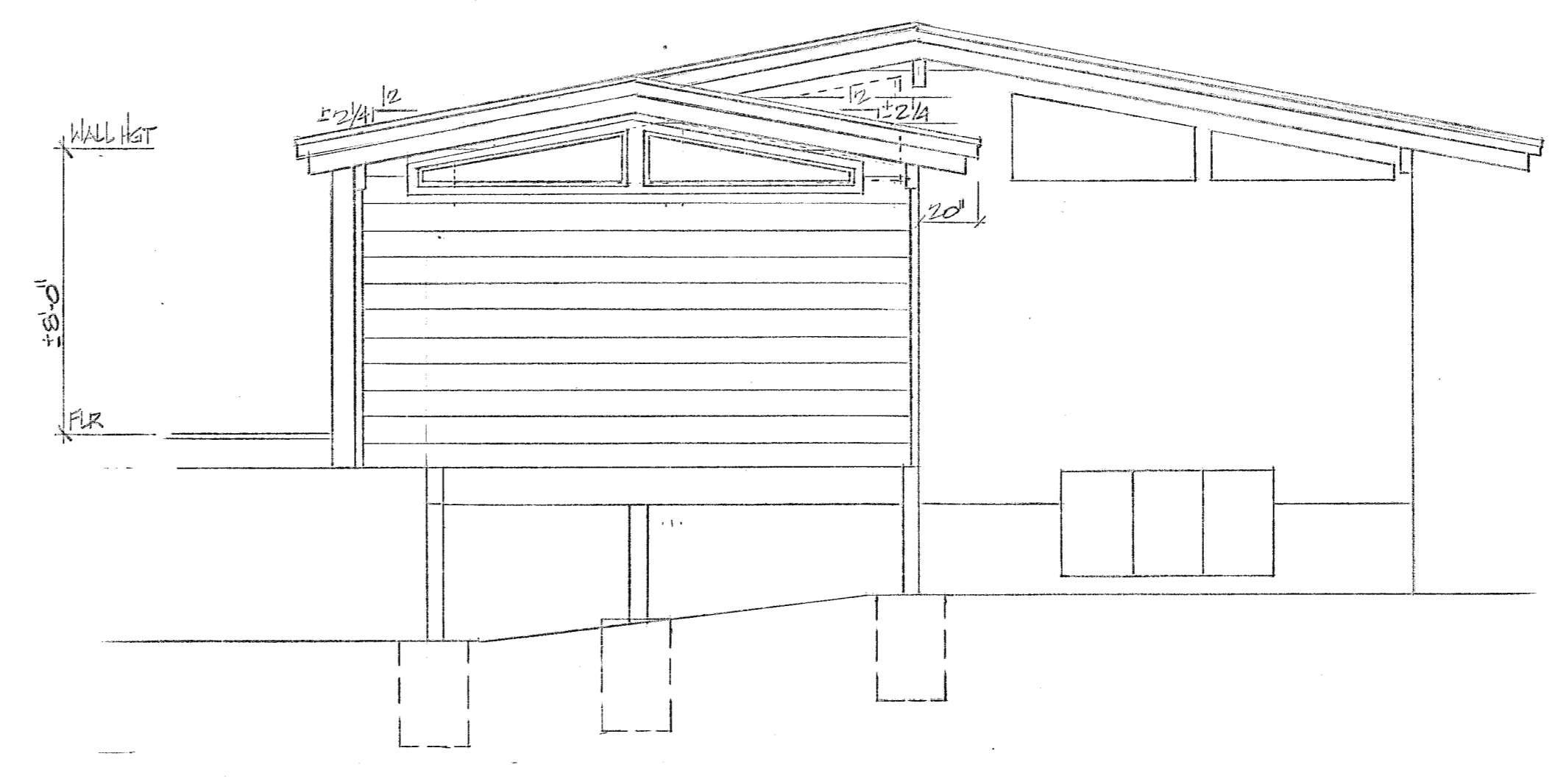


FRONT ELEVATION



REAR ELEVATION

SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION

ENERGY CODE

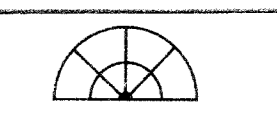
TABLE R602.1.2
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT, ROCKLAND/ORANGE CLIMATE ZONES

CLIMATE ZONE	FENESTRATION U-FACTOR	GLAZING SHADING COEFFICIENT	GLAZING FENESTRATION SHCO, %	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	CLARK SPACE R-VALUE & DEPTH	CRAWL SPACE R-VALUE	
										ROCKLAND/ORANGE
4 except 4a	0.30	0.00	0.40	49	20" or 13" x 5" h	8/13	19	10/13	10.2 ft	10/13
5 and 6 except 4	0.32	0.05	NR	49	20" or 13" x 5" h	13/17	30-9	15/19	10.2 ft	15/19

DIWAN RESIDENCE ONE-STORY ADDITION

26 S POOK ROCK ROAD WESLEY HILLS, N.Y.

HARRY J. GOLDSTEIN ARCHITECT



HARRY J. GOLDSTEIN ARCHITECT DESIGN & DEVELOPMENT

N.Y.S. LICENSE NO. 023518 NOT VALID UNLESS SIGNED & SEALED

48REGINA ROAD MONROE, NEW YORK 10952 (845) 356-7942 (914) 393-5787

PROJECT 240732 OCTOBER 17, 2024

1 OF 2

GENERAL SPECS. CONTINUED

FRAMING

32. ALL LUMBER MATERIALS USED IN THE BUILDING SHALL BE GOOD, SOUND, DRY MATERIAL, FREE FROM ROT, LARGE AND CLOSE KNOTS, SHAKES AND OTHER IMPERFECTIONS WHEREBY THE STRENGTH MAY BE IMPAIRED AND OF SIZES INDICATED ON DRAWINGS. STUDS, SILLS, POSTS, LINTELS AND RAFTERS SHALL BE HEAVYER (10% MAXIMUM GRADE EXCEPT IF NOTED OTHERWISE HEREINAFTER IN THIS SPECIFICATION OR ON THE DRAWINGS. THE MIN. UNIT STRESS FOR HEAVY LUMBER SHALL BE:

FIBER STRESS (F _b)	= 1500 PSI
HORIZONTAL SHEAR (F _v)	= 95 PSI
MODULUS OF ELASTICITY (E)	= 1,400,000 PSI

WHERE INDICATED ON THE DRAWINGS WITH THE NOTATION FR-100 ONLY DOUGLAS FIR-LARCH-NORTH (19% MAX. MOISTURE) NO. 1 GRADE SHALL BE USED WITH THE FOLLOWING MIN. UNIT STRESSES:

FIBER STRESS (F _b)	= 1500 PSI
HORIZONTAL SHEAR (F _v)	= 95 PSI
MODULUS OF ELASTICITY (E)	= 1,800,000 PSI

CALCULATED DESIGN LOADS (ADD 10 PSI DEAD LOAD ALL SPANS):

ROOF	20 PSI LIVE LOAD (L ₀)
FLOORS	40 PSI LIVE LOAD (L ₀)
ATTIC	20 PSI LIVE LOAD (L ₀)
DECKS	60 PSI LIVE LOAD (L ₀)

33. ALL SILL PLATES IN CONTACT WITH CONCRETE OR MASONRY WALLS, SLABS, ETC. SHALL BE PRESSURE TREATED LUMBER (UNLESS OTHERWISE NOTED). THE SEAL SHALL BE OWENS CORNING SH-1 SEALER OR APPROVED EQUAL. TERMITES SHALL BE INSTALLED WHERE REQUIRED BY SITE CONDITIONS AND BUILDING CODES.

34. DOUBLE JOISTS SHALL BE INSTALLED UNDER ALL PARTITIONS RUNNING PARALLEL WITH SPANS AND AROUND ALL FLOOR OPENINGS. DOUBLE STUDS SHALL BE INSTALLED AROUND ALL WALL OPENINGS. ONE ROW OF SOLID TRIMMING AT HEAD HEIGHT WITH ALL INTERIOR BEARING WALLS, DOUBLE FRAMING AROUND ALL SKYLIGHTS, ROOF AND FLOOR TRUSSES (I/J) AND L.V.L. (MEMBERS) TO BE INSTALLED IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS. FLOOR JOISTS SHALL RECEIVE CROSSBRIDGING AT 7'-0" O.C. MAXIMUM SPACING.

35. INTERIOR SUBFLOOR SHALL BE 3/4" TONGUE AND GROOVE SHEATHING GLOUED AND NAILED OVER PREPARED FLOOR (BRASS) OR TWO LAYERS OF 1/2" PLYWOOD JOIST PERPENDICULAR TO EACH OTHER, WITH BUILDING PAPER BETWEEN LAYERS, GLOUED AND NAILED TO FLOOR JOISTS. EXTERIOR SHEATHING SHALL BE 1/2" EXTERIOR GRADE APPLIED HORIZONTALLY WITH VERTICAL JOINTS STAGGERED 4". ROOF SHEATHING SHALL BE 1/2" EXTERIOR GRADE APPLIED HORIZONTALLY WITH VERTICAL JOINTS STAGGERED 4".

36. EXTERIOR WALLS SHALL BE 2" X 4" WOOD FRAMING. INTERIOR PARTITIONS SHALL BE 2" X 4" WOOD FRAMING. STUDS SHALL BE PLACED AT 16" ON CENTER (UNLESS OTHERWISE NOTED) AND RECEIVE BLOCKING AT MID-HEIGHT AS REQUIRED. STUDS AT GABLE ENDS UNDER CATHEDRAL CEILING SHALL RUN FULL HEIGHT FROM SOLE PLATE TO ROOF AND SHALL RECEIVE SOLID BLOCKING AT 4' ABOVE FLOOR. ALL BEARING WALLS AND PARTITIONS SHALL RECEIVE BLOCKING AT MID-HEIGHT.

37. HEADERS OVER ALL DOORS, WINDOWS, AND OTHER OPENINGS UNDER 6' 0" SHALL BE 2" X 10" (UNLESS OTHERWISE NOTED). HEADER OPENINGS 6' 0" TO 8' 0" SHALL RECEIVE 2" X 12" OR 2" X 14" HEADERS IN EXTERIOR WALLS, UNLESS OTHERWISE NOTED.

38. ALL EXTERIOR DECKS SHALL BE FRAMED WITH PRESSURE TREATED LUMBER (UNLESS OTHERWISE NOTED). LUMBER SHALL HAVE THE FOLLOWING MINIMAL STRESSES: F 1000 PSI AND E 1,000,000 PSI AND SHALL BE SOUTHERN YELLOW PINE OR APPROVED EQUAL. GALVANIZED HEAVY DUTY POST CASES SHALL BE PROVIDED AT BASE OF ALL WOOD COLUMNS. DECK JOISTS SHALL RECEIVE DIAGONAL CROSSBRACE OR DIAGONAL BRACING, JOISTS AND RAILS TO BE NON-TOXIC LUMBER, I.E. DOUGLAS FIR, CEDAR, OR EQUAL. RAILINGS TO BE CONSTRUCTED AT 36" HEIGHT AND WITH MAXIMUM 6" SPHERE OPENING, AS PER CODES.

39. ROOFING MATERIAL SHALL BE MINIMUM 30 YEAR FIBERGLASS SHINGLES (OWENS CORNING OR APPROVED EQUAL) OVER 1/2" INSULATION. FLASHING AND OTHER APPROPRIATE FLASHING SHALL BE PROVIDED AS REQUIRED. ICE AND WATER SHIELD SHALL BE INSTALLED AS REQUIRED.

40. FASCIA BOARDS SHALL BE SCANNED AT A 45 DEGREE ANGLE OR 30 DEGREE ANGLE. FASCIA BOARDS SHALL BE COMMON PINE WRAPPED IN ALUMINUM, UNLESS OTHERWISE NOTED.

41. ALUMINUM GUTTERS AND LEADERS SHALL BE PROVIDED AS REQUIRED. SPLASH BLOCKS SHALL BE PROVIDED AT OUTLETS UNLESS OTHER PROVISIONS FOR WATER DIRECTION ARE PROVIDED. ALL WATER MUST DRAIN AWAY FROM STRUCTURE SO AS NOT TO CONTRIBUTE TO GROUND WATER SEEPAGE AT FOUNDATION.

42. WINDOWS SHALL BE SIZE, TYPE AND MFG. AS INDICATED ON PLANS, WITH SCREENS AND HARDWARE PROVIDED. GLAZING LESS THAN 16" ABOVE FLOOR SHALL BE TEMPERED. OPTIONS SUCH AS GLAZING, GRILLS, COLORED, ETC. SHALL BE SELECTED BY OWNER AND/OR BUILDER PRIOR TO CONSTRUCTION. HEAD HEIGHT SHALL BE 8' - 10", UNLESS OTHERWISE NOTED.

43. EXTERIOR DOORS TO BE OF THE MANUFACTURER, TYPE, SIZE, AND STYLE AS INDICATED ON THE DRAWINGS. ANY MANUFACTURER'S OPTIONS SHALL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR UNLESS OTHERWISE NOTED ON THE DRAWINGS. ALL DOORS SHALL BE 6' - 8" HEIGHT UNLESS OTHERWISE NOTED. PROVIDE WEATHER STRIP SADDLES ON ALL EXTERIOR DOORS. PROVIDE ALUMINUM SADDLE ON ALL INTERIOR PERSONNEL GARAGE DOORS.

44. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH LOCAL HEALTH DEPARTMENT REQUIREMENTS AND SHALL BE SUBJECT TO THE APPROVAL OF THE PLUMBING INSPECTOR. PLUMBING WORK SHALL BE PROVIDED BY CONTRACTOR. BATHROOM FIXTURES SHALL BE KOHLER, AMERICAN STANDARD, OR APPROVED EQUAL. OWNER SHALL SELECT FIXTURES AND COLORS. PLUMBING FIXTURES MANUFACTURED BY:

45. ALL ELECTRICAL WORK SHALL CONFORM COMPLETELY TO THE REQUIREMENTS OF THE N.Y.S.P.U. AND LOCAL UTILITY COMPANY. GROUND FAULT INTERRUPTERS, DUPLEX RECEPTACLES, ETC. SHALL BE INSTALLED AS REQUIRED ACCORDING TO KITCHEN AND/OR BATH LAYOUTS AND CODE REQUIREMENTS.

46. PROVIDE 1/2" BUILDING FELT, TYVEK, TYFAR, OR EQUAL, BEHIND ALL SIDING, WINDOW AND DOOR CASINGS, NAIL TRIMS, ETC.

47. ALL EXTERIOR OPENINGS SHALL BE PROPERLY FLASHED, CAULKED, WEATHER STRIPPED OR OTHERWISE PROPERLY SEALED.

48. ALL EXTERIOR WALLS AND ROOFS SHALL BE INSULATED AS INDICATED ON PLANS AND AS PER CODES. INSULATION SHALL BE FIBERGLASS BATT INSULATION. RIDGE VENTS SHALL BE INSTALLED IN CATHEDRAL CEILING AS REQUIRED.

49. ALL GYPSUM BOARD SHALL BE SCREWED ON CEILING AND NAILED TO WALLS, TO RECEIVE THREE COATS OF SPACKLE FINISHES. TWO COATS OF PAINT AND ONE COAT OF PRIMER, COLORS BY OWNER. BATHROOMS SHALL RECEIVE WATERPROOF SHEETROCK BEHIND TILES, AND WOODGRANITE OR APPROVED EQUAL, BEHIND TILE IN BATH AND SHOWER AREAS.

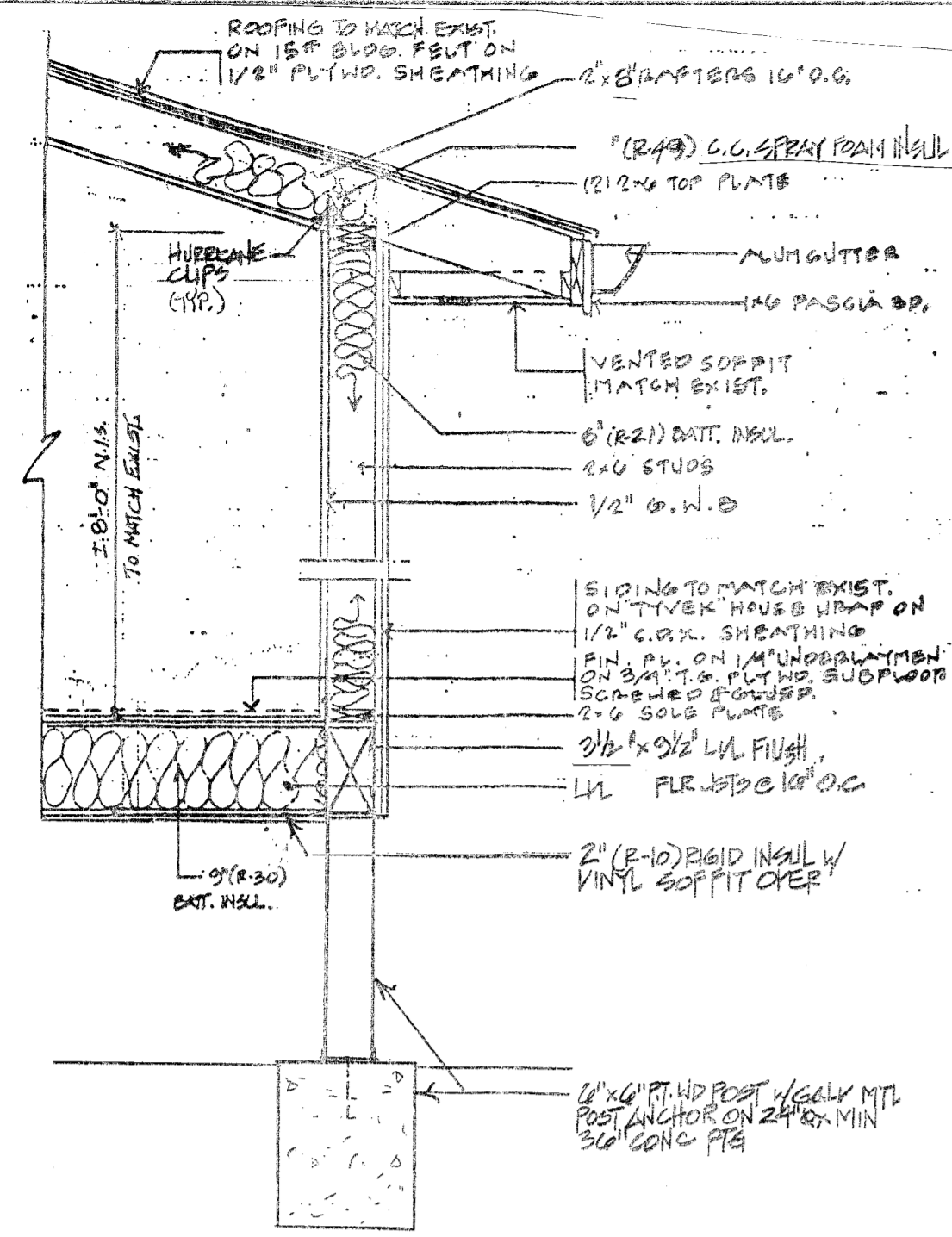
50. FLOORING, TRIM, CLOSET SHELVING, CABINETS, APPLIANCES, FIXTURES, HARDWARE, ETC. SHALL BE SELECTED BY OWNER AND INSTALLED BY BUILDER IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

51. INTERIOR DOORS SIZED AS INDICATED ON DRAWINGS, STYLE AND TYPE BY OWNER/CONTRACTOR.

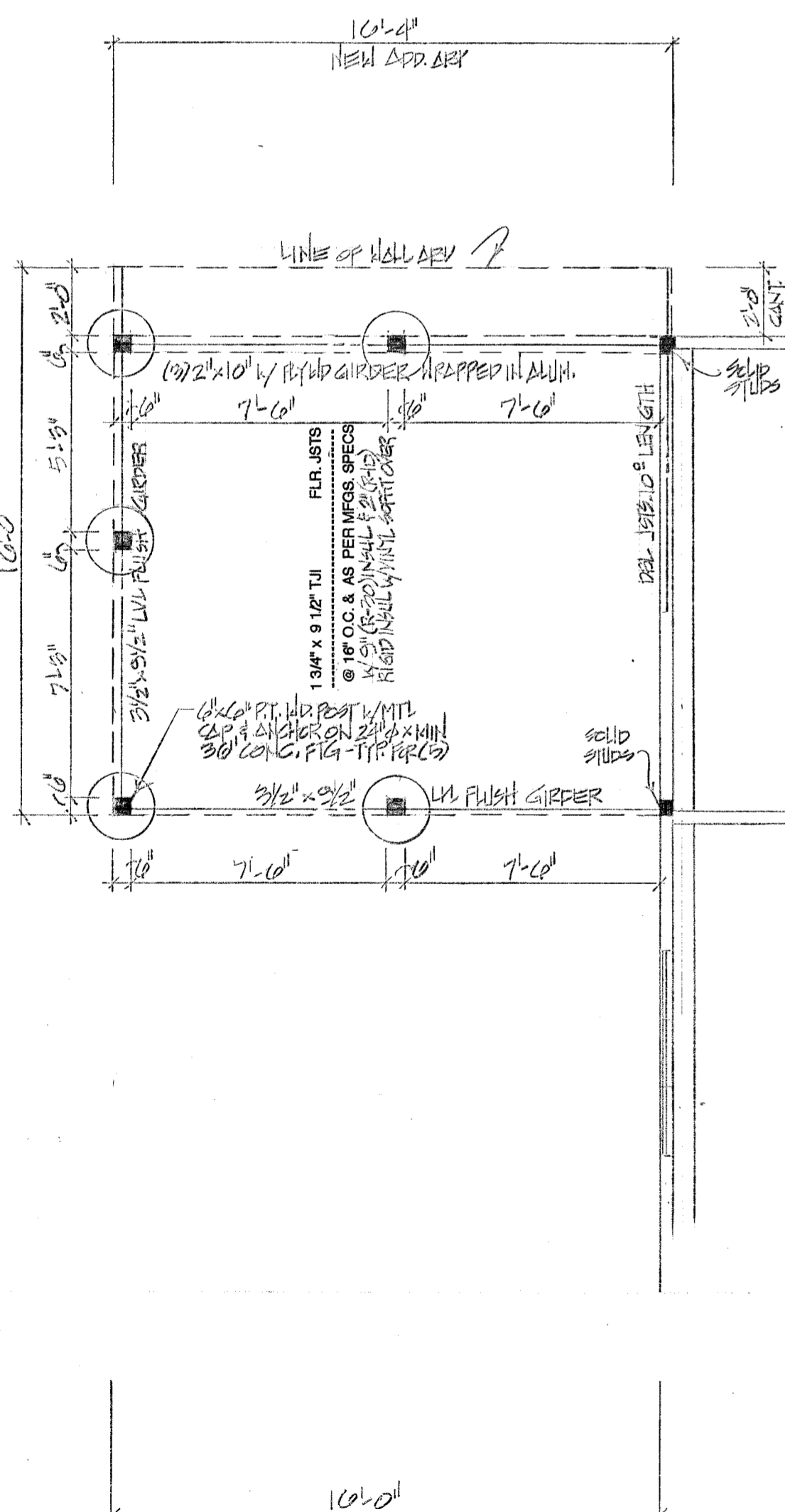
52. CERAMIC TILE OR MARBLE FLOORS IN THE AREA INDICATED ON PLANS SHALL BE INSTALLED ON A "MUD" BASE.

53. OAK HARDWARE FLOORS SHALL BE INSTALLED MINIMUM 3 DAYS AFTER DELIVERY AND BUILDING TO BE HEATED. OAK FLOORS TO RECEIVE TWO COATS OF POLYURETHANE, GYM SEAL OR EQUAL.

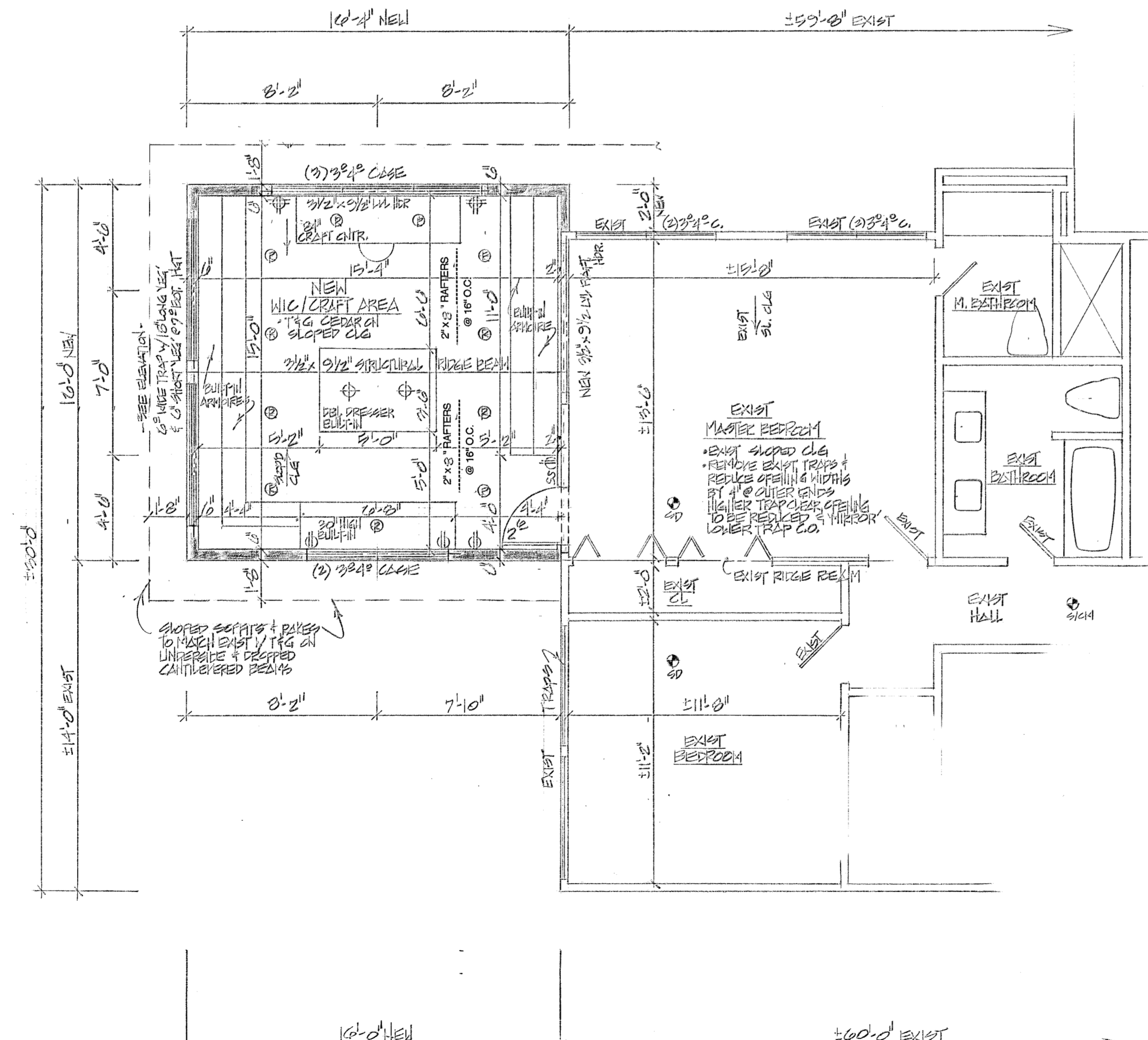
54. STAIRS TO BE AS INDICATED ON DRAWINGS WITH A MINIMUM OF 9" TREAD, AND A MAXIMUM RISE OF 8". MATERIAL AND STYLE BY OWNER, UNLESS OTHERWISE INDICATED, AND SHALL BE INSTALLED AS PER STATE AND LOCAL CODES. ALL RAILINGS TO BE 3" HIGH (MINIMUM). STYLE AND MATERIAL TO BE SELECTED BY OWNER, AND SHALL CONFORM TO ALL STATE AND LOCAL CODES. 6" SPHERE MAXIMUM OPENING. ALL EXPOSED WOOD AND TRIM TO RECEIVE ONE COAT OF STAIN AND OPTIONAL TWO COATS POLYURETHANE.



TYPICAL WALL SECTION SCALE: 1/4" = 1'-0"



BASEMENT/FOOTING PLAN



MAIN FLOOR PLAN SCALE: 1/4" = 1'-0"

DIWAN RESIDENCE
ONE-STORY ADDITION
26 S POOK ROCK ROAD
WESLEY HILLS, N.Y.

HARRY J. GOLDSTEIN
ARCHITECT

HARRY J. GOLDSTEIN
ARCHITECT
DESIGN & DEVELOPMENT

REGINA ROAD
MONSEY, NEW YORK 10952
NY.S. LICENSE NO. 023518
NOT VALID UNLESS SIGNED & SEALED

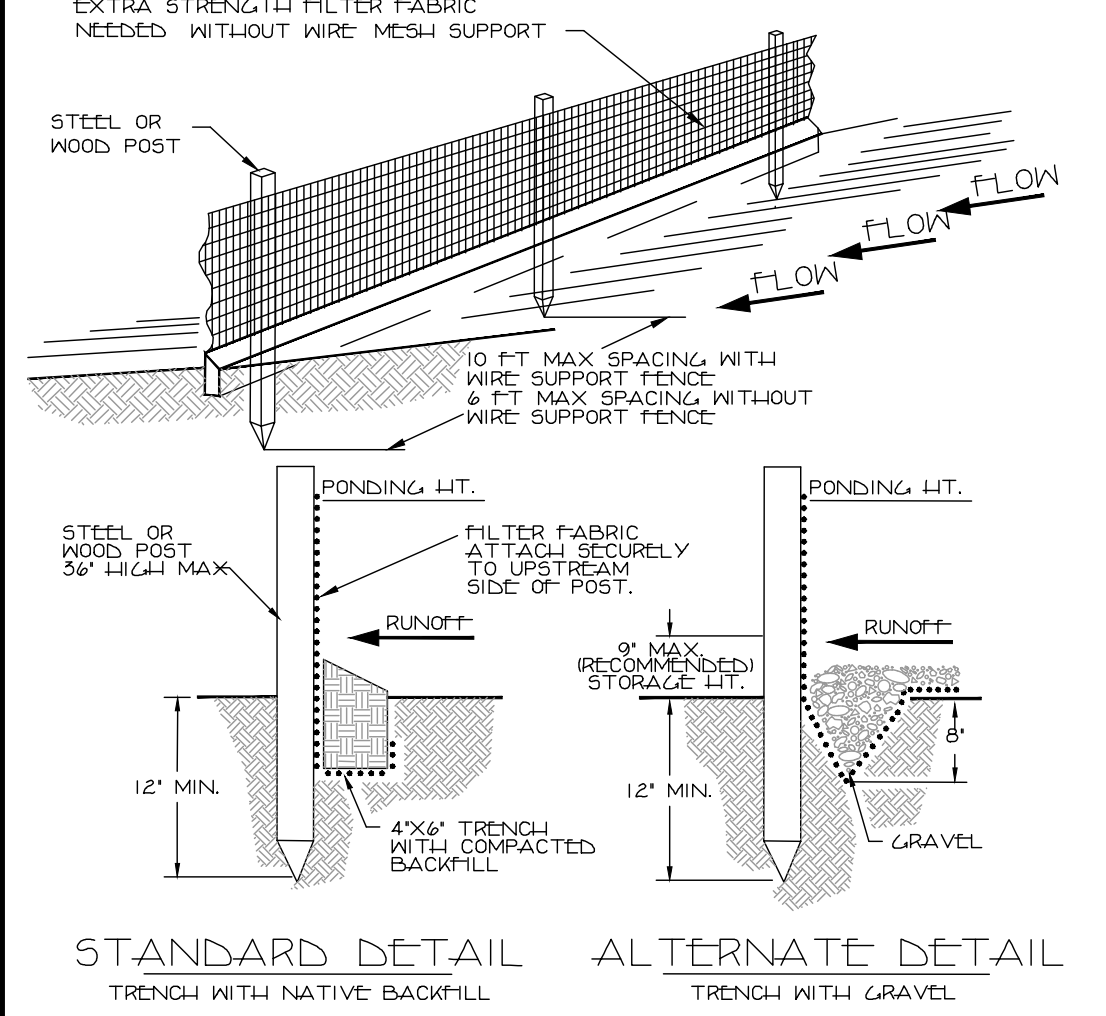
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PROJECT #40782
OCTOBER 17, 2024

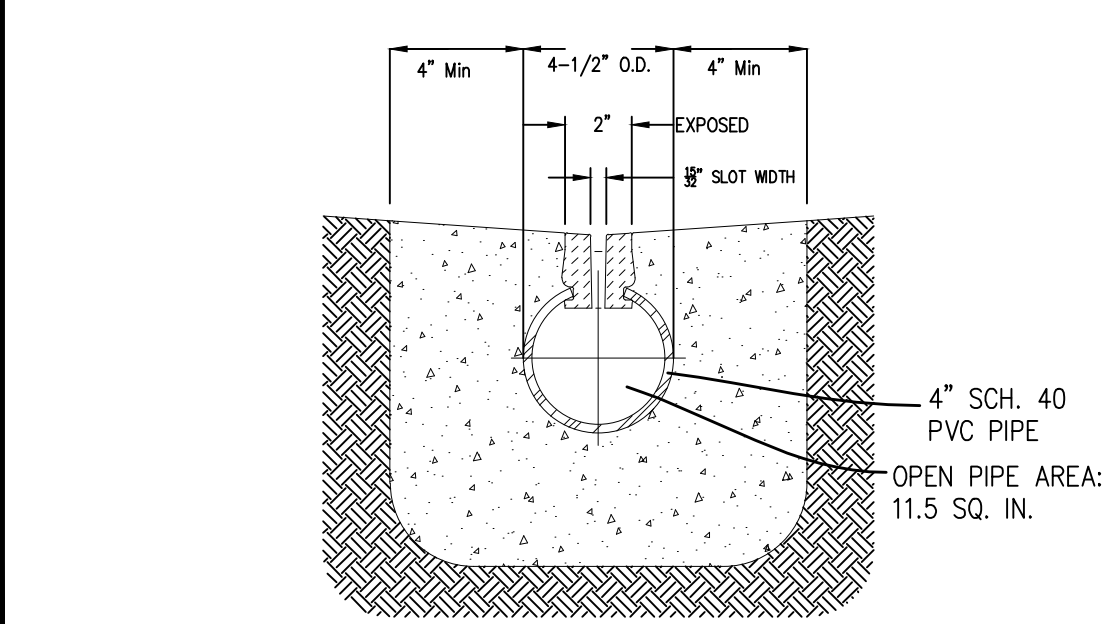
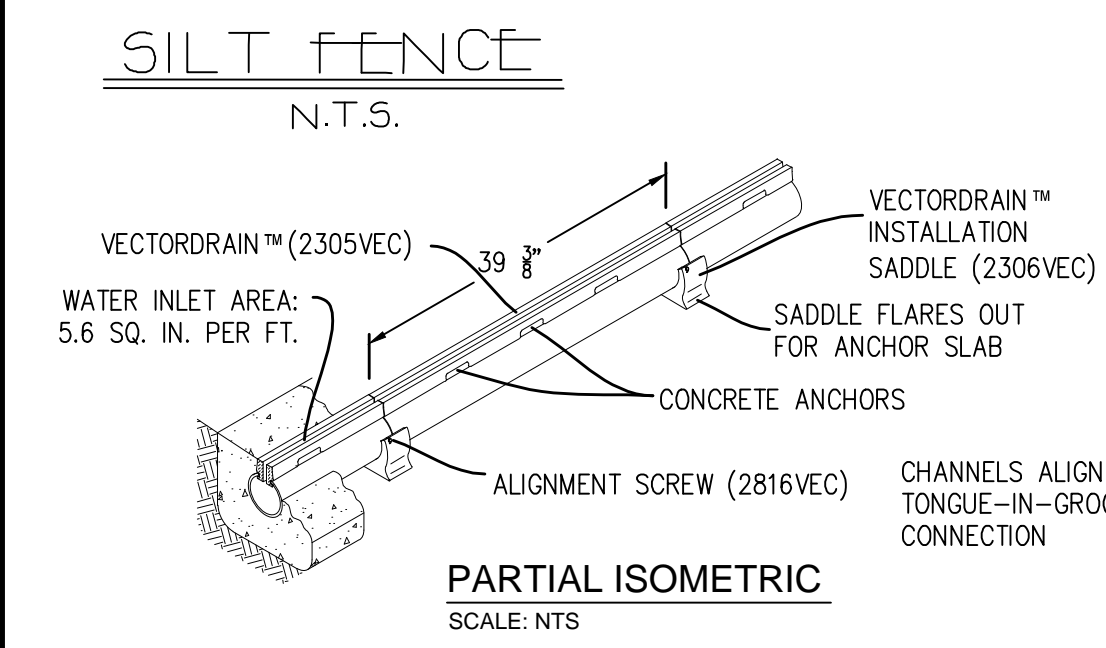
2
O
F
2

TAX LOT: SECTION 41.05, BLOCK 1, LOT 19
 REFERENCES:
 - ALL BOUNDARY INFORMATION IS REFERENCED FROM A SURVEY PREPARED BY ANTHONY R. CELENTANO, PLS DATED OCTOBER 27, 2024.
 - BEING LOT 1 IN BLOCK A ON A CERTAIN MAP ENTITLED "SUBDIVISION OF VISTA CELESTE" FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP #3308 BOOK #69 PAGE #23 ON 02/11/1965.

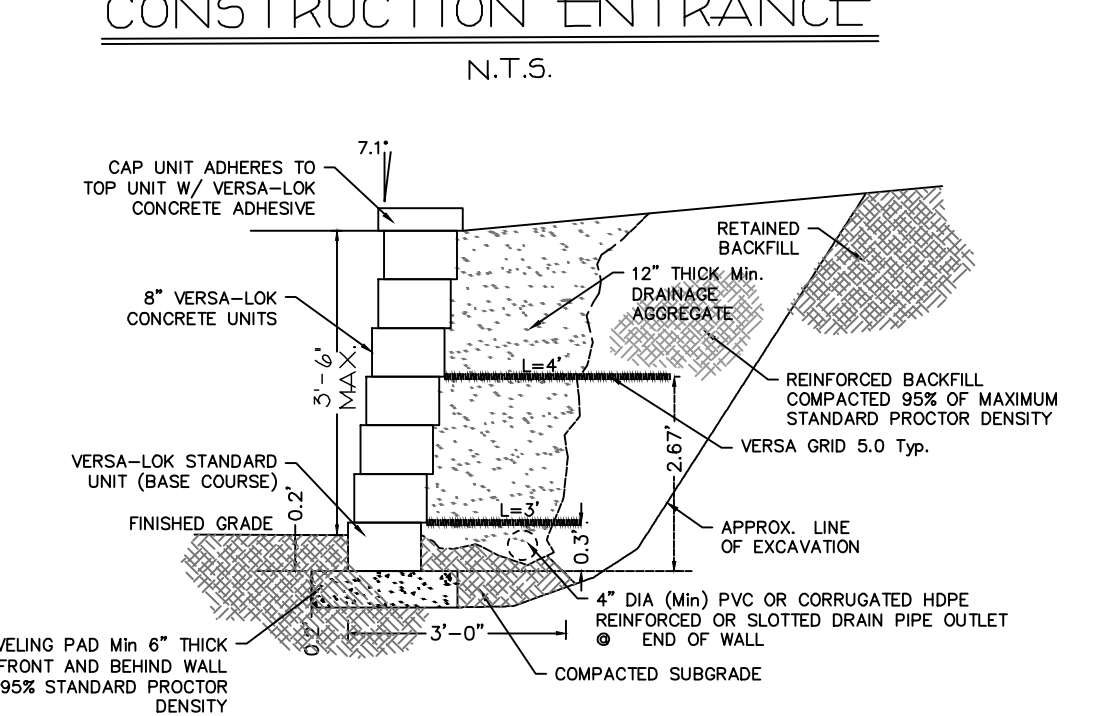
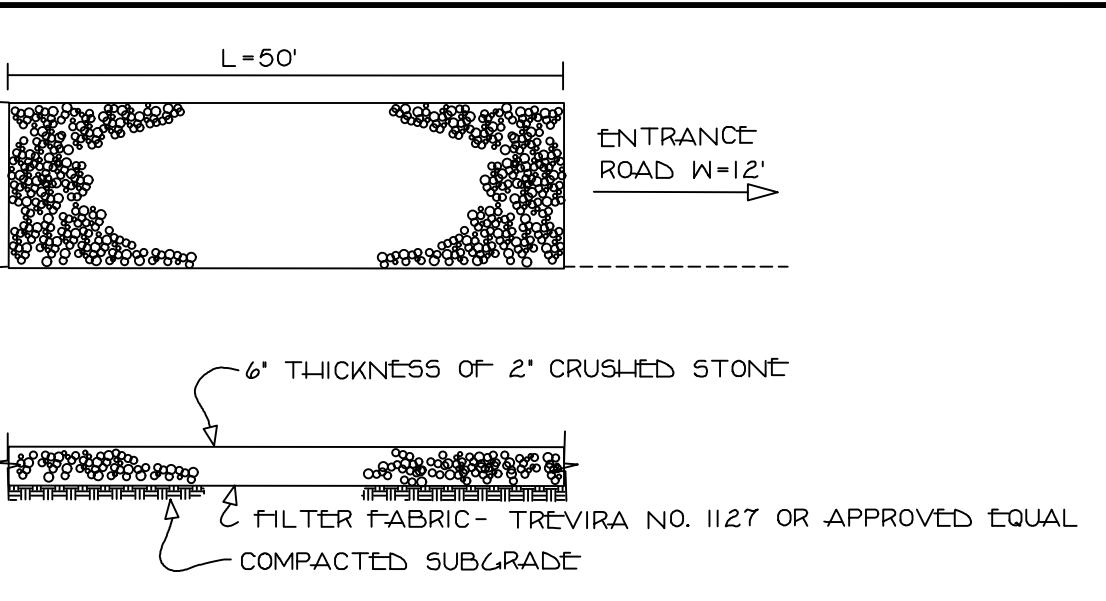
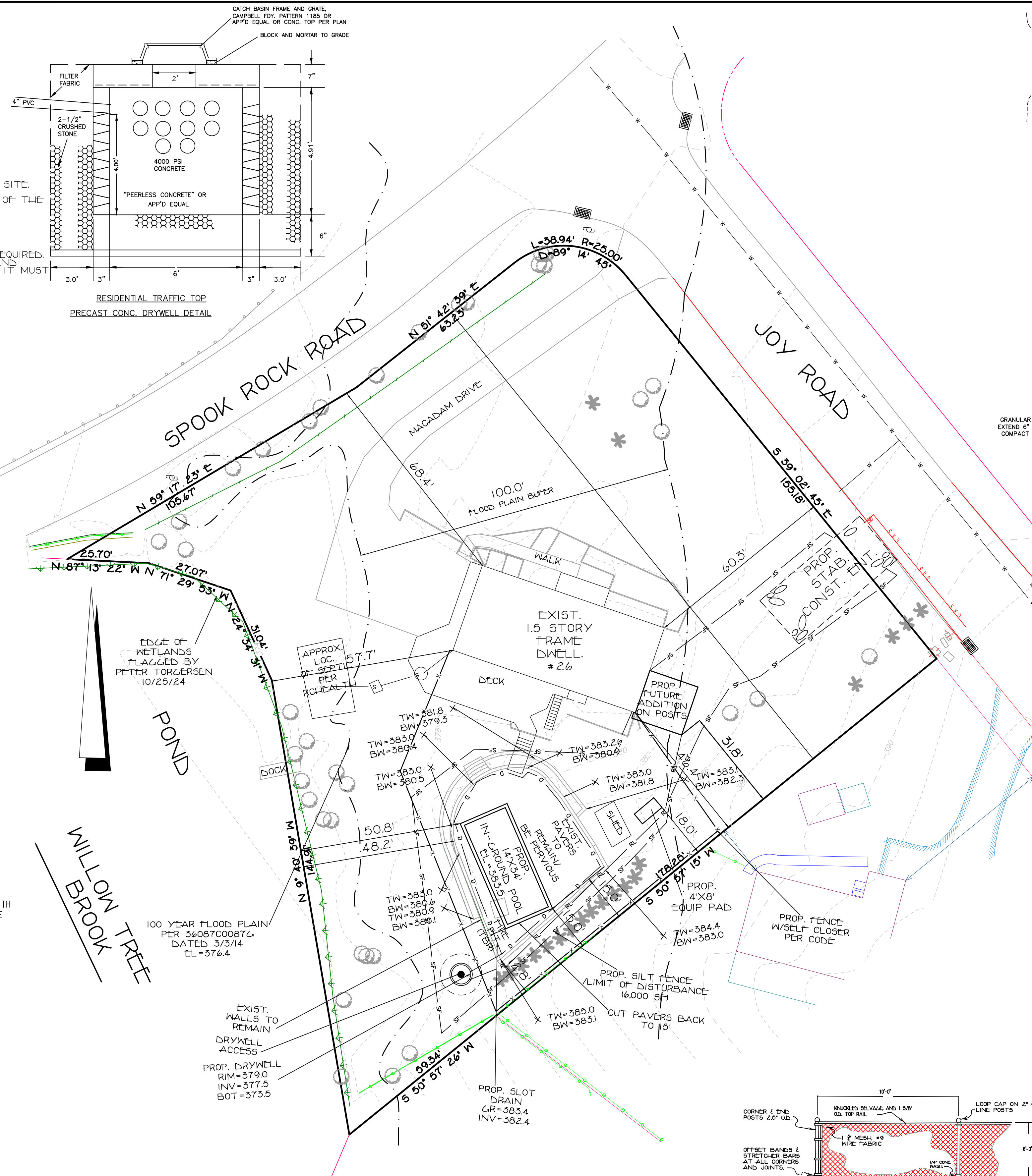
- NOTES:
- ALL DISTURBED AREAS TO BE TOPSOILED AND SEED.
 - ALL DIRT FROM THE EXCAVATION IS TO BE REMOVED FROM THE SITE.
 - DATUM: NAVD 83
 - THERE SHALL BE NO DIRECT DISCHARGE TO THE TRIBUTARY OF THE MAHWAH RIVER.
 - OWNER: RAJIV & SHAILAR DIWAN 26 SPOOK ROCK ROAD SUFFERLY, NY 10991
 - FLOOD PLAIN ELEVATION = 376.4 FEET (MOST UP TO DATE)
 - CARTRIDGE FILTERS WILL BE UTILIZED SO NO BACKWASH IS REQUIRED.
 - SOIL TESTING MUST BE DONE FOR THE PERMEABLE PAVERS AND DRYWELL TO CONFIRM RATES AND DEPTH TO GROUNDWATER. IT MUST BE WITNESSED BY THE VILLAGE ENGINEER.



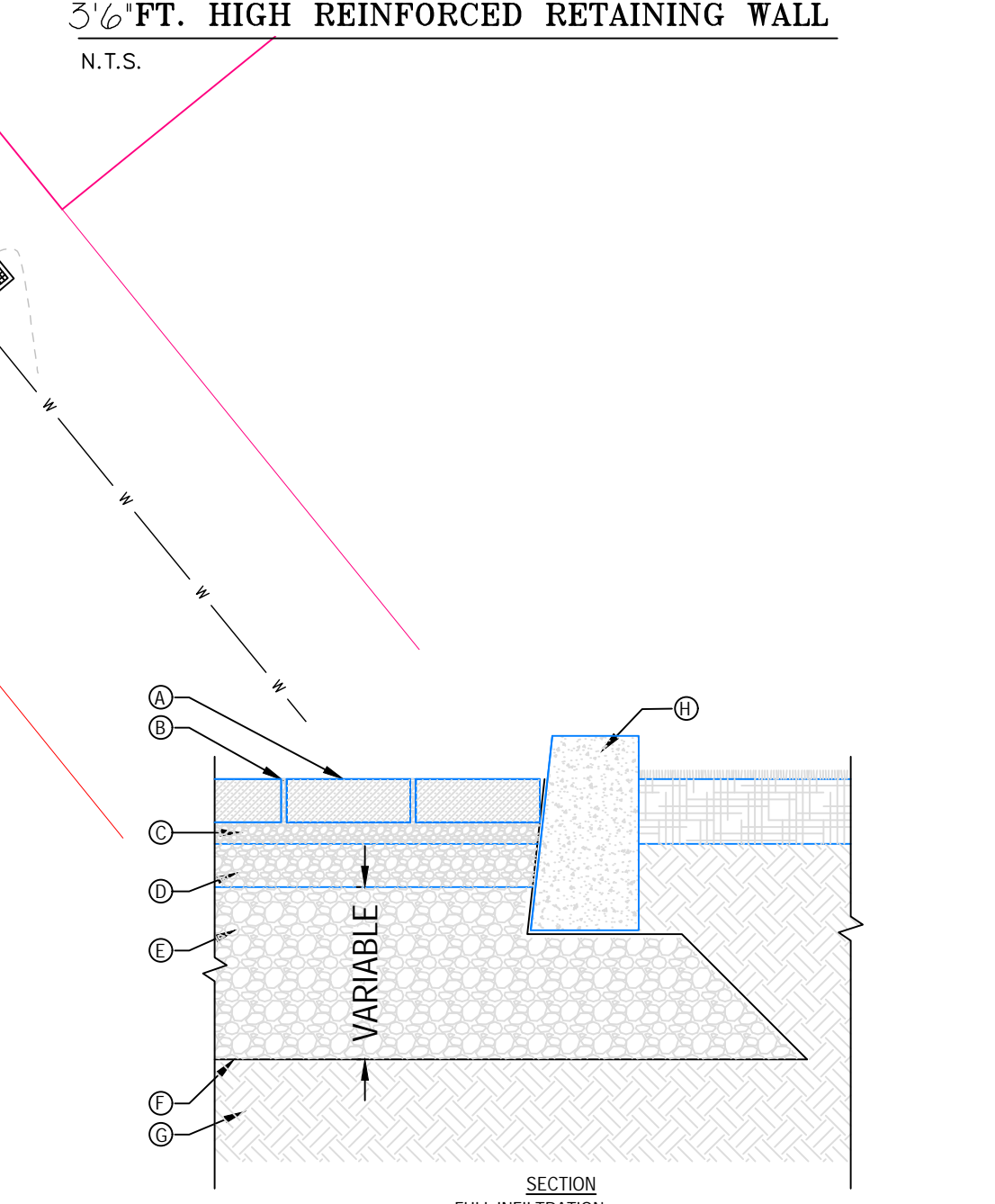
- NOTE:
- INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 - SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.



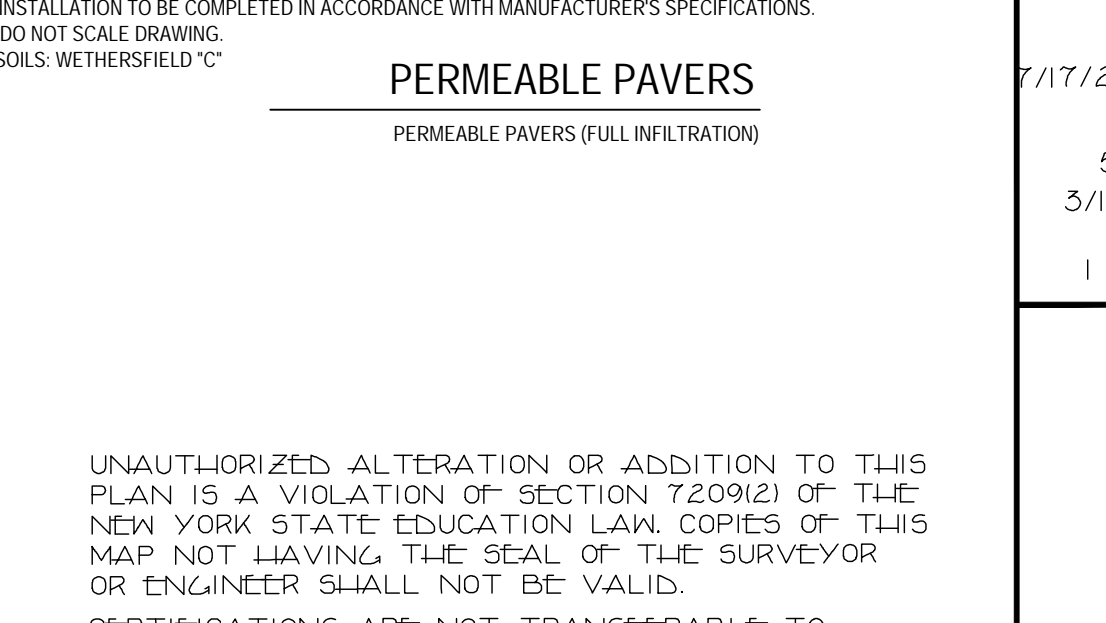
EXISTING IMPERVIOUS SURFACES:
 DWELLING = 1219 SF
 DECK = 914 SF
 DRIVEWAY & WALK = 2,713 SF
 SHED = 85 SF
 PAVERS = 1,745 SF
 TOTAL = 7,276 SF
 EX. COV. = 7,276 SF / 35,006 SF = 0.208
 PROP. COVERAGE DWELLING = 1219 SF
 DECK = 914 SF
 DRIVEWAY & WALK = 2,713 SF
 SHED = 85 SF
 PAVERS = 1,169 SF TO REMAIN & BE PERVIOUS
 PROP. COV. = 376 SF
 PROP. PAD = 32 SF
 PROP. ADD = 257 SF
 TOTAL IMPERVIOUS = 6,396 SF
 PRO. COV. = 6,396 SF / 35,006 SF = 0.183



- NOTES:
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - DO NOT SCALE DRAWINGS.

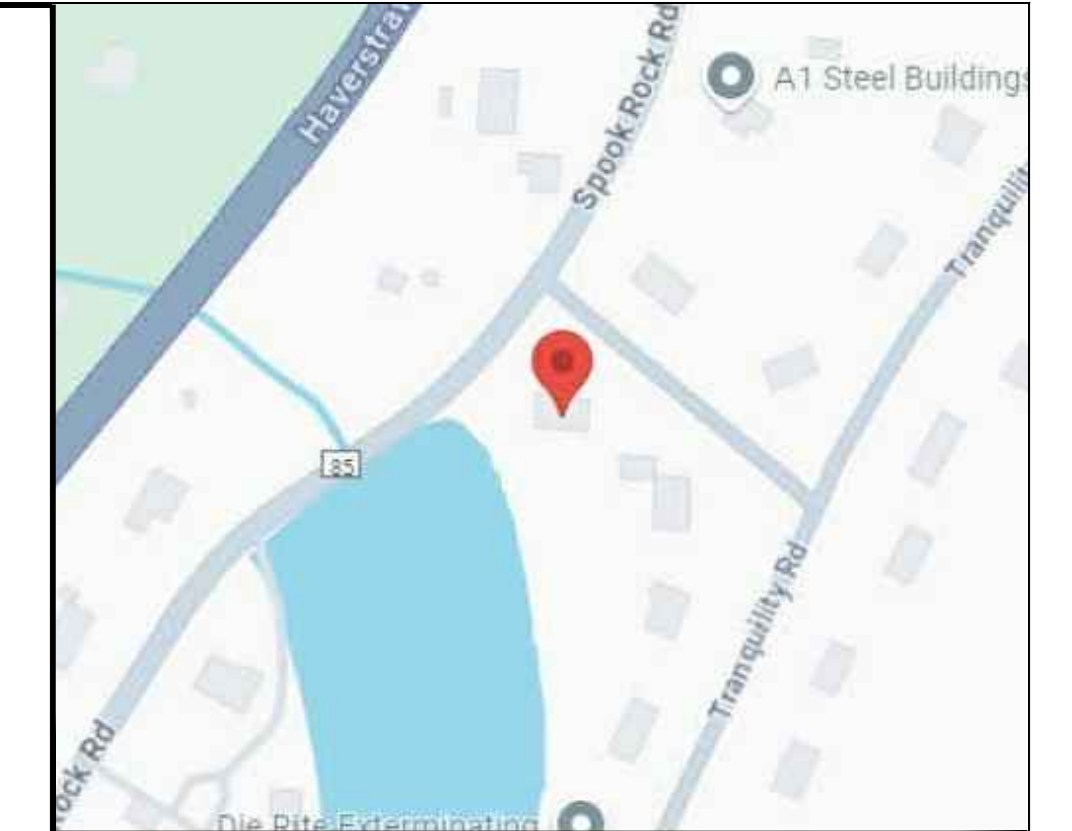


- LEGEND:
- PERMEABLE PAVES FROM TECO-BLOC, 2 3/8" TO 3 1/2" (60 TO 100 MM) THICK INFLO, BUI 40, MISTA RANDOM, PURE, VICTORIAN PERMEABLE, VILLAGIO OR VILLAGIO GRANDE CONFORMING TO ASTM C 936
 - JOINT FILLING MATERIAL NO. 8 FOR INFLO, PURE AND VILLAGIO) OR NO. 9 STONE (FOR MISTA RANDOM, VICTORIAN PERMEABLE AND VILLAGIO GRANDE) CONFORMING TO ASTM D 448
 - BEDDING COURSE, 2" (50 MM) THICK NO. 8 STONE CONFORMING TO ASTM D 448
 - BASE COURSE, 12" (100 MM) THICK NO. 57 STONE CONFORMING TO ASTM D 448
 - SUBGRADE, 8" THICK NO. 2 STONE CONFORMING TO ASTM D 448 (DEPENDING ON SOIL CONDITIONS)
 - TEXTILE FILTER FABRIC MIRA111P370
 - SUBGRADE
 - EDGE RESTRAINT
- NOTES:
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - DO NOT SCALE DRAWING.
 - SOILS: WETHERFIELD "C"



UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS MAP NOT HAVING THE SEAL OF THE SURVEYOR OR ENGINEER SHALL NOT BE VALID. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. USE OF UNSEALED COPIES OF THIS DOCUMENT IN ANY COURT, FINANCIAL TRANSACTION OR FILING WITH ANY STATE, COUNTY OR OFFICE IS AN UNLAWFUL VIOLATION OF FEDERAL COPYRIGHT LAWS.

PAUL GDANSKI, PE, PLLC
 3512 WHITTIER COURT
 MALDEN, N.J. 07430
 TEL: (917) 418-0999



Drywell Design:

Wethersfield "C"

Development size =	0.0189 acre (Addition, pool(s) pad)
Undeveloped SCS Curve No. =	74.0000
Developed SCS Curve No. =	98.0000
1. Sited Design Storm 100 year, 24-hour	9.3000
2. Type of subsurface disposal system: Precast drywell with 3-3/4" steel stone	
3. Determine Percolation Rate:	
Percolation Rate:	1.0000 inches
Drop Time:	30.0000 minutes
4. Area of Percolation (A _p): Surface area of Cylinder	
A _p = πFD _{avg}	1.0000 sq ft
D =	9.0000 inches
A _c =	2.2503 Ft ²
Bottom Area A _b = πr ²	0.7854 Ft ²
Volume of Percolation A _p × A _b	3.0107 Ft ³
A _p × A _b × H	0.0654 Ft ³
Soil Percolation Rate S _w = volume/area/time	0.0007 Ft ³ /Ft ² /min
S _w =	1.0005 Ft ³ /Ft ² /day
S _w (minus digging factor of 25%)	0.7526 Ft ³ /Ft ² /day
5. Calculate Required Storage Volume:	
100y, 24 hour rainfall:	9.3000 inches
From Table 2-1 of TR-55 Existing C _o =	74.0000 therefore depth V _{in} = 6.11 inches
Proposed C _o =	98.0000 therefore depth V _{in} = 9.10 inches
Delta V _{in} = V _{in} (proposed) - V _{in} (existing)	2.9900 inches
V _{in} = Delta V _{in} × Area	215.6282 Ft ³
6. Calculate Volume per Drywell:	
V _w = V _{in} × height	3.0000 feet
Thickness of Stone =	0.3330 feet
Thickness of drywell wall =	0.0000 feet
Diameter of drywell =	4.0000 feet
Height of drywell =	225.1000 Ft ³
7. Calculate 24-hour percolation volume per drywell (V _p):	
V _p = S _w × surface area of drywell × soil percolation rate (S _w)	98.0083 Ft ³ /day/drywell
V _p =	
Note: Bottom of drywell not included	
8. Calculate the total 24-hour volume per drywell (V _T):	
V _T = Volume of drywell (V _w) + percolation volume (V _p)	323.7083 Ft ³
V _T =	
9. Determine number of drywells required (N _D):	
N _D = Req. Volume of Storage (V _T) / Total Vol. per Drywell (V _T)	0.7
N _D =	
USE	1

REVISIONS

8/30/25 REVISE FOR DIWAN
7/17/25 ADD FUTURE ADD.
6/15/25 REVISE
5/28/25 REVISE
3/18/25 ADD SEPTIC
3/12/25 REVISE
1/11/25 REVISE

PLOT PLAN FOR DIWAN
 26 SPOOK ROCK RD.
 LOCATED IN THE VILLAGE OF WESLEY HILLS ROCKLAND COUNTY, NEW YORK

GRAPHIC SCALE: 0 10 20 30 40 50

PAUL GDANSKI, PE, PLLC
 3512 WHITTIER COURT
 MALDEN, N.J. 07430
 TEL: (917) 418-0999

DATE: NOV. 6, 2024

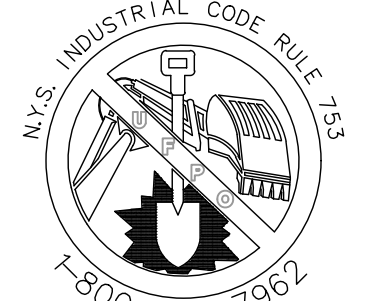
SCALE: 1" = 20'

1 OF 1

VILLAGE OF WESLEY HILLS BULK REQUIREMENTS ZONE R-50 SINGLE FAMILY DWELLING

REQD.	MINIMUM LOT AREA (SF)	MINIMUM LOT FRONTAGE (FT)	MINIMUM LOT WIDTH (FT)	MINIMUM EFFECTIVE SQUARE SIDE (FT)	FRONT YARD (FT)	SIDE YARD (FT)	TOTAL SIDE YARD (FT)	REAR YARD (FT)	MAXIMUM IMPERVIOUS SURFACE RATIO	MAXIMUM FRONT YARD IMPERVIOUS SURFACE RATIO	MAXIMUM BUILDING COVERAGE	MAXIMUM BUILDING HEIGHT (STORIES/FT)	MAXIMUM EXPOSED BUILDING HEIGHT (FT)	SIDE YARD POOL/PATIO (FT)	REAR YARD POOL/PATIO (FT)
REQD.	50,000	100	150	150	50	30	75	50	0.20	0.15	0.10	2.5 / 25	40	15	15
EXIST.	35,006*	363.0	180.5	150	60.3	46.4	NA	57.7	0.21*	NO CHANGE	0.081	NO CHANGE	NO CHANGE	NA/12.8*	NA/48.2
PROD.	35,006*	363.0	180.5	150	60.3	31.8	NA	57.7	0.183	NO CHANGE	0.088	NO CHANGE	NO CHANGE	15.0/15.0	50.8/48.2

* EXISTING NON-COMFORMING.



Wetlands Permit Application Narrative

Village of Wesley Hills Planning Board

RE: 39 Wilder Road, Wesley Hills, NY 10952

Date: July 23, 2025



Dear Members of the Planning Board,

This narrative is regarding the Wetlands Permit Application for the property at 39 Wilder Road, owned by the Offman family. The site currently includes a primary residence and a swimming pool, part of which lies within the regulated wetlands buffer.

The Offmans are seeking to enhance their property's recreational amenities with the addition of two features:

- A pool cabana, planned for construction adjacent to the existing swimming pool.
- A sports court, proposed for the northwest corner of the property.

It is important to note that while both proposed improvements are outside the actual delineated wetland boundary, they are located within the 100-foot regulated wetlands buffer, thus necessitating this permit application.

Key Points for Your Review:

- The proposed pool cabana does not comply with the required side yard setback and will therefore be the subject of a separate variance application to the Zoning Board of Appeals (ZBA).
- In adherence to the Village Engineer's recommendation, a Parcel Jurisdictional Determination request has been submitted to the New York State Department of Environmental Conservation (NYSDEC) to officially confirm both jurisdiction and the wetland delineation status.

We respectfully request your consideration of this application and are prepared to provide any further documentation or clarification you may require.

Sincerely,

Stanley Mayerfeld

VILLAGE OF WESLEY HILLS

432 Route 306

Wesley Hills, New York 10952

(845) 354-0400 Fax: (845) 354-4097

Item 3.

APPLICATION FOR WETLANDS PERMIT

NAME OF APPLICANT Stanley Mayerfeld PHONE (917)573-1369

ADDRESS 39 Wilder Road, Monsey, NY 10952

PROJECT NAME 39 Wilder TAX LOT # 41.06-1-70

LOCATION 39 Wilder Road, Monsey, NY 10952

DESCRIBE THE SPECIFIC PURPOSE, NATURE AND SCOPE OF THE ACTIVITY PROPOSED.

Proposed pool cabana and sports court located
in the wetlands buffer

(Attach a separate piece of paper if necessary)

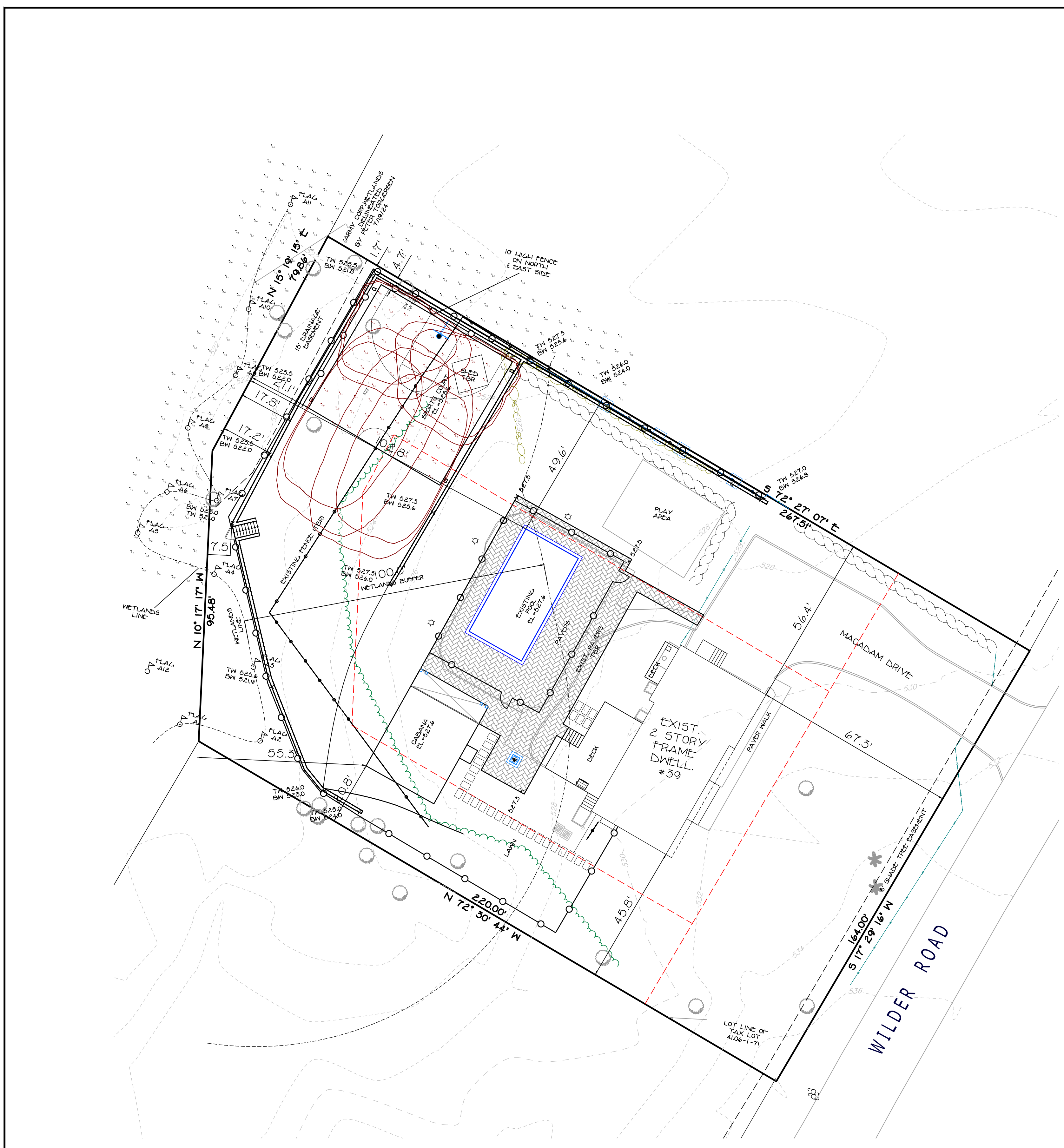
“Permission is hereby granted to the Village of Wesley Hills, its agents, servants and employees to enter upon the above described property solely for the purposes incidental to the within application at reasonable times upon reasonable notice to the owner or tenant in possession.”

SUBMIT THE FOLLOWING:

- 1) **A MAP SHOWING THE AREA OF WETLAND, WATER BODY OR WATERCOURSE DIRECTLY AFFECTED.**
- 2) **A TOPOGRAPHICAL AND PERIMETER SURVEY, HYDROLOGICAL COMPUTATION, ENGINEERING STUDIES AND OTHER FACTUAL OR SCIENTIFIC DATA AND REPORTS AS DEEMED NECESSARY BY THE PLANNING BOARD TO PERMIT IT TO ARRIVE AT A PROPER DETERMINATION.**
- 3) **FEE(S): \$100 for first 1,000 square feet of affected area, plus \$50 for each additional 1,000 square feet of affected area (as determined by Village Engineer), plus actual publication cost.**


SIGNATURE (APPLICANT OR AGENT)

05/28/2025
DATE



Item	Description	Quantity	Unit	Notes
B	Lithonia Lighting	2	1	0-Series Recessed Area Luminaire P1 Performance Package 3000 CCT 80 CRI Type I Extreme Beamlight Control Extreme Glass Shield
C	Lithonia Lighting	1	1	0-Series Recessed Area Luminaire P1 Performance Package 3000 CCT 80 CRI Left Corner Clutch Extreme Beamlight Control Forward External Glass Shield
D	Lithonia Lighting	1	1	0-Series Recessed Area Luminaire P1 Performance Package 3000 CCT 80 CRI Right Corner Clutch Extreme Beamlight Control Forward External Glass Shield

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
TRESPASS	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A
Court	+	2.4 fc	4.0 fc	1.1 fc	3.6:1	2.2:1

NOTE:
LIGHT BY ACUITY BRANDS



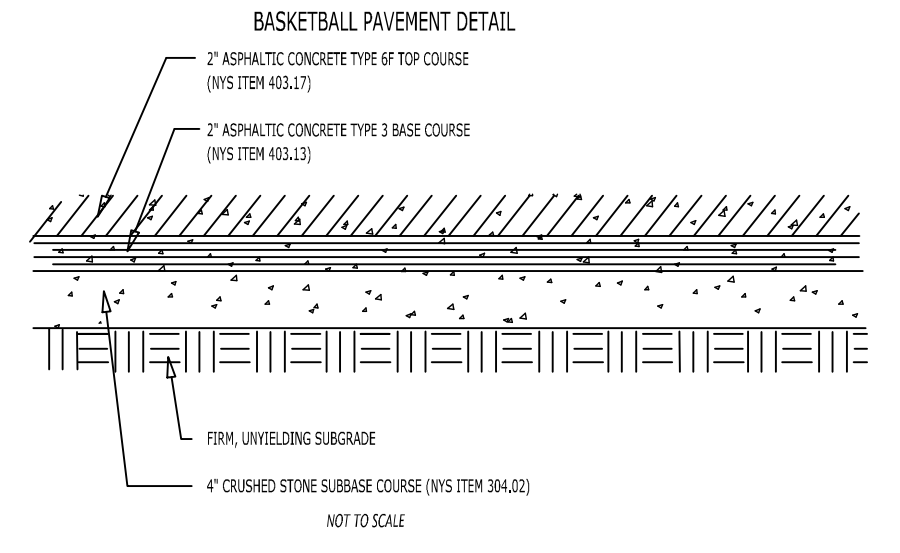
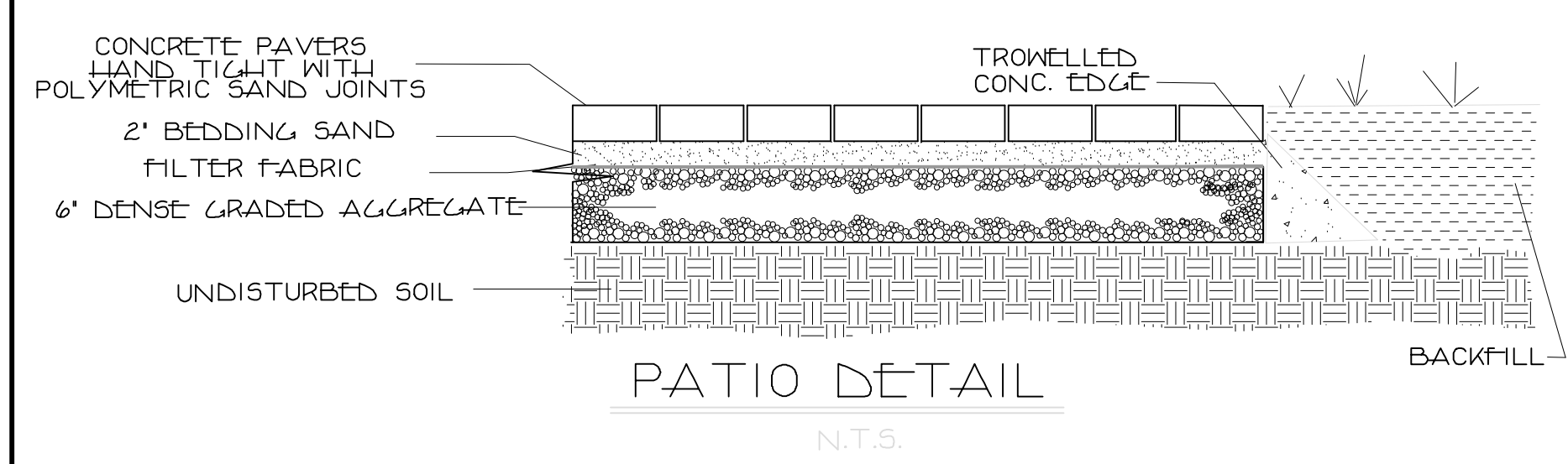
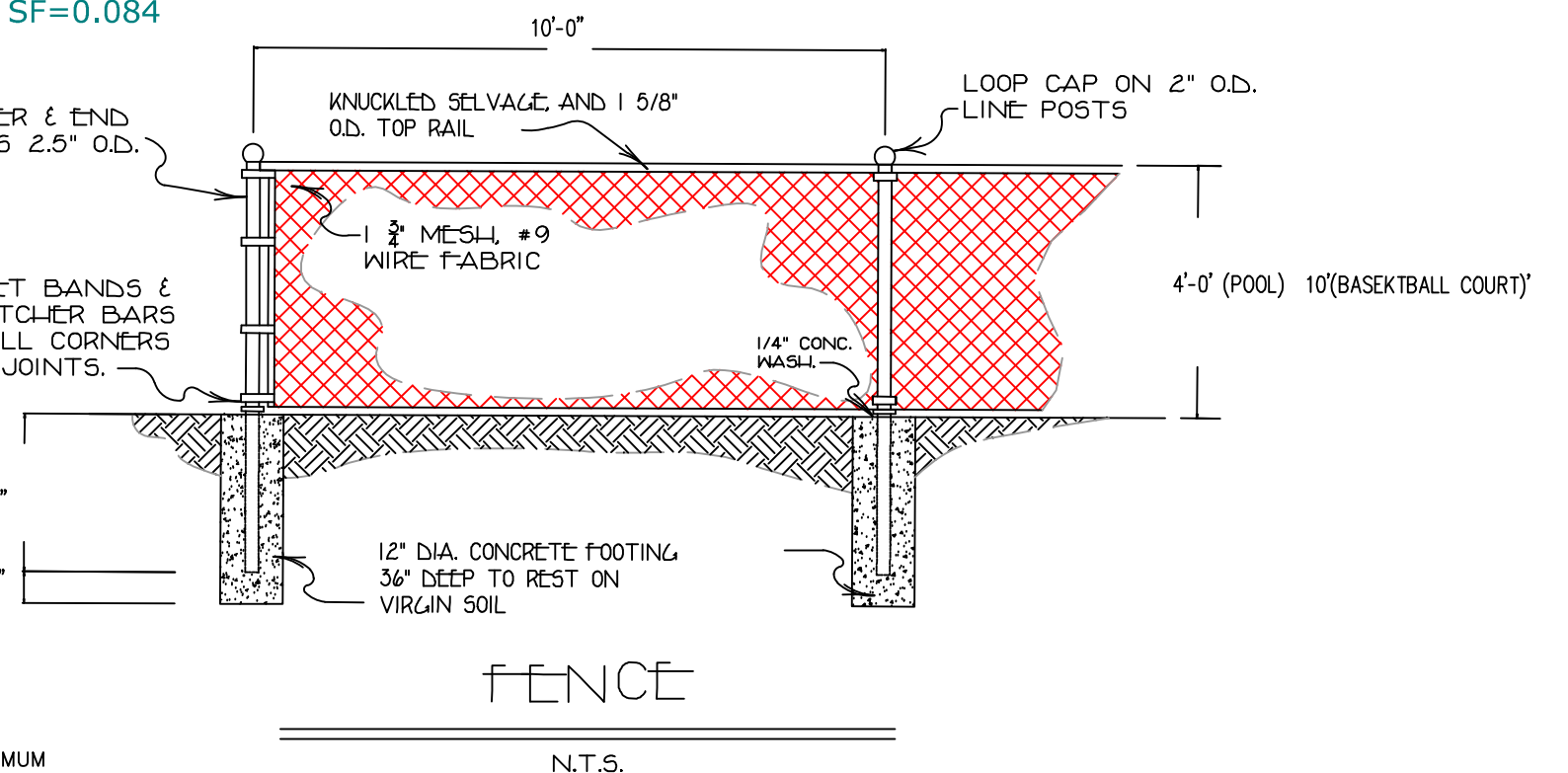
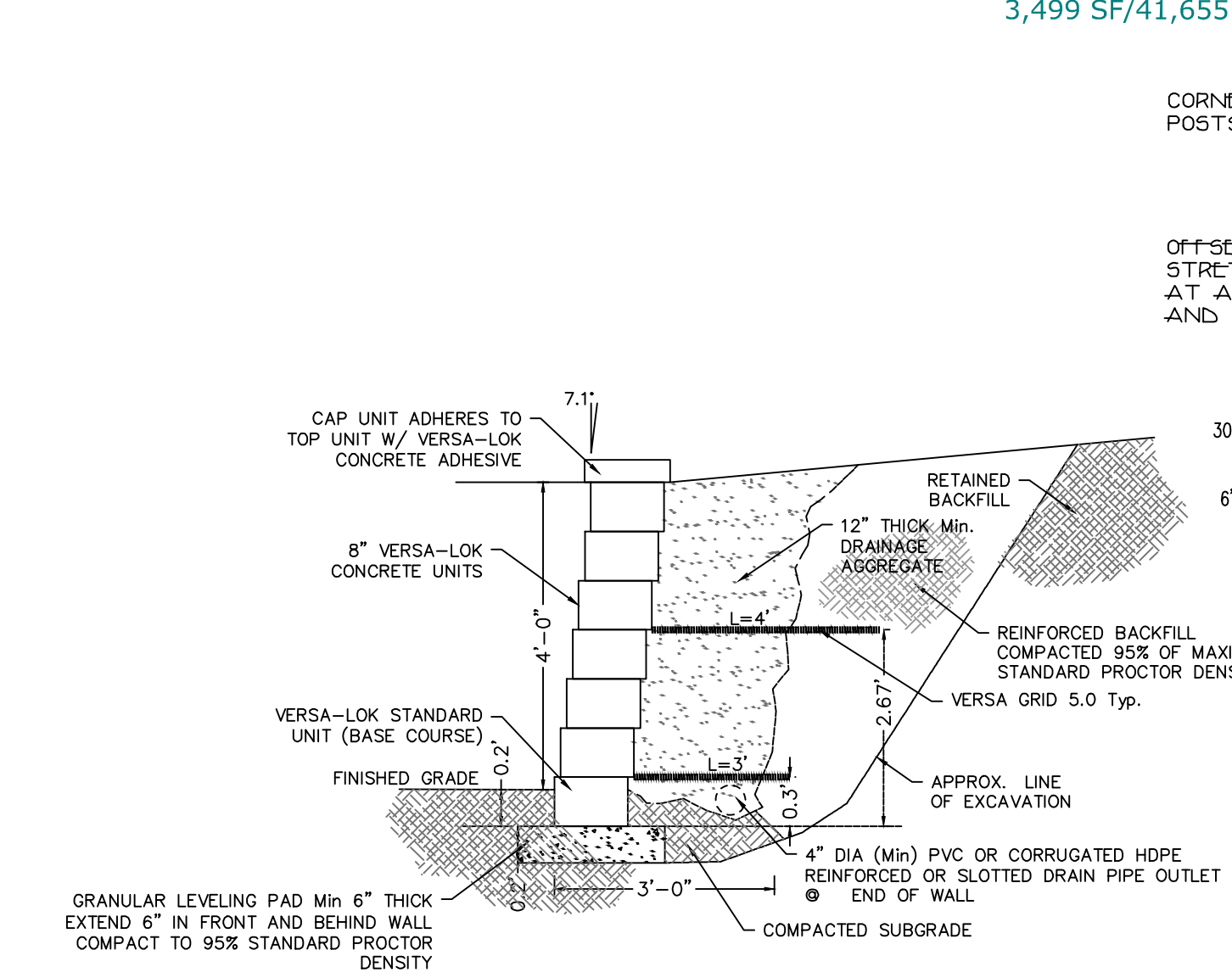
BULK REQUIREMENTS

USE GROUP	MIN. LOT AREA	LOT FRONTAGE	LOT WIDTH	EFFECTIVE SQUARE	FRONT YARD	SIDE YARD	TOTAL SIDE YARD	REAR YARD	MAXIMUM BUILDING COVERAGE	IMPERVIOUS SURFACE RATIO (SITS)	FRONT YARD IMPERVIOUS RATIO	MAXIMUM HEIGHT	MAXIMUM EXPOSED BUILDING HEIGHT	SIDE YARD POOL	REAR YARD POOL	SIDE YARD CABANA	REAR YARD CABANA	SIDE YARD COURT	REAR YARD COURT	SIDE YARD WALL	REAR YARD WALL	
																						STORIES
REQUIRED	50,000 S.F.	100'	150'	150'	30'	30'	75'	50'	50%	0.20	0.15	25'	25'	15'	15'	30'	30'	30'	30'	7.0 FT	7.0 FT	
EXISTING	41,655 S.F.	164.0'	164.0'	150'	67.3'	45.8'	102.2'	129.8'	0.084	0.206*	0.159*	2'	NC	NC	49.8'	102.8'	NA	NA	NA	NA	NA	NA
PROPOSED	41,655 S.F.	164.0'	164.0'	150'	67.3'	45.8'	102.2'	129.8'	0.084	0.307**	0.159**	2'	NC	NC	49.8'	102.8'	20.8**	55.2'	4.7**	21.1**	1.7-13.7**	17.0-13.5**

FRONT YARD SURFACE RATIO:
 EXIST./PROP.
 DRIVEWAY & WALK=1,743
 AREA=10,982.9 SF
 FYIR=1,743 SF/10,982.9 SF=0.159

EXIST. IMPERVIOUS SURFACE RATIO:
 DWELLING & DECK=2,538 SF
 DRIVEWAY & WALK=3,039 SF
 EQ PAD=2 SF
 POOL & PATIO=2,883 SF
 CONC. LANDING=25 SF
 SHED=102 SF
 TOTAL=8,589 SF
 ISR=8,589 SF/41,655 SF=0.2062=0.206
BUILDING COVERAGE:
 EXIST:
 2,538 SF/41,655 SF=0.061
 PROP.
 3,499 SF/41,655 SF=0.084

PROP. IMPERVIOUS SURFACE RATIO:
 DWELLING & DECK=2,538 SF
 DRIVEWAY & WALK=3,039 SF
 EQ PAD=2 SF
 POOL & PATIO=3,670 SF
 CONC. LANDING=25 SF
 STEPPERS=180 SF
 CABANA=935 SF
 LANDNG=20 SF
 COURT=2,350 SF
 DECK STAIRS=26 SF
 TOTAL=12,785 SF
 ISR=12,785 SF/41,655 SF=0.3069=0.307



NOTES:
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWINGS.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS MAP NOT HAVING THE SEAL OF THE SURVEYOR OR ENGINEER SHALL NOT BE VALID.
 CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
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 PAUL GDANSKI, PROFESSIONAL ENGINEER

REVISIONS	
1	7/23/25 REVISE

PLOT PLAN FOR
39 WILDER ROAD
 41.06-1-70
 LOCATED IN THE
 VILLAGE OF WESLEY HILLS
 ROCKLAND COUNTY, NEW YORK

GRAPHIC SCALE
 0 10 20 30 40 50 60

PAUL GDANSKI, PE, PLLC	29WILDER
3512 WHITTIER COURT MALDEN, N.J. 07430 TEL: (917) 418-0999	DATE JAN. 16, 2025
SCALE 1" = 20'	SHEET 1 OF 1



CENTER FOR ENVIRONMENTAL HEALTH
Dr. Robert L. Yeager Health Center
50 Sanatorium Road, Building D
Pomona, New York 10970
Phone: (845) 364-2608 Fax: (845) 364-2025



EDWIN J. DAY
County Executive

MARY P. LEAHY, MD, MHA
Commissioner of Health

RECEIVED
VILLAGE OF WESLEY HILLS
SAMUEL O. RULLI, PE
Director, Environmental Health
JUL 18 2025
BUILDING,
PLANNING & ZONING

July 16, 2025

Alicia Schultz, Deputy Village Clerk
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

Re: 39 Wilder Road
Proposed Pool Cabana & Sports Court in Wetland Buffer
Tax lot 41.06-1-70
GML-25-0351

Dear Ms. Schultz:

We have received an application and plans as prepared by Paul Gdanski, P.E., PLLC, revised through January 16, 2025, for the above referenced project. Comments are as follows:

1. Application is to be made to the RCDOH for review of the storm water management system for compliance with the County Mosquito Code.

If you have any questions regarding this matter, do not hesitate to call.

Very truly yours,

Elizabeth Mello, P.E.
Senior Public Health Engineer
melloe@co.rockland.ny.us
(845) 364-2616

cc: Michael Kezner, Rockland County Department of Planning (via Tyler)
Paul Gdanski, P.E., PLLC
MBSP (via email)

ROCKLAND COUNTY SEWER DISTRICT NO. 1

4 Route 340
Orangeburg, New York 10962
Phone: (845) 365-6111 Fax: (845) 365-6686
RCSD@co.rockland.ny.us

Michael Specht
Chairman

Michael R. Saber, P.E.
Executive Director

July 14, 2025

Ms. Alicia Schultz
Deputy Village Clerk
Village of Wesley Hills
432 Route 306
Monsey, NY 10952

Re: 39 Wilder Road, Monsey
Tax Lot 11/41.06-1-70 (formerly 9./21/BB8)

Dear Ms. Schultz:

Our office has received and reviewed a site plan that was last revised on January 16, 2025, which Paul Gdanski, PE, PLLC prepared for the above referenced project. We thank you for the opportunity to comment on this application. Our comments are as follows:

1. Approval of this application and the variances for a new cabana and sports in the wetlands buffer on a 41,655 square foot lot with an existing in-ground pool in the R-50 District does not require the applicant to pay an impact fee, in accordance with the Rockland County *Sewer Use Law* as last amended in 2010. **However, if the use or occupancy of the property exceeds one (1) unit (e.g., if the pool is rented out to the public, or with additional dwelling units, a guest suite, a house of worship, a school, a daycare center, or a home occupation), the District will require further review and the owner will have to pay an impact fee.**
2. Pursuant to Section 902(B)(19) of the *Sewer Use Law*, the discharge of swimming pool drainage (not filter backwash) into the sanitary sewer system is specifically prohibited.
3. Details for sanitary sewer construction must comply with the District's construction standards and should be shown on the plans.
4. Details for the sanitary sewer connection are subject to approval by the Town of Ramapo.
5. Any existing sewer connection proposed to be abandoned must be plugged between the edge of the right-of-way and the curb line with a permanent watertight plug or cap encased in concrete.

Rocklandgov.com

Please inform us of all developments in this project. If you have any questions, please contact this office at 845-365-6111.

Very truly yours,



Lorelei Greene Tinston
Engineer I

cc: M. Saber M. Dolphin M. Castro D. Gregory
Michael Sadowski, P.E. – Town of Ramapo DPW
Paul Gdanski, PE, PLLC – 3512 Whittier Court, Mahwah, NJ 07430
Stanley Mayerfeld – 39 Wilder Road, Monsey, NY 10952

File: TOR 41.06-1-70– 39 Wilder Road
Reader

DEPARTMENT OF PLANNING

Dr. Robert L. Yeager Health Center
50 Sanatorium Road, Building T
Pomona, New York 10970
Phone: (845) 364-3434 Fax: (845) 364-3435

Douglas J. Schuetz
Acting Commissioner

Richard M. Schiafo
Deputy Commissioner

July 21, 2025

Wesley Hills Planning Board
432 Route 306
Wesley Hills, NY 10952

Tax Data: 41.06-1-70

Re: GENERAL MUNICIPAL LAW REVIEW: Section 239 L and M

Map Date: 01/16/2025

Date Review Received: 06/26/2025

Item: *39 Wilder Road (GML-25-0351)*

Wetlands permit to allow a pool cabana and sports court to be constructed within a wetlands buffer located in the rear yard of an existing single-family dwelling. The 0.96-acre site is within the R-50 and R-35 zoning districts.

39 Wilder Road
Monsey, New York 10952

Reason for Referral:

Wilder Rd (County Route 81)

The County of Rockland Department of Planning has reviewed the above item. Acting under the terms of the above GML powers and those vested by the County of Rockland Charter, I, the Commissioner of Planning, hereby:

Recommend the Following Modifications

- 1 Recent amendments to the New York State Freshwater Wetlands Act, which took effect on January 1, 2025, have expanded the jurisdictional authority of the New York State Department of Environmental Conservation (DEC) to include small wetlands of unusual importance. As a result, wetlands of any size meet the jurisdictional criteria for protection if they possess any of eleven characteristics of unusual importance, including being situated within an urban area, as defined by the US Census Bureau. Since the property is located within a defined urban area, any wetlands on the site, including the wetlands buffer, would be subject to DEC regulation. The applicant must request a parcel jurisdictional determination from the DEC. If the DEC returns a positive jurisdictional determination, then the applicant must coordinate with regional DEC staff to determine if a wetland permit is needed.
- 2 The applicant must comply with the comments made by the County of Rockland Department of Health in their letter dated July 16, 2025 to ensure compliance with the Rockland County Sanitary Code, Article XIX,

Mosquito Control.

- 3 The applicant must comply with the comments made by the County of Rockland Sewer District No. 1 in their letter dated July 16, 2025.
- 4 A review must be completed by the County of Rockland Highway Department, all comments or concerns addressed, and all required permits obtained.
- 5 We request the opportunity to review any variances that may be needed to implement the proposed project, as required by New York State General Municipal Law, Section 239-m (3)(a)(v).
- 6 Pursuant to General Municipal Law (GML) Section 239-m and 239-n, if any of the conditions of this GML review are overridden by the board, then the local land use board must file a report with the County Commissioner of Planning of the final action taken. If the final action is contrary to the recommendation of the Commissioner, the local land use board must state the reasons for such action.
- 7 In addition, pursuant to Executive Order 01-2017 signed by County Executive Day on May 22, 2017, County departments are prohibited from issuing a County permit, license, or approval until the report is filed with the County Commissioner of Planning. The applicant must provide to any County agency which has jurisdiction of the project: 1) a copy of the Commissioner report approving the proposed action; or 2) a copy of the Commissioner of Planning recommendations to modify or disapprove the proposed action, and a certified copy of the land use board statement overriding the recommendations to modify or disapprove, and the stated reasons for the land use board's override.

Douglas J. Schuetz
Acting Commissioner of Planning

cc: Mayor Marshall Katz, Wesley Hills
NYS Department of Environmental Conservation
Rockland County Department of Health
Rockland County Highway Department
Rockland County Planning Board
Rockland County Sewer District No. 1
United States Army Corps of Engineers
Paul Gdanski, P.E., PLLC

*New York State General Municipal Law § 239(5) requires a vote of a 'majority plus one' of your agency to act contrary to the above findings.

The review undertaken by the County of Rockland Department of Planning is pursuant to and follows the mandates of Article 12-B of the New York General Municipal Law. Under Article 12-B the County of Rockland does not render opinions nor determines whether the proposed action reviewed implicates the Religious Land Use and Institutionalized Persons Act. The County of Rockland Department of Planning defers to the municipality referring the proposed action to render such opinions and make such determinations as appropriate under the circumstances.

In this respect, municipalities are advised that under the Religious Land Use and Institutionalized Persons Act, the preemptive force of any provision of the Act may be avoided (1) by changing a policy or practice that may result in a substantial burden on religious exercise, (2) by retaining a policy or practice and exempting the substantially burdened religious exercise, (3) by providing exemptions from a policy or practice for applications that substantially burden religious exercise, or (4) by any other means that eliminates the substantial burden.

Pursuant to New York State General Municipal Law §§ 239-m and 239-n, the referring body shall file a report of its final action with the County of Rockland Department of Planning within thirty (30) days after the final action. A referring body that acts contrary to a recommendation of modification or disapproval of a proposed action shall set forth the reasons for the contrary action in such report.



Memorandum

To: Lon Lieberman, Chairman
Members, Village of Wesley Hills Planning Board

From: William C. Brady, AICP
Gerard Chesterman, Planner

Re: **Mayerfeld** - 39 Wilder Road Wetlands Permit
39 Wilder Road, Wesley Hills, New York
SBL# 41.06-1-70; R-50 Zoning District

Date: August 25, 2025

cc: Stewart Strow, P.E., Village Engineer
Bruce Minsky, Esq., Planning Board Attorney
Alicia Schultz, Deputy Village Clerk
John Layne, Building Inspector
Mark Friedman, Applicant

Received and reviewed for this memorandum:

- Application for Wetlands Permit, prepared and signed by Stanley Mayerfeld, dated May 28, 2025.
- Letter from the Rockland County Sewer District No. 1, prepared and signed by Lorelei Greene Tinston, Engineer I, dated July 14, 2025.
- Letter from the Rockland County Center for Environmental Health, prepared and signed by Elizabeth Mello, P.E., dated July 16, 2025.
- Letter from the Rockland County Department of Planning, prepared and signed by Douglas J. Schuetz, Acting Commissioner of Planning, dated July 21, 2025.
- Plot Plan for Diwan, prepared, stamped, and signed by Paul Gdanski, P.E., dated January 16, 2025.

Project Summary

The applicant is proposing to build a pool cabana and sports court in the back-yard of a single-family home. The applicant has submitted a wetlands permit application as the proposed action is within 100' of a wetlands area.

The proposed activity is located at 26 Spook Rock Road, on SBL 41.05-1-19, and in the R-50 Zoning District. A 15' wide drainage easement is at the rear of the property. Also, the rear of the property abuts the Mitch Miller Town Park.

Submission Comments

1. Please clearly identify the proposed features on the plot plan, as the cabana and sport court are not indicated as being "proposed." It is also unclear which fences and walls are existing or proposed.
2. Please include a north arrow on the Plot Plan, as this was missing.

Zoning Comments

3. It appears that the applicant will need to apply to the ZBA for variances for this proposed construction. The Bulk table indicates the variances needed for:
 - i. Maximum Impervious Surface Ratio
 - ii. Maximum Front Yard Impervious Surface
 - iii. Minimum Side Yard Cabana
 - iv. Minimum Side Yard Court
 - v. Minimum Rear Yard Court
 - vi. Side Yard Wall
 - vii. Rear Yard Wall

Planning Comments

4. Consider the use of pervious concrete for the sports court and the cabana floor, as that could allow the proposal to meet the impervious surface ratio requirements.
5. Consider reducing the size of the cabana and relocate it to the north of the play area so that it is not in the 100' wetlands buffer area.

Wetland Permit Comments

6. The applicant must provide confirmation whether a permit is required from the NYSDEC.
7. Section 221-7.C requires the Planning Board to consider whether an application for a wetlands permit to construct within a wetland buffer is not contrary to the purposes of §221-2 of the chapter. It also directs the Planning Board to investigate whether prohibiting such construction or disturbance in the buffer would cause undue hardship to the property owner. The section states in full:

The Planning Board may grant a permit, subject to such terms and conditions as it shall reasonably impose upon finding that such activity is not contrary to the purposes of § 221-2 of this chapter. Said Board may also, in its discretion, permit any activity otherwise prohibited by this chapter to be done, except with respect to property designated on the State Wetlands Map or otherwise regulated by the state, provided that the Planning Board determines after investigation that to prohibit such activity would cause undue hardship to the property owner.

8. We will defer to the Planning Board Engineer regarding the engineering specifications of the wall construction and required drainage improvements.

SEQRA and GML Comments

9. We agree with the contents of the Rockland County Department of Planning GML review that:
 - a. The applicant should request a parcel jurisdictional determination from the DEC, and if the DEC returns a positive jurisdictional determination, then the applicant must coordinate with the regional DEC staff to determine if a wetlands permit.
 - b. Compliance with both the July 14, 2025 Rockland County Sewer District No. 1, and the July 16, 2025 Rockland County Center for Environmental Health.
 - c. A review by the Rockland County Highway Department must be completed.

Please let me know if you have any questions or comments regarding this review.



Glenn McCreedy, P.E., C.M.E.
Stuart Strow, P.E., C.F.M.

August 26, 2025

Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

Attn: Planning Board

Re: 39 Wilder Road
Wetland Permit Review
Tax Lot 41.06-1-70
CDW #WH25-605

Dear Members of the Planning Board,

Our office has received and reviewed a wetland permit submission for the above referenced project. The following information was provided for our review:

- Application for Wetlands Permit, prepared and signed by Stanley Mayerfeld, dated May 28, 2025
- Plot Plan for 39 Wilder Road, prepared by Paul Gdanski, P.E., dated January 16, 2025

The proposed project features the construction of a sports court and pool cabana in the rear yard of the property. The wetland is located slightly west of the rear property line, but the proposed cabana and sports court are within the 100-foot wetland buffer.

We offer the following engineering review comments:

1. The project requires several variances, which are noted in the memo from Nelson Pope Voorhis dated August 25, 2025.
2. The plot plan must be clarified to more clearly denote existing and proposed features.
3. The project increases the impervious surfaces on the property by 4,166 square feet. Drainage calculations and provisions for controlling additional stormwater runoff from the sports court must be provided.
4. Retaining wall details must be provided. Any retaining wall exceeding four-feet in height requires certification from a Professional Engineer.
5. Erosion control measures, notes and details must be provided.
6. The rear of the property includes a 15-foot drainage easement. The
7. As of January 1, 2025 NYSDEC has expanded their jurisdiction over freshwater wetlands. Per Sections 221-7-C of the Village Code, the Planning Board can reasonably impose terms and conditions in granting a permit. We recommend that the Planning Board should require an official determination from NYSDEC regarding their possible jurisdiction over the wetland.
8. Potential impacts to the wetland cannot be evaluated without the drainage calculations, stormwater system design and erosion control measures.

Please contact our office if you have any questions.

Very truly yours,



Civil Design Works, LLC

Stuart Strow, P.E.

Principal

W:\Projects\WH\2025\WH25-605 - 39 Wilder Road\Correspondence\Review Letters\2025-08-26 39 Wilder Road - wetland permit review.docx