



ZONING BOARD OF APPEALS MEETING AGENDA

August 13, 2025 at 7:30 PM

432 Route 306, Wesley Hills, NY 10952

Phone: 845-354-0400 | Fax: 845-354-4097

CALL TO ORDER

ROLL CALL

PUBLIC HEARING

1. Application submitted by Brett & Eva Kotch for a variance from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of a front porch having a front yard of 46 feet instead of the minimum required of 50 feet.

The subject premises are situated on the west side of Powder Horn Drive approximately 450 feet north of Ari Drive, known as 20 Powder Horn Drive, designated on the Tax Map as Section 32.19 Block 2 Lot 40, in an R-50 Zoning District.

2. Application submitted by Pomona Enterprises Corp on behalf of Jay Court Holdings, LLC on appeal of a determination of the Building Inspector or, in the alternative, for variances from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills, to permit a two lot subdivision, proposed Lot No. 1 having lot frontage of 35 feet on East Willow Tree Road and 86 feet on Charlotte Drive instead of the minimum required of 100 feet on each of said roads.

The subject premises are situated on the north side of East Willow Tree Road approximately 305 feet west of Deerwood Road, known as 106 East Willow Tree Road/ 2 Charlotte Drive, designated on the Tax Map as Section 41.08 Block 1 Lot 35, in an R-35 Zoning District.

3. Application submitted by IJJ, LLC-John Wickes for a variance from the -provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills to permit the maintenance and use of an arborist facility having impervious surface ratio of .46 instead of the maximum permitted of .25.

The subject premises are situated on the south side of McNamara Road 0 feet west of Union Road, known as 11 McNamara Road, designated on the Tax Map as Section 42.13 Block 1 Lot 22, in an R-35 Zoning District.

CONTINUED PUBLIC HEARING

4. Application submitted by Ahuva Katz Cherns for an interpretation of Section 230-14O(5) of the Code of the Village of Wesley Hills, and if appropriate, for a variance from the provisions of Section 230-14O(5) of the Code of the Village of Wesley Hills, to permit the maintenance

and use of a cabana that is 2,337 square feet instead of the maximum permitted of 900 square feet.

The subject premises are situated on the north side of Willow Tree Road approximately 700 feet west of State Route 306, known as 38 Willow Tree Road, designated on the Tax Map as Section 41.07 Block 2 Lot 33, in an R-50 Zoning District.

DISCUSSIONS

- 5.** Suggestion from the Zoning Board Attorney to include a Statement of Compliance regarding GML reviews in the ZBA application packet.

APPROVAL OF MINUTES

- 6.** June 18, 2025

ADJOURNMENT

File Attachments for Item:

1. Application submitted by Brett & Eva Kotch for a variance from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of a front porch having a front yard of 46 feet instead of the minimum required of 50 feet.

The subject premises are situated on the west side of Powder Horn Drive approximately 450 feet north of Ari Drive, known as 20 Powder Horn Drive, designated on the Tax Map as Section 32.19 Block 2 Lot 40, in an R-50 Zoning District.



432 Route 306

Wesley Hills, N.Y. 10952-1221

Phone: 845-354-0400 Fax: 845-354-4097 www.wesleyhills.gov

Email: BuildingDept@wesleyhills.gov

Dated: July 21, 2025

Tax Parcel ID: 32.19-2-40

Address: 20 Powder Horn Drive

Applicant: Brett & Eva Kotch

BUILDING AND ZONING DEPARTMENT:

Please be advised that your application for a building permit for a porch has been denied. The requirements of the Zoning Law of the Village of Wesley Hills have not been satisfied. The following variances are required:

- Maximum front yard of 46 feet when 50 feet is required.

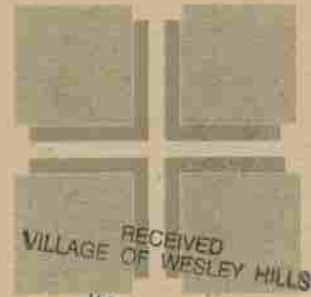
In addition, the Zoning Board of Appeals may review any existing non-conforming items and previously granted variances.



John Layne
 Building Inspector

cc: Zoning Board of Appeals

**KIM THOMAS SIPPEL
ARCHITECT, P.C.**



RECEIVED
VILLAGE OF WESLEY HILLS

JUL 18 2025

BUILDING,
PLANNING & ZONING

KOTCH RESIDENCE
20 POWDER HORN DRIVE
WESLEY HILLS, NY

SECTION 32.19, BLOCK 2, LOT 40

14 JULY 2025

Project Narrative

The Proposed Project is to extend the existing 3 feet deep covered Entryway to feature a new 6 foot deep One Story Covered Porch. This will allow space to sit outside and enjoy the exterior space. It is also intended to harmonize with the more modern character of the Renovated Exterior. The exterior character and colors are intended to harmonize with the scale and character of the neighborhood by featuring a flat roof, and the larger front porch space.

The only variance requested from the Zoning Board is for a Front Yard Setback variance for a proposed 46.0 foot front yard setback compared to the 50 foot required distance.

Respectfully Submitted,

Kim Thomas Sippel

RECEIVED
VILLAGE OF WESLEY HILLS

JUL 18 2025

BUILDING,
PLANNING & ZONING



PART I

Name of Municipality VILLAGE OF WESLEY HILLS Date 7/14/2025

Please check all that apply:

<input type="checkbox"/> Planning Board	<input type="checkbox"/> Architectural Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Municipal Board	
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Pre-preliminary/Sketch
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Zoning Code Amendment	<input type="checkbox"/> Zone Change
<input checked="" type="checkbox"/> Variance * (Fill out Part II of this form.)	

RECEIVED
 VILLAGE OF WESLEY HILLS
 JUL 18 2025
 BUILDING,
 PLANNING & ZONING

Project Name: KOTCH RESIDENCE FRONT PORCH

Applicant: BRETT & EYA KOTCH Phone # 845-671-0228
 Address 20 POWDERHORN DRIVE SUFFERN NY 10901
Street Name & Number (Post Office) State Zip code

Property Owner: BRETT & EYA KOTCH Phone # 845-671-0228
 Address 20 POWDERHORN DRIVE SUFFERN NY 10901
Street Name & Number (Post Office) State Zip code

Engineer/Architect/Surveyor: KIM THOMAS SIPPEL Phone # 917-301-4947
 Address 352 MILAN HILL ROAD RED HOOK NY 12571
Street Name & Number (Post Office) State Zip code

Attorney: _____ Phone # _____
 Address _____
Street Name & Number (Post Office) State Zip code

Contact Person: KIM THOMAS SIPPEL - ARCHITECT, PC Phone # 917-301-4947
 Address 352 MILAN HILL ROAD RED HOOK NY 12571
Street Name & Number (Post Office) State Zip code

Tax Map Designation:

Section 32.19 Block 2 Lot(s) 40
Section _____ Block _____ Lot(s) _____

Location: On the WEST side of POWDERHORN DRIVE
450 feet NORTH of ARI DRIVE

Acreage of Parcel 1.08 Zoning District R-50
School District _____ Postal District SUFFERN

Project Description: *(If additional space required, please attach a narrative summary.)*

PROPOSED FRONT PORCH ADDITION WHICH REQUIRES A FRONT
YARD SETBACK VARIANCE (50' MIN. REQUIRED, 46.0' PROPOSED)

If subdivision:

- 1) Is any variance from the subdivision regulations required? —
- 2) Is any open space being offered? — If so, what amount? —

Project History: Has this project ever been reviewed before? NO

If so, list case number, name, date, and the board you appeared before.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

SEE ATTACHED SHEETS

"Permission is hereby granted to the Village of Wesley Hills, its agents, servants and employees to enter upon the above described property solely for the purposes incidental to the within application at reasonable times upon reasonable notice to the owner or tenant in possession."

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 K, L, M, AND N.

- State or County Road
- Long Path
- Municipal Boundary

- State or County Park
- County Stream
- County Facility

RECEIVED
VILLAGE OF WESLEY HILLS
JUL 18 2025
BUILDING,
PLANNING & ZONING

List name(s) of facility checked above. _____

Applicant's Signature and Certification

State of New York
County of Rockland SS:
Town/Village of ROCKLAND

I, Jet Koteh, hereby depose and say that all the above statements contained in the papers submitted herewith are true.

Mailing Address

20 Pawak Harbor
Suffolk NY 10901
[Signature]

SWORN to before this
15 day of July, 2025

[Signature]

Notary Public

Cedric St. Louis
Commission 01ST0028001
Notary Public, State of New York
My Commission Expires 08-16-2028

Affidavit of Ownership/Owner's Consent

State of New York)
County of Rockland) SS.:
Town/Village of Wesley Hills

RECEIVED
VILLAGE OF WESLEY HILLS

JUL 18 2025

BUILDING,
PLANNING & ZONING

I, Brett Kotch being duly sworn, hereby
depose and say that I reside at: 20 Powder Horn Drive
Suffern NY 10901
in the county of Rockland in the state of New York.

I am the * _____ owner in fee simple of premises located at:

described in a certain deed of said premises recorded in the Rockland County Clerk's
Office in Liber _____ of conveyances, page _____.

Said premises have been in my/its possession since 19 2021. Said premises are
also known and designated on the Town of Rockland Tax Map as:
section 37.19 block 2 lot(s) 4.3

I hereby authorize the within application on my behalf, and that the statements of fact
contained in said application are true, and agree to be bound by the determination of the
board.

Owner Brett Kotch
Mailing Address 20 Powder Horn Dr
Suffern NY 10901

SWORN to before this
15 day of July, 20 25

Cedric St. Louis

Notary Public

Cedric St. Louis
Commission 01ST0028001
Notary Public, State of New York
My Commission Expires 08-16-2028

* If owner is a corporation, fill in the office held by deponent and name of corporation,
and provide a list of all directors, officers and stockholders owning more than 5% of
any class of stock.

Affidavit Pursuant to Section 809 of the General Municipal Law

State of New York)
County of Rockland SS.:
Town/Village of WESLEY HILLS

I, BRETT KOTCH, being duly sworn, hereby depose and say that all the following statements and the statements contained in the papers submitted herewith are true and that the nature and extent of any interests set forth are disclosed to the extent that they are known to the applicant.

VILLAGE RECEIVED
JUL 7 8 2025
WESLEY HILLS
BUILDING,
PLANNING & ZONING

1. Print or type full name and post office address
BRETT KOTCH
20 POWDER HORN DRIVE
WESLEY HILLS / SUFFERN, NY 10901

certifies that he is owner or agent of all that certain lot, piece or parcel of land and/or building described in this application **and if not the owner that he has been duly and properly authorized to make this application and to assume responsibility for the owner** in connection with this application for the relief below set forth:

2. To the ZONING BOARD OF APPEALS of the Town/Village of WESLEY HILLS (Board, Commission or Agency), Rockland County, New York:

Application, petition or request is hereby submitted for:

- Variance or modification from the requirement of Section 230 - FRONT YARD SETBACK;
- Special permit per the requirements of Section _____;
- Review and approval of proposed subdivision plat;
- Exemption from a plat or official map;
- An order to issue a certificate, permit or license;
- An amendment to the Zoning Ordinance or Official Map or change thereof;
- Other (explain) _____;

To permit construction, maintenance and use of FRONT PORCH OF EXISTING SINGLE FAMILY RESIDENCE.

3. Premises affected are in a R-50 zone and from the town of WESLEY HILLS tax map, the property is know as Section 32.19, Block, 2, Lot(s) 40.

4. There is no state officer, Rockland County Officer or employee or town/village officer or employee nor his or her spouse, brother, sister, parent, child or grandchild, or a spouse of any of these relatives who is the applicant or who has an interest in the person, partnership or association making this application, petition or request, or is an officer, director, partner or employee of the applicant, or that such officer or employee, if this applicant is a corporation, legally or beneficially owns or controls any stock of the applicant in excess of 5% of the total of the corporation if its stock is listed on the New York or American Stock Exchanges; or is a member or partner of the applicant, if the applicant is an association or a partnership; nor that such town/village officer or employee nor any member of his family in any of the foregoing classes is a party to an agreement with the applicant, express or implied, whereby such officer or employee may receive any payment or other benefit, whether or not for service rendered, which is dependent or contingent upon the favorable approval of this application, petition or request.

5. That to the extent that the same is known to your applicant, and to the owner of the subject premises **there is disclosed herewith** the interest of the following officer or employee of the State of New York or the County of Rockland or of the Town/Village of ROCKLAND in the petition, request or application or in the property or subject matter to which it relates:

(if none, so state)

- a. Name and address of officer or employee NONE
- b. Nature of interest _____
- c. If stockholder, number of shares _____
- d. If officer or partner, nature of office and name of partnership _____
- e. If a spouse or brother, sister, parent, child, grandchild or the spouse of any of these blood relatives of such state, county or town/village officer or employee, state name and address of such relative and nature of relationship to officer and employee and nature and extent of office, interest or participation or association having an interest in such ownership or in any business entity sharing in such ownership. _____

f. In the event of corporate ownership: A list of all directors, officers and stockholders of each corporation owning more than five (5%) percent of any class of stock, must be attached, if any of these are officers or employees of the State of New York, or of the County of Rockland, or of the Town/Village of _____.

I, _____, do hereby depose and say that all the above statements and statements contained in the papers submitted herewith are true, knowing that a person who knowingly and intentionally violates this section is guilty of a misdemeanor.

Mailing Address

70 Powder Horn Dr
SUFFERN NY 10901

SWORN to before this

15 day of JULY

Cedric B. Louis
Notary Public

Cedric B. Louis
Commission 01ST0028001
Notary Public, State of New York
My Commission Expires 08-16-2028

VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

RECEIVED
VILLAGE OF WESLEY HILLS

JUL 18 2025

BUILDING,
PLANNING & ZONING

AFFIDAVIT OF OWNERSHIP

STATE OF NEW YORK }
COUNTY OF ROCKLAND } SS:
VILLAGE OF WESLEY HILLS }

Brett Katch being duly sworn, deposes and
says that he/she resides at 20 Powder Horn DR,
Sutton NY 10901

in the County of Rockland, State of New York; that he/she is the owner in
fee of all that certain lot, piece or parcel of land situated, lying and being
in the Village of Wesley Hills, and designated on the Town of Ramapo
Map as Section No. 37.19 Lot No. 4.3 and that he/she hereby
authorizes the attached application to be submitted in his/her behalf and
that the statements of fact contained in said application are true.

The applicant is the (owner) (contract vendee) of the said property.



Owner: Brett Katch
Address: 20 Powder Horn DR
Sutton NY 10901

Sworn to before me this
15 day of July 2025

Cedric St. Louis
Notary Public
Cedric St. Louis
Commission 01ST0028001
Notary Public, State of New York
My Commission Expires 08-16-2028

AFFIDAVIT

State of New York)
County of Rockland) SS.:
Town/Village of WESLEY HILLS)

I, KIM THOMAS SIPPEL - ARCHITECT being duly sworn deposes and says that he is the applicant, agent or attorney for applicant, in the matter of the petition before the ZONING (board) in the town/village of WESLEY HILLS affecting property located at 20 POWDER HORN DRIVE, Rockland County, New York.

That the following are all of the owners of property 750 feet (distance) from the premises as to which this application is being taken.

SECTION/BLOCK/LOT NAME ADDRESS

SEE ATTACHED PLAN & LIST

RECEIVED
VILLAGE OF WESLEY HILLS
JUL 16 2025
BUILDINGS,
PLANNING & ZONING

SWORN to before this

16th day of July, 2025



Notary Public

CAMILLE GUIDO-DOWNEY
NOTARY PUBLIC STATE OF NEW YORK
RESIDING IN ROCKLAND COUNTY
NO. 01GU6337245
MY COMMISSION EXPIRES 02/22/2028

11/32.18-2-44
KAUFMAN SHIA
APT 3005
2422 NORTHERN BLVD
LONG ISLAND CITY, NY 111101

11/32.18-2-28
NEUGROSCHL DANIEL & SARAH
6 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-31
KIGLER MARVIN J & IRENE G
17 POWDER HORN DR
SUFFERN, NY 10901

11/32.18-2-33
HARTSTEIN SAMUEL & GAIL
11 ROBLE RD
SUFFERN, NY 10901

11/32.18-2-24
PEPPER YEDUHA & EILEEN
12 ROBLE RD
SUFFERN, NY 10901

11/32.18-2-34
JOZEFOVIC YOSEF & JOELLE
BEN-DAVID
15 ROBLE ROAD
SUFFERN, NY 10901

11/32.18-2-35
KALKER ABRAHAM & TOBY
17 ROBLE RD
SUFFERN, NY 10901

11/32.18-2-22
LEVIN-WALDMAN OREN &
RENEE
14 ROBLE RD
SUFFERN, NY 10901

11/32.18-2-21
ADLER MARK & JEAN
16 ROBLE RD
SUFFERN, NY 10901

11/32.18-2-37
APPEL ELLIOT & DENA
21 ROBLE RD
SUFFERN, NY 10901

11/32.18-2-19
KERN FAMILY 2020 TRUST
20 ROBLE RD
WESLEY HILLS, NY 10901

11/32.19-2-32
ADAMS MITRA & ZIVARI
SOHAYLA S
11 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-36
BENDRIHEM YOSEF &
SHOSHANA
14 POWDER HORN DR
SUFFERN, NY 10901

11/32.18-2-25
LEVIN SETH A & MARLA T
6 ARI DR
SUFFERN, NY 10901

11/41.07-1-5
WESLEY HILLS VILLAGE OF
432 ROUTE 306
MONSEY, NY 10952

11/32.19-2-29
JILLEBA FREDERICK &
UGHETTA
21 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-38
RATZKER GARY & ARLENE
3 ARI DR
SUFFERN, NY 10901

11/32.18-2-36
SCHWARTZ SARAH
19 ROBLE RD
SUFFERN, NY 10901

11/32.19-2-28
KUNSTLINGER DANIEL &
WEISSMAN REBECCA
23 POWDER HORN DR
WESLEY HILLS, NY 10901

11/32.19-2-40
KOTCH BRETT & EVA
REVOCABLE TRUST
20 POWDER HORN DR
SUFFERN, NY 10901

11/32.18-2-27
ZAKARIN HERBERT & HANNA
8 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-35
BELSKY FRANCES
12 POWDER HORN DR
SUFFERN, NY 10901

11/32.18-2-26
BOUSKILA ARIEL & CHAYA
1 MARISA DR
SPRING VALLEY, NY 10977

11/41.07-1-6
CNTRL SCHL DSTRIC NO
245-302 OF THE TOWNS OF R
105 SO MADISON AV
SPRING VALLEY, NY 10977

11/32.19-2-30
WAITMAN ROBERT M &
PRINCE SHIRA
19 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-37
CHESIR JOSHUA & FRANCINE
16 POWDER HORN DR
SUFFERN, NY 10901

11/32.18-2-23
TYH THE ARI LLC
C/O APFEL STEVEN
5 ARI DR
SUFFERN, NY 10901

11/32.19-2-39
OLLECH MARCEL & BARBARA L
18 POWDER HORN DR
SUFFERN, NY 10901

11/32.18-2-45
WEISS MIRIAM R
6 TIMBER TRL
WESLEY HILLS, NY 10901

11/32.18-2-20
FRIEDMAN SANDRA & JACOB
18 ROBLE RD
SUFFERN, NY 10901

11/32.19-2-62
SCHEINFELD MEIR &
STERN ALISA
536 ROUTE 306
MONSEY, NY 10952

11/32.18-2-18
WASSERMAN NEAL I &
ELEANOR N
22 ROBLE RD
SUFFERN, NY 10901

11/32.19-2-4
DAHAN NEIL SHAI &
ALEXANDER HEDVA Y
24 SCENIC DR
SUFFERN, NY 10901

11/32.19-2-44
HOLZBERG BASYA & RONALD
PO BOX 500
MONTVALE, NJ 07645

11/32.18-2-16
FISHMAN MOSHE & DOROTHY
26 ROBLE RD
SUFFERN, NY 10901

11/32.19-2-59
BEACON SEVEN INC
C/O ROSENBERG SUSAN
130 ROUTE 59
SPRING VALLEY, NY 10977

11/32.19-2-58
CAREN MARK S & VANESSA B
33 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-46
POWDER HORN DEVELOPMENT
LLC
SUITE 339
46 MAIN ST
MONSEY, NY 10952

11/32.18-2-38
SAMET MICHAEL G & BRACHA
23 ROBLE ROAD
SUFFERN, NY 10901

11/32.18-2-39
COHEN DANIEL & ZELINGER
AVIVA RACHEL & JONATHAN
25 ROBLE ROAD
SUFFERN, NY 10901

11/32.19-2-61
YANIV DANIEL & RAIZEL
27 POWDER HORN DR
SUFFERN, NY 10901

11/32.18-2-17
SHUSTERMAN MIKHAIL &
GELENA
24 ROBLE RD
SUFFERN, NY 10901

11/32.19-2-60
SPITZ ABRAHAM
& RACHEL
29 POWDER HORN DR
WESLEY HILLS, NY 10901

11/32.19-2-54
REICHMANN MARC & TOVAH
MIRYAM TZIPPORAH
47 POWDER HORN LN
SUFFERN, NY 10901

11/32.19-2-57
41 POWDERHORN LLC
41 POWDERHORN LLC
SUFFERN, NY 10901

11/32.18-2-15
PESSIN LEGACY TRUST
24 TIMBER TRL
SUFFERN, NY 10901

11/32.19-2-42
COHEN LEVY SUSAN DIANE
LEGACY TRUST
24 POWDER HORN DR
WESLEY HILLS, NY 10901

11/32.18-2-43
SIGAL HARVEY + MYRNA
10 TIMBER TRL
SUFFERN, NY 10901

11/32.19-2-43
26 POWDERHORN DRIVE
REVOCABLE TRUST
26 POWDER HORN LN
SUFFERN, NY 10901

11/32.18-2-40
BROWN AVROHOM J &
HADASSAH R
12 ROLLINGWOOD DRIVE
NEW CITY, NY 10956

11/32.19-2-45
POWDER HORN DEVELOPMENT
LLC
SUITE 339
46 MAIN ST
MONSEY, NY 10952
11/32.19-2-55
FLORANS MOSHE &
TSINMAN FEIGA
45 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-56
HURWITZ CHAYA BRACHA
43 POWDERHORN DR
WESLEY HILLS, NY 10977

11/32.19-2-47
POWDER HORN DEVELOPMENT
LLC
46 MAIN STREET #339
MONSEY, NY 10952



Item 1.

41.07-1-6

41.07-1-5

DISCLAIMER

APPLICANT TAKES FULL RESPONSIBILITY FOR RESEARCHING THE TAX MAP FOR THE LIST OF NAMES OF PROPERTY OWNERS ON THE ENCLOSED *AFFIDAVIT OF MAILING LIST*, AND SUPPLYING THE NECESSARY AMOUNT OF SELF-ADDRESSED STAMPED ENVELOPES.

THE APPLICANT'S ENVELOPES MUST COINCIDE WITH THE LIST. THE CLERK'S RESPONSIBILITY IS LIMITED TO CHECKING NAMES ON THE ENVELOPES AGAINST THE AFOREMENTIONED AFFIDAVIT BEFORE MAILING THEM.

RECEIPT OF THIS DISCLAIMER IS ACKNOWLEDGED

KIM THOMAS SIPPEL - ARCHITECT

APPLICANT

7/14/2025

DATED

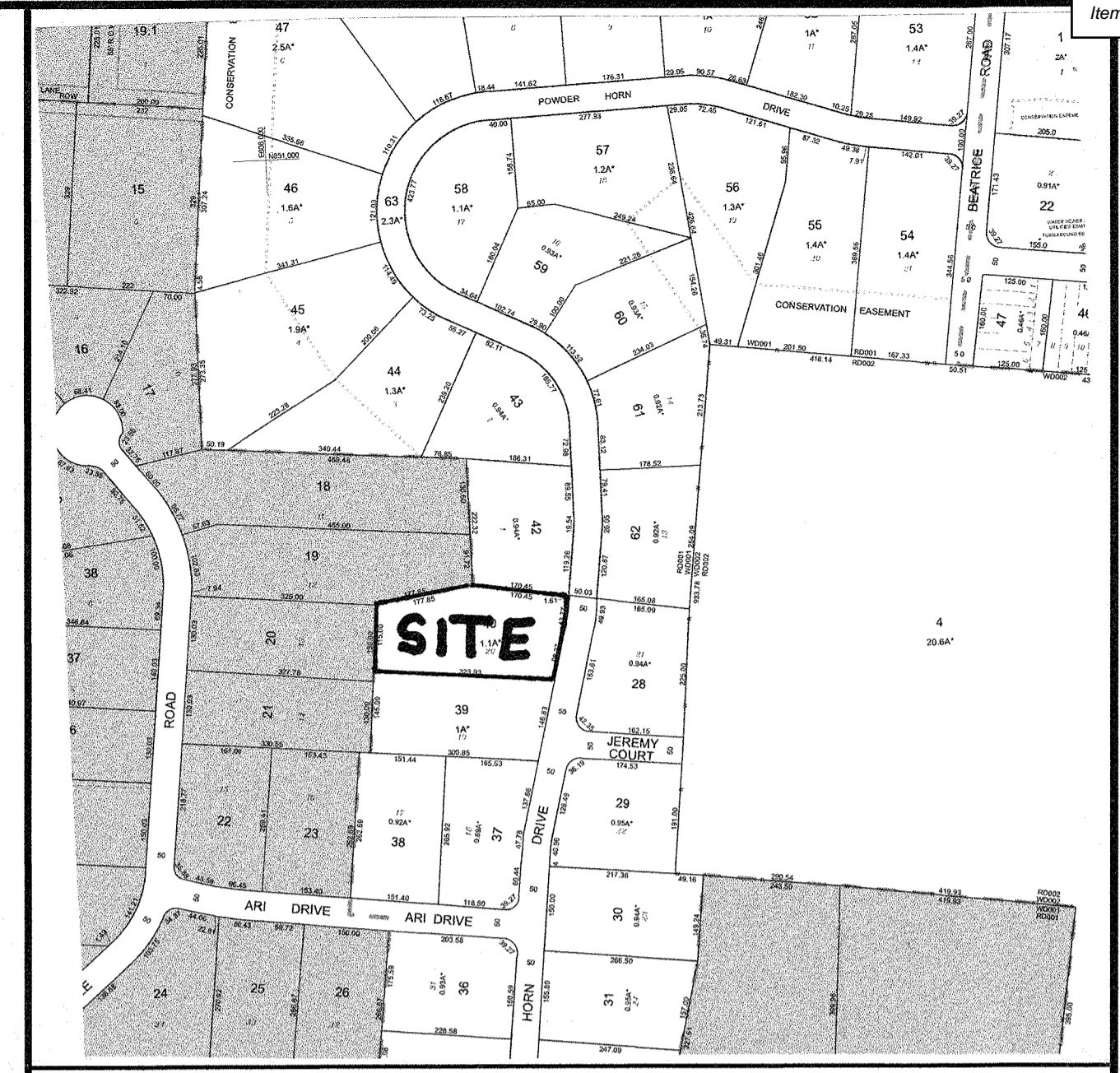
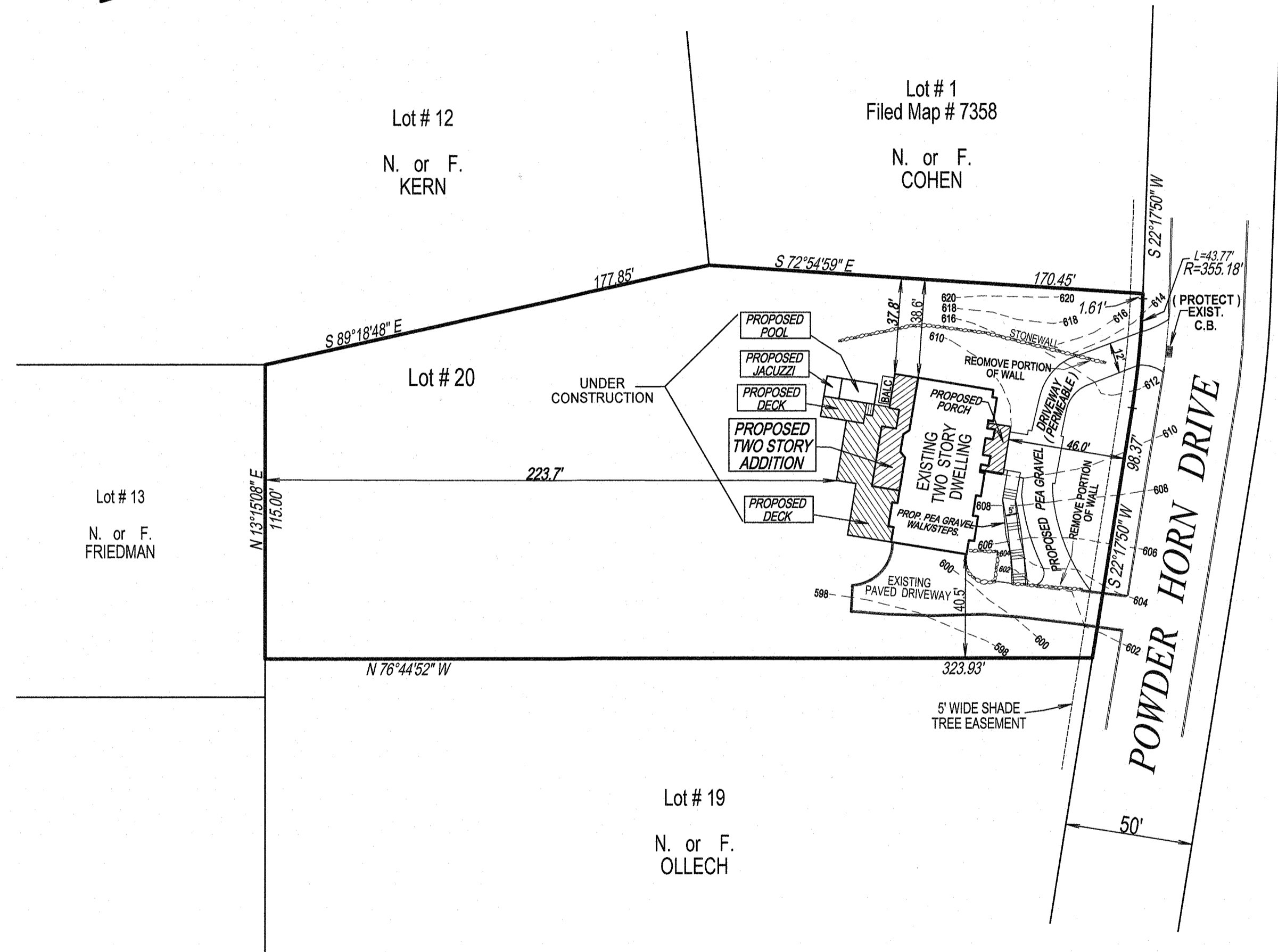
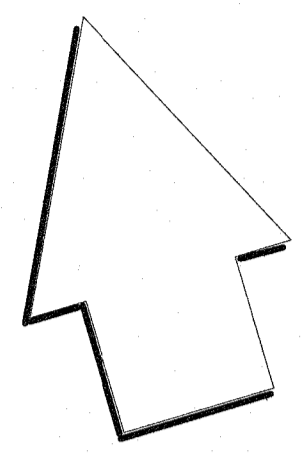
PART II

Application before the Zoning Board of Appeals

Application, petition or request is hereby submitted for:

- Variance from the requirement of Section 230 - FRONT YARD SETBACK ;
- Special permit per the requirements of Section _____ ;
- Review of an administrative decision of the Building Inspector;
- An order to issue a Certificate of Occupancy;
- An order to issue a Building Permit;
- An interpretation of the Zoning Ordinance or Map;
- Certification of an existing non-conforming structure or use;
- Other (*explain*) _____ ;

To permit construction, maintenance and use of A PROPOSED FRONT PORCH ADDITION TO EXISTING SINGLE FAMILY RESIDENCE.



VICINITY - SCALE: 1" = 300'

**PROPOSED PERMEABLE DRIVEWAY-
WALK / STEPS & PORCH ADDITION**

Land Survey
For
"KOTCH"
Village of Wesley Hills
Town of Ramapo Rockland County, NY
Scale: 1" = 40' Area = 1.08 Ac.

April 11, 2023
April 5, 2024 - Revised
May 16, 2024 - Revised
July 9, 2025 - Revised
July 23, 2025 - Revised

Tax Lot Desig.: Section 32.19 Block 2 Lot 40

Reference: map entitled "BELAIR @ WESLEY HILLS",
Filed in the Rockland County Clerks Office December 14,
1988 in book 110 page 7 as map # 6275.

EXIST. ZONE R-50 - AVERAGE DENSITY PER FILED
MAP 6275 (R-35)

Item	Required	Existing	Proposed
Lot Area	35,000 sf	47,251 sf	No Change
Min. Lot Frontage	100 ft.	143.75 ft.	No Change
Min. Lot Width	130 ft.	147.3 ft.	No Change
Min. Effic. Sq., Side	125 ft.	323.93 ft.	No Change
Front Yard	50 ft.	52 ft.	* 46.0 ft.
Side Yard	25 ft.	38.6 ft.	37.8 ft.
Total Side Yards	60 ft.	79.1 ft.	78.3 ft.
Rear Yard	50 ft.	244.1 ft.	223.7 ft.
Max Imperv. Cov.	0.30	0.081	No Change
Max. F/Y Imperv. Ratio	0.20	0.12	No Change
Max. Bldg. Cov.	0.10	0.043	0.05
Max. Bldg. Ht	25 ft. / 2.5 Sty.	24 ft. - 2 sty.	No Change
Max Exposed Bldg. Ht	40 ft.	30 ft.	29.5 ft.

* DENOTES VARIANCE REQUIRED

STATE OF NEW YORK
ROBERT E. SORACE, PLS.
LICENSED LAND SURVEYOR
Lic. 51264

Robert E. Sorace, PLS
P.O. Box 189
New City, NY 10956
845-638-1498

Short Environmental Assessment Form

Part 1 - Project Information

Item 1.

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

RECEIVED
VILLAGE OF WESLEY HILLS
JUL 18 2025
BUILDING,
PLANNING & ZONING

Part 1 – Project and Sponsor Information					
KOTCH RESIDENCE FRONT PORCH					
Name of Action or Project: 20 POWDER HORN DRIVE, WESLEY HILLS, NY					
Project Location (describe, and attach a location map): WEST SIDE OF POWDER HORN DRIVE, 450' NORTH OF ARI DRIVE					
Brief Description of Proposed Action: PROPOSED FRONT PORCH ADDITION WHICH REQUIRES A FRONT YARD SETBACK VARIANCE (50' MIN. REQUIRED, 46.6' PROPOSED)					
Name of Applicant or Sponsor: KIM THOMAS SIPPEL- ARCHITECT.	Telephone: 917-301-4947 E-Mail: ktsarchitect@optonline.net				
Address: 352 MILAN HILL ROAD					
City/PO: RED HOOK	State: NY Zip Code: 12571				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;">NO</td> <td style="width: 50%; text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES				
<input checked="" type="checkbox"/>	<input type="checkbox"/>				
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;">NO</td> <td style="width: 50%; text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES				
<input checked="" type="checkbox"/>	<input type="checkbox"/>				
3. a. Total acreage of the site of the proposed action?	<u>1.08</u> acres				
b. Total acreage to be physically disturbed?	<u>0.002</u> acres				
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?	<u>1.08</u> acres				
4. Check all land uses that occur on, are adjoining or near the proposed action:					
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland					

		NO	YES	Item 1.
5. Is the proposed action,	a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If Yes, identify: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?		<input type="checkbox"/>	<input type="checkbox"/>	
If the proposed action will exceed requirements, describe design features and technologies: NOT APPLICABLE				
10. Will the proposed action connect to an existing public/private water supply?		<input type="checkbox"/>	<input type="checkbox"/>	
If No, describe method for providing potable water: NOT APPLICABLE				
11. Will the proposed action connect to existing wastewater utilities?		<input type="checkbox"/>	<input type="checkbox"/>	
If No, describe method for providing wastewater treatment: NOT APPLICABLE				
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____				

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:

- Shoreline
- Forest
- Agricultural/grasslands
- Early mid-successional
- Wetland
- Urban
- Suburban

15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

16. Is the project site located in the 100-year flood plan?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

17. Will the proposed action create storm water discharge, either from point or non-point sources?
If Yes,

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

a. Will storm water discharges flow to adjacent properties?

<input checked="" type="checkbox"/>	<input type="checkbox"/>
-------------------------------------	--------------------------

b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?

<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	-------------------------------------

If Yes, briefly describe:

ROOF DRAINS WILL CONNECTED EXISTING FOOTING DRAINS.

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

If Yes, explain the purpose and size of the impoundment:

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

If Yes, describe:

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

If Yes, describe:

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: **KIM THOMAS SIPPEL- ARCHITECT.** Date: **7/14/2025**

Signature: *Kim Thomas Sippel* Title: **ARCHITECT**

File Attachments for Item:

2. Application submitted by Pomona Enterprises Corp on behalf of Jay Court Holdings, LLC on appeal of a determination of the Building Inspector or, in the alternative, for variances from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills, to permit a two lot subdivision, proposed Lot No. 1 having lot frontage of 35 feet on East Willow Tree Road and 86 feet on Charlotte Drive instead of the minimum required of 100 feet on each of said roads.

The subject premises are situated on the north side of East Willow Tree Road approximately 305 feet west of Deerwood Road, known as 106 East Willow Tree Road/ 2 Charlotte Drive, designated on the Tax Map as Section 41.08 Block 1 Lot 35, in an R-35 Zoning District.



EMANUEL LAW P.C.

Ira M. Emanuel, Esq. | Amy Mele, Esq. *Of Counsel*
Counsel to Freeman & Loftus, RLLP

Four Laurel Road
 New City, NY 10956

Info@EmanuelLaw.com

www.EmanuelLaw.com

Tel: 845-634-4141

ZONING BOARD OF APPEALS
 VILLAGE OF WESLEY HILLS

NARRATIVE SUMMARY

JAY COURT SUBDIVISION
 2 Charlotte Drive & 110/116 East Willow Tree Road

Jay Court subdivision is a resubdivision of three existing tax lots: 41.08-1-34, 41.08-1-44.1, and 41.08-1-44.2 in the R-35 district. As a result of the resubdivision, Lot 34 and 44.2 were merged into New Lot 1 and Lot 44.1 was slightly altered into New Lot 2. The subdivision was approved by the Planning Board on July 24, 2024. As was noted in the approval resolution (attached) no variances were needed. The project had been reviewed by the Village Engineer and the Village's Planning Consultant.

After approval, the applicant sent check prints to be reviewed by the Village's consultants for compliance with the approval. This is a necessary step before the Planning Board Chairman signs the plat.

During the check print process, and for the first time during the review of this subdivision, the Building Inspector determined that Lot 1 did not have sufficient road frontage. See Building Inspector's letter dated March 26, 2025, submitted herewith.

Old Lot 34/New Lot 1 has frontage on the cul-de-sac of Charlotte Drive and on East Willow Tree Road. Prior to resubdivision, Old Lot 34 had road frontage of 86.29 feet. After resubdivision, New Lot 1 had the same road frontage of 86.29 feet. While the Zoning Code generally requires 100 feet of road frontage, there is a special provision for lots fronting a cul-de-sac: "Minimum lot frontage may be reduced by the Planning Board for residential lots fronting on culs-de-sac or on streets with a center-line radius of 100 feet or less, and in the R-15 District minimum lot frontage for such lots may be reduced to 50 feet." (Zoning Code, Table of Dimensional Requirements, Note 2.)

Old Lot 34/New Lot 1's reduced frontage has thus been approved *twice* by the Planning Board: once when the original subdivision was approved, and again when the current resubdivision was approved.

After resubdivision, New Lot 1 has road frontage of 35.02 feet. Since New Lot 1 has conforming road frontage on Charlotte Drive, the East Willow Tree Road frontage is irrelevant for purposes of conforming to the Zoning Code. However, the lot frontage of

Lot 1 has *increased* by ten feet (from 25.02 feet to 35.02 feet) along East Willow Tree Road.

Alternatively, New Lot 1 has total lot frontage of 121.31 feet (86.29 feet on Charlotte Drive and 35.02 feet on East Willow Tree Road), exceeding the minimum 100 feet otherwise required.

The applicant hereby appeals the determination of the Building Inspector. In the alternative, the applicant seeks a variance from the street frontage requirements as they apply to the East Willow Tree Road frontage.

SEQRA and GML Status

This is a Type II action under SEQRA (“area variance for a single-family, two-family or three-family residence”). 6 N.Y.C.R.R. § 617.5(c)(17). No SEQRA review is needed.

The subject parcel is not within 500 feet of a State or County feature. No referral to the Rockland County Planning Department is needed.

A. Appeal

As noted above, the Zoning Code provides that “for residential lots fronting on culs-de-sac or on streets with a center-line radius of 100 feet or less, and in the R-15 District minimum lot frontage for such lots may be reduced to 50 feet.”

The subject lot qualifies for such reduction. It was granted such reduction by the Planning Board when it approved the current resubdivision. It has frontage of 86.29 feet on the Charlotte Drive cul-de-sac.

Notably, the Building Inspector did not raise this issue while the Planning Board was considering the subdivision.

The Building Inspector has provided no reason for his determination.

B. Variance

Criteria for Variance

One of the purposes of a zoning board of appeals, and of the ability to grant variances, is to provide a “safety valve” where the strict application of a zoning code cannot allow an otherwise appropriate use of property because of the peculiar circumstances applicable to that property. For this reason, any municipality that adopts a zoning code must also establish a board of appeals.¹

¹ See, 2 Salkin, *New York Zoning Law and Practice* (3d ed.), §§27:07 – 27:10; *McKinney’s Town Law*, Practice Commentary to § 267-a; Town L. § 267.2; *McKinney’s Village Law*, Practice Commentary to § 7-712-a; Village L. § 7-712(2).

In determining to grant an area variance, a board of appeals “shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant.”² The board must also consider five questions when engaging in this balancing test. The questions, and the applicant’s responses, are set forth below:

(1) *“whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance”:*

The “deficient” street frontage is only along East Willow Tree Road. Street frontage requirements are intended to provide appropriate spacing between buildings. This spacing is achieved along Charlotte Drive. The East Willow Tree Road frontage supports a driveway, only, and does not affect building spacing.

(2) *“whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance”:*

If the full frontage of 100 feet is required on East Willow Tree Road, then the property cannot be resubdivided as approved. The lot lines would need to revert to the prior configuration, which would result in less frontage.

(3) *“whether the requested area variance is substantial”:*

Whether a requested variance is “substantial” is more than simple arithmetic. It requires an understanding of the general area and of the existing conditions.³

The variance will allow for greater frontage on East Willow Tree Road than currently exists.

(4) *“whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district”:*

There is no impact as a result of this variance.

(5) *“whether the alleged difficulty was self-created”:*

The difficulty was created by the interpretation of the Building Inspector.

On balance, therefore, the requested variances are beneficial to both the applicant and the community.

Relief requested

Accordingly, the applicant requests the following relief:

² Town L. § 267-b.3(b); Village L. § 7-712-b.3(b).


³ See, 2 New York Zoning Law and Practice, § 29:15.

- A. Reverse the determination of the Building Inspector that Lot 1 of the approved Jay Court subdivision lacks sufficient street frontage even though it has compliant street frontage on Charlotte Drive.
- B. Alternatively, grant the following variance:

<u>Dimension</u>	<u>Required</u>	<u>Provided</u>
Street frontage	100 ft	35.02 ft (East Willow Tree Road)

Dated: June 9, 2025
New City, New York

EMANUEL LAW P.C.

By: 
Ira M. Emanuel, Esq.
Attorney for Applicant



432 Route 306

Wesley Hills, N.Y. 10952-1221

Phone: 845-354-0400 Fax: 845-354-4097 www.wesleyhills.org

Email: BuildingDept@wesleyhills.org

Dated: March 26, 2025

Tax Parcel ID: 41.08-1-34, 41.08-1-44.2 & 41.08-1-44.1

Address: 2 Charlotte Drive & 110/106 E. Willow Tree Road

Applicant: Jay Court Holdings, LLC

BUILDING AND ZONING DEPARTMENT:

Please be advised that your Planning Board application for a subdivision does not meet the requirements of the Zoning Law of the Village of Wesley Hills. The following variances are required:

- Minimum lot frontage (E. Willow Tree Road) of 35' where 100' is required
- Minimum lot frontage (Charlotte Drive) of 86' where 100' is required

In addition, the Zoning Board of Appeals may review any existing non-conforming items and previously granted variances.


 John Layne
 Building Inspector

cc: Zoning Board of Appeals

PART I

Name of Municipality VILLAGE OF WESLEY HILLS

Date 6/16/25

Please check all that apply:

<input type="checkbox"/> Planning Board	<input type="checkbox"/> Architectural Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Municipal Board	
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Pre-preliminary/Sketch
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Zoning Code Amendment	<input type="checkbox"/> Zone Change
<input checked="" type="checkbox"/> Variance * (Fill out Part II of this form.)	

Project Name: Jay Court Subdivision

Applicant: POMONA ENTERPRISES Corp Phone # 845-494-7382
 Address PO Box 515 Pomona NY 10970
Street Name & Number (Post Office) State Zip code

Property Owner: Jay Court Holdings LLC Phone # 845-399-9903
 Address 6 Jay Court Monsey NY 10952
Street Name & Number (Post Office) State Zip code

Engineer/Architect/Surveyor: CIVIL TEC Phone # 845-547-2241
 Address 139 Lafayette Ave Suffern NY 10901
Street Name & Number (Post Office) State Zip code

Attorney: IRA EMANUEL Phone # 845-634-4141
 Address 4 Laurel Road New City NY 10956
Street Name & Number (Post Office) State Zip code

Contact Person: Steve Saffer Phone # 845-494-7382
 Address PO Box 515 Pomona NY 10970
Street Name & Number (Post Office) State Zip code

Tax Map Designation:

Section 41.08 Block 1 Lot(s) 34, 44.1, and 44.2
Section _____ Block _____ Lot(s) _____

Location: On the North side of E Willow Tree Road,
approx 305 feet East of Deerwood Road.

Acreage of Parcel 4.764 **Zoning District** R-15
School District East Ramapo CSD **Postal District** Spring Valley, 10977

Project Description: *(If additional space required, please attach a narrative summary.)*

See attached narrative.

If subdivision:

- 1) Is any variance from the subdivision regulations required? no
- 2) Is any open space being offered? No If so, what amount? _____

Project History: Has this project ever been reviewed before? Yes

If so, list case number, name, date, and the board you appeared before.
Planning Board - Application approved July 24, 2024

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

None

"Permission is hereby granted to the Village of Wesley Hills, its agents, servants and employees to enter upon the above described property solely for the purposes incidental to the within application at reasonable times upon reasonable notice to the owner or tenant in possession."

Affidavit of Ownership/Owner's Consent

State of New York)
County of Rockland) SS.:
Town/Village of Wesley Hills)

I, DANA GOLDSTEIN being duly sworn, hereby
depose and say that I reside at: 6 JAY COURT, MONSEY NY

in the county of Rockland in the state of New York

I am the * SOLE MEMBER OF JAY COURT HOLDINGS LLC owner in fee simple of premises located at:
2 Charlotte St 110 E. Willow Tree

described in a certain deed of said premises recorded in the Rockland County Clerk's
Office in Liber _____ of conveyances, page _____ .

Said premises have been in my/its possession since 2024. Said premises are
also known and designated on the Town of Ramapo Tax Map as:
section 41.08 block 1 lot(s) 34,44.1+44.2

I hereby authorize the within application on my behalf, and that the statements of fact
contained in said application are true, and agree to be bound by the determination of the
board.

JAY COURT HOLDINGS LLC BY DANA GOLDSTEIN, SOLE MEMBER
Owner [Signature]
Mailing Address 6 JAY CT
MONSEY, NY 10952

SWORN to before this
23rd day of May, 2025

[Signature]
Notary Public

SANDRA BETH SAFFER
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01SA6436883
Qualified in Rockland County
My Commission Expires July 25, 2026

* If owner is a corporation, fill in the office held by deponent and name of corporation,
and provide a list of all directors, officers and stockholders owning more than 5% of
any class of stock.

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 K, L, M, AND N.

- State or County Road
- Long Path
- Municipal Boundary
- State or County Park
- County Stream
- County Facility

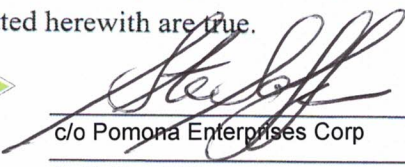
List name(s) of facility checked above. NONE

Applicant's Signature and Certification

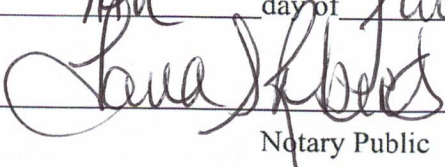
State of New York)
County of Rockland) SS.:
Town/Village of _____)

I, Steven Saffer for Pomona Enterprises Corp., hereby depose and say that all the above statements contained in the papers submitted herewith are true.

PLEASE SIGN HERE

Mailing Address 
c/o Pomona Enterprises Corp
P. O. Box 515
Pomona, NY 10970

SWORN to before this
11th day of June, 2025


Notary Public

TARA S ROBERTS
NOTARY PUBLIC STATE OF NEW YORK
RESIDING IN ROCKLAND COUNTY
NO. 01R06429066
MY COMMISSION EXPIRES 02/07/2026

Affidavit Pursuant to Section 809 of the General Municipal Law

State of New York)
County of Rockland) SS.:
Town/Village of _____)

I, Steven Saffer for Pomona Enterprises Corp., being duly sworn, hereby depose and say that all the following statements and the statements contained in the papers submitted herewith are true and that the nature and extent of any interests set forth are disclosed to the extent that they are known to the applicant.

1. Print or type full name and post office address

Pomona Enterprises Corp.
P. O. Box 515
Pomona, NY 10970

certifies that he is owner or agent of all that certain lot, piece or parcel of land and/or building described in this application **and if not the owner that he has been duly and properly authorized to make this application and to assume responsibility for the owner in connection with this application for the relief below set forth:**

2. To the Zoning Board of Appeals of the ~~XXXXX~~ Town/Village of Wesley Hills, Rockland County, New York:
(Board, Commission or Agency)

Application, petition or request is hereby submitted for:

- Variance or modification from the requirement of Section _____;
- Special permit per the requirements of Section _____;
- Review and approval of proposed subdivision plat;
- Exemption from a plat or official map;
- An order to issue a certificate, permit or license;
- An amendment to the Zoning Ordinance or Official Map or change thereof;
- Other (*explain*) Reverse Determination of Building Inspector or variance to Section 230 Att. 1 - ;
Table of Dimensional Requirementw

To permit construction, maintenance and use of See attached Narrative

3. Premises affected are in a R-35 zone and from the town of Ramapo tax map, the property is know as Section 41.08, Block, 1, Lot(s) 34, 44.1, and 44.2.

4. There is no state officer, Rockland County Officer or employee or town/village officer or employee nor his or her spouse, brother, sister, parent, child or grandchild, or a spouse of any of these relatives who is the applicant or who has an interest in the person, partnership or association making this application, petition or request, or is an officer, director, partner or employee of the applicant, or that such officer or employee, if this applicant is a corporation, legally or beneficially owns or controls any stock of the applicant in excess of 5% of the total of the corporation if its stock is listed on the New York or American Stock Exchanges; or is a member or partner of the applicant, if the applicant is an association or a partnership; nor that such town/village officer or employee nor any member of his family in any of the foregoing classes is a party to an agreement with the applicant, express or implied, whereby such officer or employee may receive any payment or other benefit, whether or not for service rendered, which is dependent or contingent upon the favorable approval of this application, petition or request.

5. That to the extent that the same is known to your applicant, and to the owner of the subject premises **there is disclosed herewith** the interest of the following officer or employee of the State of New York or the County of Rockland or of the ~~XXXX~~ Village of Wesley Hills in the petition, request or application or in the property or subject matter to which it relates:

(if none, so state)

a. Name and address of officer or employee NONE

b. Nature of interest _____

c. If stockholder, number of shares _____

d. If officer or partner, nature of office and name of partnership _____

e. If a spouse or brother, sister, parent, child, grandchild or the spouse of any of these blood relatives of such state, county or town/village officer or employee, state name and address of such relative and nature of relationship to officer and employee and nature and extent of office, interest or participation or association having an interest in such ownership or in any business entity sharing in such ownership. _____

f. In the event of corporate ownership: A list of all directors, officers and stockholders of each corporation owning more than five (5%) percent of any class of stock, must be attached, if any of these are officers or employees of the State of New York, or of the County of Rockland, or of the Town/Village of _____

I, _____, do hereby depose and say that all the above statements and statements contained in the papers submitted herewith are true, knowing that a person who knowingly and intentionally violates this section is guilty of a misdemeanor.

PLEASE SIGN HERE

Mailing Address c/o Pomona Enterprises Corp
P.O. Box 515

Pomona, NY 10970

SWORN to before this

Tara S Roberts day of June, 2025
Tara S Roberts
Notary Public

TARA S ROBERTS
NOTARY PUBLIC STATE OF NEW YORK
RESIDING IN ROCKLAND COUNTY
NO. 01RO6429066
MY COMMISSION EXPIRES 02/07/2026

VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

AFFIDAVIT OF OWNERSHIP

STATE OF NEW YORK }
COUNTY OF ROCKLAND } SS:
VILLAGE OF WESLEY HILLS }

Dana Goldstein for Jay Court Holdings LLC
being duly sworn, deposes and
says that he/she resides at 6 Jay Court, Monsey NY

in the County of Rockland, State of New York; that he/she is the owner in
fee of all that certain lot, piece or parcel of land situated, lying and being
in the Village of Wesley Hills, and designated on the Town of Ramapo
Map as Section No. 4108-1 Lot No. 34,44.1 & 44.2 and that he/she hereby
authorizes the attached application to be submitted in his/her behalf and
that the statements of fact contained in said application are true.

The applicant is the (owner) (contract vendee) of the said property.

Owner: [Signature]

Address: 6 JAY CT.

MONSEY, NY 10952

JAY COURT HOLDINGS LLC
BY DANA GOLDSTEIN,
SOLE MEMBER

Sworn to before me this
23 day of May 2025

[Signature]
Notary Public

SANDRA BETH SAFFER
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01SA6436883
Qualified in Rockland County
My Commission Expires July 25, 2026

VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

AFFIDAVIT OF POSTING

STATE OF NEW YORK }
COUNTY OF ROCKLAND } SS:
VILLAGE OF WESLEY HILLS }

_____ being duly sworn, deposes and
says that he/she is the applicant in the matter of an application before the
Village of Wesley Hills Zoning Board affecting property located at
_____, Wesley Hills, Town of Ramapo,
Rockland County, New York.

That on the _____ day of _____ 200__, he/she posted the
posters provided by the Zoning Board of the Village of Wesley Hills
giving notice of the hearing on this application in a conspicuous place
visible from every street along the frontage of the plot affected by this
application.

Sworn to before me this

_____ day of _____ 200__

Notary Public

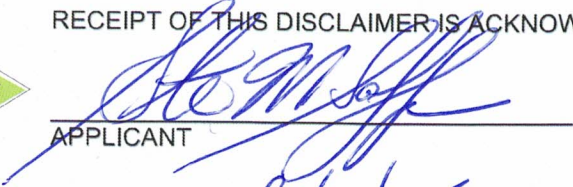
DISCLAIMER

APPLICANT TAKES FULL RESPONSIBILITY FOR RESEARCHING THE TAX MAP FOR THE LIST OF NAMES OF PROPERTY OWNERS ON THE ENCLOSED *AFFIDAVIT OF MAILING LIST*, AND SUPPLYING THE NECESSARY AMOUNT OF SELF-ADDRESSED STAMPED ENVELOPES.

THE APPLICANT'S ENVELOPES MUST COINCIDE WITH THE LIST. THE CLERK'S RESPONSIBILITY IS LIMITED TO CHECKING NAMES ON THE ENVELOPES AGAINST THE AFOREMENTIONED AFFIDAVIT BEFORE MAILING THEM.

RECEIPT OF THIS DISCLAIMER IS ACKNOWLEDGED

PLEASE SIGN HERE →



APPLICANT

6/11/25

DATED

PART II

Reverse Determination of Building Inspector or variance to Section 230 Att. 1 -

X

Application before the Zoning Board of Appeals

Application, petition or request is hereby submitted for:

- Variance from the requirement of Section _____;
- Special permit per the requirements of Section _____;
- Review of an administrative decision of the Building Inspector;
- An order to issue a Certificate of Occupancy;
- An order to issue a Building Permit;
- An interpretation of the Zoning Ordinance or Map;
- Certification of an existing non-conforming structure or use;
- Other (*explain*) Reverse Determination of Building Inspector or variance to Section 230 Att. 1 - ;
Table of Dimension Requirements

To permit construction, maintenance and use of See attached narrative

11/41.08-1-45
EAST WILLOW TREE LLC
36TH FLOOR
225 BROADWAY
NEW YORK, NY 10007

11/41.12-1-3
ASH ROCHEL & URIEL
96 WILLOW TREE RD E
SPRING VALLEY, NY 10977

11/41.12-1-2
WEINSTEIN DAVID & SABRINA
LEGACY TRUST
102 E WILLOW TREE RD
WESLEY HILLS, NY 10977

11/41.08-2-57
GRUBER DAVID
4 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-2-58.2
WILLOW TREE MNGT LLC
241 VIOLA RD
MONSEY, NY 10952

11/41.08-1-43
BEREN JONATHAN & DENISE
3 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-1-50.1
GUTWEIN TUVIA
& SPITZER FRADY
11 N RIGAUD RD
SPRING VALLEY, NY 10977

11/41.08-1-59
AKKERMAN ANATOLY &
SUSANNA
3 MARISA DR
SPRING VALLEY, NY 10977

11/41.08-1-42
BENISZ MARK & ELIZABETH
5 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-2-56
HOOK JONATHAN & NAOMI
6 DEERWOOD RD
WESLEY HILLS, NY 10977

11/41.08-2-58.3
BRAUNSTEIN SHALOM &
ELIANA
5 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.08-2-55
LOEBENBERG LEGACY TRUST
8 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-1-58
STEEN FRANKLIN & PAULA
IRREVOCABLE TRUST L/E
5 MARISA DR
SPRING VALLEY, NY 10977

11/41.07-1-44
WILLIAMS GORDON E & NADIA
4 VICTORIA PL
MONSEY, NY 10952

11/41.08-1-50.2
BARKO ALEKSEY & ANNA
6 MARISA DR
SPRING VALLEY, NY 10977

11/41.08-1-41
ENGELSTEIN YARON
7 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-1-47.5
ABRAHAM ZISHE & ZELDA
132 WILLOW TREE RD E
SPRING VALLEY, NY 10977

11/41.08-2-54
GREENWALD MOISHE &
NICOLE A
10 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-2-58.5
GRUBER BRENDA
9 ROCHELLE LANE
SPRING VALLEY, NY 10977

11/41.08-2-58.4
ZUPNIK JOSEPH & ELISA
7 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.08-1-57
KLEIN ESTHER & JACOB
7 MARISA DR
WESLEY HILLS, NY 10977

11/41.07-1-43
SNEED HILTON S & LISA H
9 PEARL DR
MONSEY, NY 10952

11/41.08-1-44.2
JAY COURT HOLDINGS LLC
6 JAY COURT
MONSEY, NY 10952

11/41.08-1-46
SCHECTER EDUARDO
& LEOPOLD MARICA
120 WILLOW TREE RD E
SPRING VALLEY, NY 10977

11/41.08-1-47.1
AHAVAT YISRAEL OF
WESLEY HILLS
126 E WILLOW TREE
WESLEY HILLS, NY 10977

11/41.08-1-40
MAKOWSKY FRADY & ABRAHAM
9 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-2-53
KURTZ SETH & CHAYA
REVOCABLE TRUST
12 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-1-56
CIBORSKI THOMAS F &
REBECCA T
11 PEARL DR
MONSEY, NY 10952

11/41.08-2-49
STERN YOAV & GILAH
18 CHARLOTTE DR
SPRING VALLEY, NY 10977

~~11/41.08-1-34
JAY COURT HOLDINGS LLC
6 JAY COURT
MONSEY, NY 10952~~

11/41.08-1-33
ROSENBERG SUSAN
1 CHARLOTTE DR
SPRING VALLEY, NY 10977

11/41.08-2-50
CONG ATERES ROSH INC
16 CHARLOTTE DR
SPRING VALLEY, NY 10977

11/41.08-1-39
TAUB SAMUEL & GITY
1363 EAST 31ST
BROOKLYN, NY 11210

11/41.08-2-51
COHN HENOCHE & MIRJAM
14 CHARLOTTE DR
SPRING VALLEY, NY 10977

11/41.08-1-50.3
KAMINETZKY JEFFREY &
SPIVAK CHERYL
8 MARISA DR
SPRING VALLEY, NY 10977

11/41.08-2-52
POLLAK STUART & ESTHER
14 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.07-1-35
LADELL ELIYAHU S &
MIRIAM
10 PEARL DR
MONSEY, NY 10952

11/41.08-1-55
BIRNBAUM FAMILY RUTH WANG
REVOCABLE TRUST
9 MARISA DR
SPRING VALLEY, NY 10977

11/41.08-1-35
SPIRA ABRAHAM & TZIPORA
4 CHARLOTTE DR
SPRING VALLEY, NY 10977

11/41.08-1-38
BOOK SAMUEL &
ZICHERMAN-BOOK ZIPORA
15 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-1-32
ABRAMS SHEILA REVOCABLE
LIVING TRUST
3 CHARLOTTE DR
SPRING VALLEY, NY 10977

11/41.08-2-11
KLEIN ALAN D &
ELANA G
19 CHARLOTTE DR
SPRING VALLEY, NY 10977

11/41.08-1-37
GLUBERMAN KAREN
47 WAATERS EDGE
CONGERS, NY 10920

11/41.08-1-51
WANOUNOU DAVID & SHOSHANA
12 MARISA DR
SPRING VALLEY, NY 10977

11/41.08-2-10
POLLACK MENACHEM M & JUDY
17 CHARLOTTE DR
SPRING VALLEY, NY 10977

11/41.08-1-36
ROSENBERG MOSHE
16 RYAN RD
EDISON, NJ 08817

11/41.08-1-26
MULLER ISAAC & MICHELLE
17 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.07-1-27
SCHILLER YESHAYA
3 LIME KILN CT
MONSEY, NY 10952

11/41.08-1-54
BEN-JACOB JACOB &
MARION TRUST
11 MARISA DR
SPRING VALLEY, NY 10977

11/41.08-1-31
PEPPER ZELDA TRUST THE
5 CHARLOTTE DR
SPRING VALLEY, NY 10977

11/41.08-2-12
7 BRUCK COURT LLC
C/O GARFINKEL
10 WILSON CT
SPRING VALLEY, NY 10977

11/41.08-2-9
WOLF DAVID & SHOSHONA
20 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-1-52
SHATKIN JASON A &
DEBORAH M
17 MARISA DRIVE
SPRING VALLEY, NY 10977

11/41.08-1-25
DEERWOOD TRUST
5 FIELDCREST DR
MONSEY, NY 10952

11/41.08-1-53
SELTER JOEL & BETH E
15 MARISA DR
SPRING VALLEY, NY 10977

11/41.08-2-13
HERSCHMANN LIORA D &
ASHLEY N
11 BRUCK CT
SP VALLEY, NY 10977

11/41.08-1-27
PERKOWSKI JOEL & MIRIAM
13 CHARLOTTE DR
SPRING VALLEY, NY 10977

11/41.08-1-28
DAVIDSON NICHOLAS &
JENNIFER
11 CHARLOTTE DR
SPRING VALLEY, NY 10977

11/41.08-1-29
9 CHARLOTTE DR LLC
1036 EAST 3RD ST
BROOKLYN, NY 11230

11/41.08-1-30
GREENFIELD JOSEPH &
BARUCHOV JORDANA
3 TOBEY LA
MONSEY, NY 10952

11/41.08-2-8
REICHNER KENNETH J &
HORWITZ LYNN D
22 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-1-24
HASSAN ISAAC MICHAEL &
ELAHE
21 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-1-15
JOSEPH XUE LI SUN
21 HILLSIDE CT
SUFFERN, NY 10901

11/41.08-1-23
CHASEN MICHAEL & DORIT
23 DEERWOOD RD
SUFFERN, NY 10901

11/41.08-1-14
GOLDMAN MORDECHAI
19 HILLSIDE COURT
SUFFERN, NY 10901

11/41.08-1-16
SCHUH ADAM & JENNAH
23 HILLSIDE CT
SUFFERN, NY 10901

11/41.08-1-7
EISENBERG GEDALYAH &
IRENE
17 HILLSIDE CT
SUFFERN, NY 10901

11/41.08-1-6
STEG MAX & JUDITH
15 HILLSIDE CT
SUFFERN, NY 10901

11/41.08-1-5
LIEBMAN ABELA
13 HILLSIDE CT
SUFFERN, NY 10901

~~11/41.08-1-44.1
JAY COURT HOLDINGS LLC
6 JAY CT
MONSEY, NY 10952~~

11/41.08-1-47.4
EICHORN AHARON S &
RIFKI
5 PLUMBUSH ROAD
SUFFERN, NY 10901

11/41.08-1-47.3
BRODIE DONI J & LEAH
7 SOUNDVIEW DR
SPRING VALLEY, NY 10977

11/41.08-1-47.2
OK
SCHWARTZ ARON Z &
LICHTENSTEIN RACHELLE
4 ROCHELLE LANE
WESLEY HILLS, NY 10977

11/41.12-1-21
5 SKYLINE TERRACE LLC
1 SKYLINE TERR
SPRING VALLEY, NY 10977

11/41.12-1-14
NITZLICH AHARON & BAILA
11 RAINBOW CT
SPRING VALLEY, NY 10977

11/41.12-1-13
WEISS SHIMON
36 SKYLINE TERRACE
SPRING VALLEY, NY 10977

11/41.12-2-63
ZELMANOVIC DAVID & ELAINE
4 MARK DR
SPRING VALLEY, NY 10977

~~11/41.08-1-45
EAST WILLOW TREE LLC
36TH FLOOR
225 BROADWAY
NEW YORK, NY 10007~~

11/41.12-2-60
SARFATY ELIAHU
1 NO SHERRI LN
SPRING VALLEY, NY 10977

11/41.12-1-33
ELKOBI MORDCHAI & DONA
1 MARCUS DR
MONSEY, NY 10952

11/41.12-1-32
SKOVRONSKY MANDEL &
RATZI
17 VILLAGE GREEN
MONSEY, NY 10952

11/41.12-1-31
WASSERMAN AVROHOM & SHIRA
15 VILLAGE GREEN
MONSEY, NY 10952

11/41.12-1-19
LERER DANIEL & RIVKA
2 SKYLINE TERR
WESLEY HILLS, NY 10977

11/41.12-1-18
GELBEIN ADAM & JUDITH
6 SKYLINE TERR
SPRING VALLEY, NY 10977

11/41.12-1-17
SCHWARTZ HENRY & SILA
10 SKYLINE TERR
SPRING VALLEY, NY 10977

11/41.12-1-16
16 SKYLINE TERRACE LLC
16 SKYLINE TERR
WESLEY HILLS, NY 10977

11/41.12-1-15
KAIMAN MARK & ERICA
12 RAINBOW CT
SPRING VALLEY, NY 10977

11/41.12-1-22
TRUST UNDER THE SEVENTH
WILL OF HIRSCH NATHAN
95 LAWERENCE AVE
BROOKLYN, NY 11230

11/41.12-1-20
HANDLER ASHER
POBOX 580
LAKEWOOD, NJ 08701

11/41.12-1-23
LOEB HOUSE INC
1 BLUE HILL PLAZA
P O BOX 1648
PEARL RIVER, NY 10965

11/41.12-1-24
VERICKER CAROL A & NEGRON
CARMEN V
23 SKYLINE TERR
SPRING VALLEY, NY 10977

11/41.12-1-25
BREUER RUBIN
29 SKYLINE TERR
SPRING VALLEY, NY 10977

11/41.12-1-26
WOLFE SUE & MARTIN H
35 SKYLINE TERR
SPRING VALLEY, NY 10977

11/41.12-2-61
3 MARK DR LLC
PO BOX 580
LAKEWOOD, NJ 08701

11/41.12-2-1
TAMBOR JACOB
2 MARK DRIVE
SPRING VALLEY, NY 10977

11/41.12-2-62
BARKHORDAR SIAMAK & SOROH
T
1907 PREUSS RD
LOS ANGELES, CA 90034

11/41.12-1-5
STEFANSKY AARON & FAY
DINAH
91 WILLOW TREE RD E
SPRING VALLEY, NY 10977

11/41.12-1-6
97 E WILLOW TREE ROAD LLC
97 E WILLOW TREE RD
SPRING VALLEY, NY 10977-101

11/41.12-1-7
103 E WILLOW TREE ROAD
LLC & HANDLER ASHER
103 E WILLOW TREE RD
SPRING VALLEY, NY 10977

11/41.12-1-8
109 E WILLOW TREE
ROAD LLC
C/O HANDLER ASHER
109 E WILLOW TREE RD
SPRING VALLEY, NY 10977

11/41.12-1-9
SELTZER PAUL & DEVORAH
115 E WILLOW TREE RD
SPRING VALLEY, NY 10977

11/41.12-1-10
ZWIEBEL MORDECHAI LEIB &
LANDAU FRIEDA
123 E WILLOW TREE RD
SPRING VALLEY, NY 10977

11/41.12-1-11
APPLE SPRINGS LLC
318 AVENUE M
BROOKLYN, NY 11230

ALL DOPE'S

~~11/41.12-1-3
ASH ROCHEL & URIEL
96 WILLOW TREE RD E
SPRING VALLEY, NY 10977~~

~~11/41.12-1-2
WEINSTEIN DAVID & SABRINA
LEGACY TRUST
102 E WILLOW TREE RD
WESLEY HILLS, NY 10977~~

~~11/41.08-2-58.1
WILLOW TREE MNGT LLC
241 VIOLA RD
MONSEY, NY 10952~~

~~11/41.08-2-57
GRUBER DAVID
4 DEERWOOD RD
SPRING VALLEY, NY 10977~~

~~11/41.08-2-58.2
WILLOW TREE MNGT LLC
241 VIOLA RD
MONSEY, NY 10952~~

~~11/41.12-1-1
WEISZ MORDECHAI &
LOWY RACHEL
1 MARISA DR
SPRING VALLEY, NY 10977~~

~~11/41.08-1-43
BEREN JONATHAN & DENISE
3 DEERWOOD RD
SPRING VALLEY, NY 10977~~

~~11/41.08-1-50.1
GUTWEIN TUVIA
& SPITZER FRADY
11 N RIGAUD RD
SPRING VALLEY, NY 10977~~

~~11/41.08-1-59
AKKERMAN ANATOLY &
SUSANNA
3 MARISA DR
SPRING VALLEY, NY 10977~~

~~11/41.08-1-42
BENISZ MARK & ELIZABETH
5 DEERWOOD RD
SPRING VALLEY, NY 10977~~

~~11/41.08-2-56
HOOK JONATHAN & NAOMI
6 DEERWOOD RD
WESLEY HILLS, NY 10977~~

~~11/41.08-2-58.3
BRAUNSTEIN SHALOM &
ELIANA
5 ROCHELLE LA
SPRING VALLEY, NY 10977~~

~~11/41.08-2-55
LOEBENBERG LEGACY TRUST
8 DEERWOOD RD
SPRING VALLEY, NY 10977~~

~~11/41.08-1-58
STEEN FRANKLIN & PAULA
IRREVOCABLE TRUST L/E
5 MARISA DR
SPRING VALLEY, NY 10977~~

~~11/41.08-1-50.2
BARKO ALEKSEY & ANNA
6 MARISA DR
SPRING VALLEY, NY 10977~~

~~11/41.08-1-41
ENGELSTEIN YARON
7 DEERWOOD RD
SPRING VALLEY, NY 10977~~

~~11/41.08-1-47.5
ABRAHAM ZISHE & ZELDA
132 WILLOW TREE RD E
SPRING VALLEY, NY 10977~~

~~11/41.08-2-54
GREENWALD MOISHE &
NICOLE A
10 DEERWOOD RD
SPRING VALLEY, NY 10977~~

~~11/41.08-2-58.4
ZUPNIK JOSEPH & ELISA
7 ROCHELLE LA
SPRING VALLEY, NY 10977~~

~~11/41.08-1-57
KLEIN ESTHER & JACOB
7 MARISA DR
WESLEY HILLS, NY 10977~~

~~11/41.08-1-44.2
JAY COURT HOLDINGS LLC
6 JAY COURT
MONSEY, NY 10952~~

~~11/41.08-1-46
SCHECTER EDUARDO
& LEOPOLD MARICA
120 WILLOW TREE RD E
SPRING VALLEY, NY 10977~~

~~11/41.08-1-47.1
AHAVAT YISRAEL OF
WESLEY HILLS
126 E WILLOW TREE
WESLEY HILLS, NY 10977~~

~~11/41.08-1-40
MAKOWSKY FRADY & ABRAHAM
9 DEERWOOD RD
SPRING VALLEY, NY 10977~~

~~11/41.08-2-53
KURTZ SETH & CHAYA
REVOCABLE TRUST
12 DEERWOOD RD
SPRING VALLEY, NY 10977~~

~~11/41.08-1-34
JAY COURT HOLDINGS LLC
6 JAY COURT
MONSEY, NY 10952~~

~~11/41.08-1-33
ROSENBERG SUSAN
1 CHARLOTTE DR
SPRING VALLEY, NY 10977~~

~~11/41.08-1-39
TAUB SAMUEL & GITY
1363 EAST 81ST
BROOKLYN, NY 11210~~

~~11/41.08-2-51
COHN HENOKH & MIRJAM
14 CHARLOTTE DR
SPRING VALLEY, NY 10977~~

~~11/41.08-1-50.3
KAMINETZKY JEFFREY &
SPIVAK CHERYL
8 MARISA DR
SPRING VALLEY, NY 10977~~

~~11/41.08-2-52
POLLAK STUART & ESTHER
14 DEERWOOD RD
SPRING VALLEY, NY 10977~~

~~11/41.08-1-35
SPIRA ABRAHAM & TZIPORA
4 CHARLOTTE DR
SPRING VALLEY, NY 10977~~

~~11/41.08-1-38
BOOK SAMUEL &
ZICHERMAN-BOOK ZIPORA
15 DEERWOOD RD
SPRING VALLEY, NY 10977~~

~~11/41.08-1-37
GLUBERMAN KAREN
47 WATERS EDGE
CONGERS, NY 10920~~

~~11/41.08-1-44.1
JAY COURT HOLDINGS LLC
6 JAY CT
MONSEY, NY 10952~~

11/41.12-1-12.1
SILBER CHANANIA & SHAINDY
40 SKYLINE TERRACE
WESLEY HILLS, NY 10977

~~11/41.08-1-47.4
ETCHORN AHARON S &
RIFKI
5 PLUMBUSH ROAD
SUFFERN, NY 10901~~

~~11/41.08-1-47.3
BRODIE DONI J & LEAH
7 SOUNDVIEW DR
SPRING VALLEY, NY 10977~~

11/41.08-1-47.2
SCHWARTZ ARON Z &
LICHTENSTEIN RACHELLE
4 ROCHELLE LANE
WESLEY HILLS, NY 10977

11/41.12-1-12.2
STEINFELD GOLDA &
ISAAC
141 EAST WILLOW TREE ROAD
MONSEY, NY 10952

11/41.12-1-4
HAGER LIPA
2 DEERWOOD RD
SPRING VALLEY, NY 10977

~~11/41.12-1-21
5 SKYLINE TERRACE LLC
1 SKYLINE TERR
SPRING VALLEY, NY 10977~~

~~11/41.12-1-14
NITZLICH AHARON & BAILA
11 RAINBOW CT
SPRING VALLEY, NY 10977~~

~~11/41.12-1-13
WEISS SHIMON
36 SKYLINE TERRACE
SPRING VALLEY, NY 10977~~

~~11/41.12-2-63
ZELMANOVIC DAVID & ELAINE
4 MARK DR
SPRING VALLEY, NY 10977~~

~~11/41.08-1-45
EAST WILLOW TREE LLC
36TH FLOOR
225 BROADWAY
NEW YORK, NY 10007~~

~~11/41.12-2-60
SARFATY ELIAHU
1 NO SHERRI LN
SPRING VALLEY, NY 10977~~

~~11/41.12-1-33
ELKOBI MORDCHAI & DONA
1 MARCUS DR
MONSEY, NY 10952~~

~~11/41.12-1-32
SKOVRONSKY MANDEL &
RATZI
17 VILLAGE GREEN
MONSEY, NY 10952~~

~~11/41.12-1-19
LERER DANIEL & RIVKA
2 SKYLINE TERR
WESLEY HILLS, NY 10977~~

~~11/41.12-1-18
GELBEIN ADAM & JUDITH
6 SKYLINE TERR
SPRING VALLEY, NY 10977~~

~~11/41.12-1-17
SCHWARTZ HENRY & SILA
10 SKYLINE TERR
SPRING VALLEY, NY 10977~~

~~11/41.12-1-16
16 SKYLINE TERRACE LLC
16 SKYLINE TERR
WESLEY HILLS, NY 10977~~

~~11/41.12-1-15
KAIMAN MARK & ERICA
12 RAINBOW CT
SPRING VALLEY, NY 10977~~

~~11/41.12-1-22
TRUST UNDER THE SEVENTH
WILL OF HIRSCH NATHAN
95 LAWERENCE AVE
BROOKLYN, NY 11230~~

~~11/41.12-1-20
HANDLER ASHER
PO BOX 580
LAKEWOOD, NJ 08701~~

~~11/41.12-1-23
LOEB HOUSE INC
1 BLUE HILL PLAZA
P O BOX 1648
PEARL RIVER, NY 10965~~

~~11/41.12-1-24
VERICKER CAROL A & NEGRON
CARMEN Y
23 SKYLINE TERR
SPRING VALLEY, NY 10977~~

~~11/41.12-1-25
BREUER RUBIN
29 SKYLINE TERR
SPRING VALLEY, NY 10977~~

~~11/41.12-2-61
3 MARK DR LLC
PO BOX 580
LAKEWOOD, NJ 08701~~

~~11/41.12-2-1
TAMROR JACOB
2 MARK DRIVE
SPRING VALLEY, NY 10977~~

~~11/41.12-2-62
BARKHORDAR SIAMAK & SOROH
T
1907 PREUSS RD
LOS ANGELES, CA 90034~~

~~11/41.12-1-5
STEFANSKY AARON & FAY
DINAH
91 WILLOW TREE RD E
SPRING VALLEY, NY 10977~~

~~11/41.12-1-6
97 E WILLOW TREE ROAD LLC
97 E WILLOW TREE RD
SPRING VALLEY, NY 10977-101~~

~~11/41.12-1-7
103 E WILLOW TREE ROAD
LLC & HANDLER ASHER
103 E WILLOW TREE RD
SPRING VALLEY, NY 10977~~

~~11/41.12-1-8
109 E WILLOW TREE
ROAD LLC
C/O HANDLER ASHER
109 E WILLOW TREE RD
SPRING VALLEY, NY 10977~~

~~11/41.12-1-9
SELTZER PAUL & DEVORAH
115 E WILLOW TREE RD
SPRING VALLEY, NY 10977~~

~~11/41.12-1-10
ZWIEBEL MORDECHAI LEIB &
LANDAU FRIEDA
123 E WILLOW TREE RD
SPRING VALLEY, NY 10977~~

~~11/41.12-1-11
APPLE SPRINGS LLC
318 AVENUE M
BROOKLYN, NY 11230~~

~~11/41.12-1-12.2
STEINFELD GOLDA &
ISAAC
141 EAST WILLOW TREE ROAD
MONSEY, NY 10952~~

ALL DUPES

~~11/41.12-1-4
HAGER LITA
2 DEERWOOD RD
SPRING VALLEY, NY 10977~~

~~11/41.08-2-58.1
WILLOW TREE MNGT LLC
241 VIOLA RD
MONSEY, NY 10952~~

~~11/41.12-1-3
ASH ROCHEL & URIEL
96 WILLOW TREE RD E
SPRING VALLEY, NY 10977~~

~~11/41.12-1-2
WEINSTEIN DAVID & SABRINA
LEGACY TRUST
102 E WILLOW TREE RD
WESLEY HILLS, NY 10977~~

~~11/41.12-1-1
WEISZ MORDECHAI &
LOWY RACHEL
1 MARISA DR
SPRING VALLEY, NY 10977~~

~~11/41.08-2-57
GRUBER DAVID
4 DEERWOOD RD
SPRING VALLEY, NY 10977~~

~~11/41.08-2-58.2
WILLOW TREE MNGT LLC
241 VIOLA RD
MONSEY, NY 10952~~

~~11/41.08-1-43
BEREN JONATHAN & DENISE
3 DEERWOOD RD
SPRING VALLEY, NY 10977~~

~~11/41.08-1-50.1
GUTWEIN TUVIA
& SPITZER FRADY
11 N RIGAUD RD
SPRING VALLEY, NY 10977~~

~~11/41.08-1-59
AKKERMAN ANATOLY &
SUSANNA
3 MARISA DR
SPRING VALLEY, NY 10977~~

~~11/41.08-1-42
BENISZ MARK & ELIZABETH
5 DEERWOOD RD
SPRING VALLEY, NY 10977~~

~~11/41.08-2-56
HOOK JONATHAN & NAOMI
6 DEERWOOD RD
WESLEY HILLS, NY 10977~~

~~11/41.08-2-58.3
BRAUNSTEIN SHALOM &
ELIANA
5 ROCHELLE LA
SPRING VALLEY, NY 10977~~

~~11/41.08-2-55
LOEBENBERG LEGACY TRUST
8 DEERWOOD RD
SPRING VALLEY, NY 10977~~

~~11/41.08-1-58
STEEN FRANKLIN & PAULA
IRREVOCABLE TRUST L/E
5 MARISA DR
SPRING VALLEY, NY 10977~~

~~11/41.08-1-50.2
BARKO ALEKSEY & ANNA
6 MARISA DR
SPRING VALLEY, NY 10977~~

~~11/41.08-1-41
ENGELSTEIN YARON
7 DEERWOOD RD
SPRING VALLEY, NY 10977~~

~~11/41.08-1-47.5
ABRAHAM YISHE & ZELDA
132 WILLOW TREE RD E
SPRING VALLEY, NY 10977~~

~~11/41.08-2-54
GREENWALD MOISHE &
NICOLE A
10 DEERWOOD RD
SPRING VALLEY, NY 10977~~

~~11/41.08-2-58.5
GRUBER BRENDA
9 ROCHELLE LANE
SPRING VALLEY, NY 10977~~

~~11/41.08-2-58.4
ZUPNIK JOSEPH & ELISA
7 ROCHELLE LA
SPRING VALLEY, NY 10977~~

~~11/41.08-1-57
KLEIN ESTHER & JACOB
7 MARISA DR
WESLEY HILLS, NY 10977~~

~~11/41.08-1-44.2
JAY COURT HOLDINGS LLC
6 JAY COURT
MONSEY, NY 10952~~

~~11/41.08-1-46
SCHECTER EDUARDO
& LEOPOLD MARICA
120 WILLOW TREE RD E
SPRING VALLEY, NY 10977~~

~~11/41.08-1-47.1
AHAVAT YISRAEL OF
WESLEY HILLS
126 E WILLOW TREE
WESLEY HILLS, NY 10977~~

~~11/41.08-1-40
MAKOWSKY FRADY & ABRAHAM
9 DEERWOOD RD
SPRING VALLEY, NY 10977~~

~~11/41.08-2-53
KURTZ SETH & CHAYA
REVOCABLE TRUST
12 DEERWOOD RD
SPRING VALLEY, NY 10977~~

~~11/41.08-1-56
CIBORSKI THOMAS F &
REBECCA T
11 PEARL DR
MONSEY, NY 10952~~

~~11/41.08-2-49
STERN KOAV & GILAH
18 CHARLOTTE DR
SPRING VALLEY, NY 10977~~

~~11/41.08-1-34
JAY COURT HOLDINGS LLC
6 JAY COURT
MONSEY, NY 10952~~

106 EWT RD
264 5/25

ALL DUPE S

~~11/41.08-1-33
ROSENBERG SUSAN
1 CHARLOTTE DR
SPRING VALLEY, NY 10977~~

~~11/41.08-2-50
CONG ATERES ROSH INC
16 CHARLOTTE DR
SPRING VALLEY, NY 10977~~

~~11/41.08-1-39
TAUB SAMUEL & GITY
1363 EAST 31ST
BROOKLYN, NY 11210~~

~~11/41.08-2-51
COHN HENOKH & MIRJAM
14 CHARLOTTE DR
SPRING VALLEY, NY 10977~~

~~11/41.08-1-50.3
KAMINETZKY JEFFREY &
SPIVAK CHERYL
8 MARISA DR
SPRING VALLEY, NY 10977~~

~~11/41.08-2-52
POLLAK STUART & ESTHER
14 DEERWOOD RD
SPRING VALLEY, NY 10977~~

~~11/41.08-1-55
BIRNBAUM FAMILY RUTH WANG
REVOCABLE TRUST
9 MARISA DR
SPRING VALLEY, NY 10977~~

~~11/41.08-1-35
SPIRA ABRAHAM & TZIPORA
4 CHARLOTTE DR
SPRING VALLEY, NY 10977~~

~~11/41.08-1-38
BOOK SAMUEL &
ZICHERMAN-BOOK ZIPORA
15 DEERWOOD RD
SPRING VALLEY, NY 10977~~

~~11/41.08-1-32
ABRAMS SHEILA REVOCABLE
LIVING TRUST
3 CHARLOTTE DR
SPRING VALLEY, NY 10977~~

~~11/41.08-2-11
KLEIN ALAN D &
ELANA C
19 CHARLOTTE DR
SPRING VALLEY, NY 10977~~

~~11/41.08-1-37
GLUBERMAN KAREN
47 WAATERS EDGE
CONGERS, NY 10920~~

~~11/41.08-1-51
WANOUNOU DAVID & SHOSHANA
12 MARISA DR
SPRING VALLEY, NY 10977~~

~~11/41.08-2-10
POLLACK MENACHEM M & JUDY
17 CHARLOTTE DR
SPRING VALLEY, NY 10977~~

~~11/41.08-1-36
ROSENBERG MOSHE
16 RYAN RD
EDISON, NJ 08817~~

~~11/41.08-1-26
MULLER ISAAC & MICHELLE
17 DEERWOOD RD
SPRING VALLEY, NY 10977~~

~~11/41.08-1-54
BEN-JACOB JACOB &
MARION TRUST
11 MARISA DR
SPRING VALLEY, NY 10977~~

~~11/41.08-1-31
PEPPER ZELDA TRUST THE
5 CHARLOTTE DR
SPRING VALLEY, NY 10977~~

~~11/41.08-2-12
7 BRUCK COURT LLC
C/O GARFINKEL
10 WILSON CT
SPRING VALLEY, NY 10977~~

~~11/41.08-2-9
WOLF DAVID & SHOSHONA
20 DEERWOOD RD
SPRING VALLEY, NY 10977~~

~~11/41.08-1-52
SHATKIN JASON A &
DEBORAH M
17 MARISA DRIVE
SPRING VALLEY, NY 10977~~

~~11/41.08-1-25
DEERWOOD TRUST
5 FIELDCREST DR
MONSEY, NY 10952~~

~~11/41.08-1-27
PERKOWSKI JOEL & MIRIAM
13 CHARLOTTE DR
SPRING VALLEY, NY 10977~~

~~11/41.08-1-28
DAVIDSON NICHOLAS &
JENNIFER
11 CHARLOTTE DR
SPRING VALLEY, NY 10977~~

~~11/41.08-1-29
9 CHARLOTTE DR LLC
1036 EAST 3RD ST
BROOKLYN, NY 11230~~

~~11/41.08-1-30
GREENFIELD JOSEPH &
BARUCHOV JORDANA
3 TOBEY LA
MONSEY, NY 10952~~

~~11/41.08-1-24
HASSAN ISAAC MICHAEL &
ELAHE
21 DEERWOOD RD
SPRING VALLEY, NY 10977~~

~~11/41.08-1-15
JOSEPH XUE LI SUN
21 HILLSIDE CT
SUFFERN, NY 10901~~

~~11/41.08-1-16
SCHUH ADAM & JENNAH
23 HILLSIDE CT
SUFFERN, NY 10901~~

106 EWING RD
6125

~~11/41.08-1-7
EISENBERG GEDALYAH &
IRENE
17 HILLSIDE CT
SUFFERN, NY 10901~~

~~11/41.08-1-44.1
JAY COURT HOLDINGS LLC
6 JAY CT
MONSEY, NY 10952~~

~~11/41.08-1-47.4
EICHORN AHARON S &
RIFKI
5 PLUMBUSH ROAD
SUFFERN, NY 10901~~

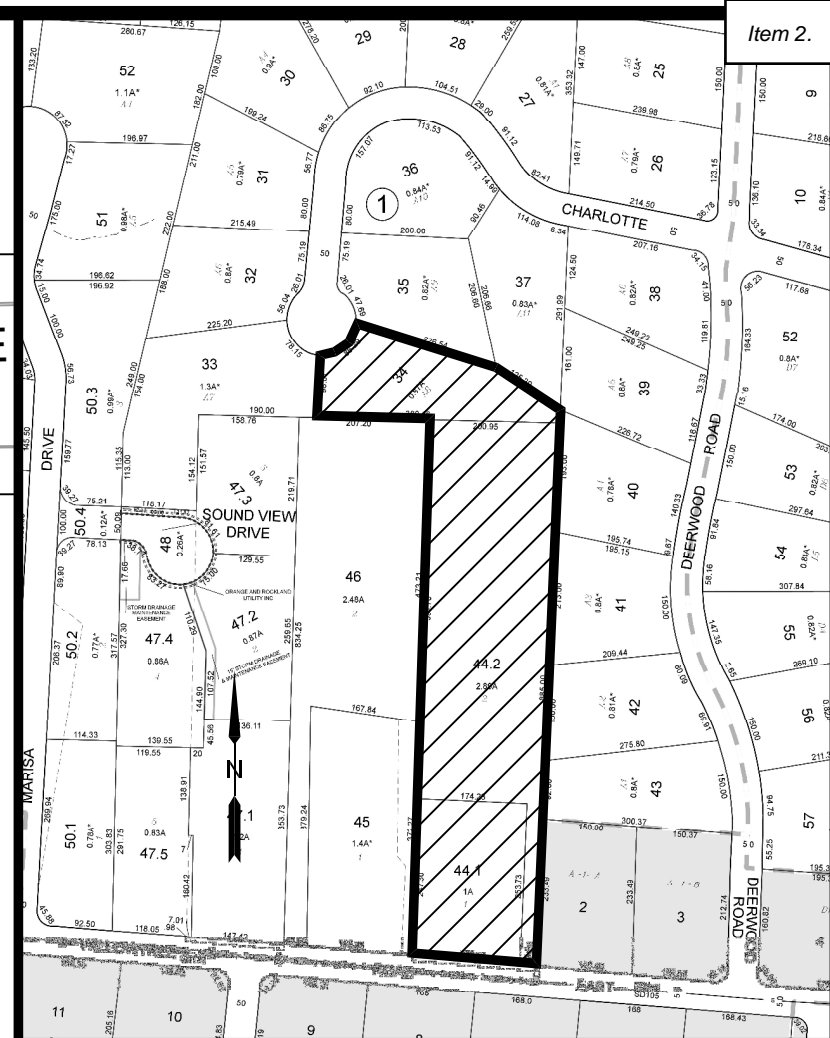
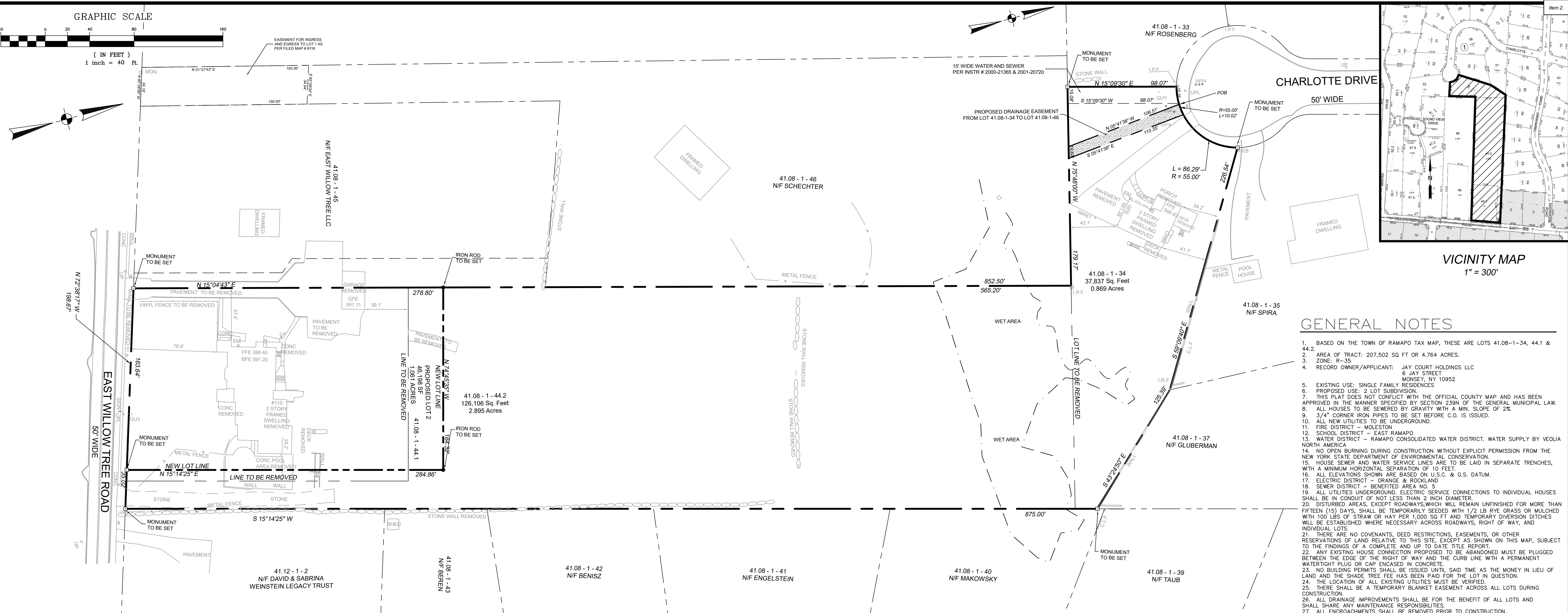
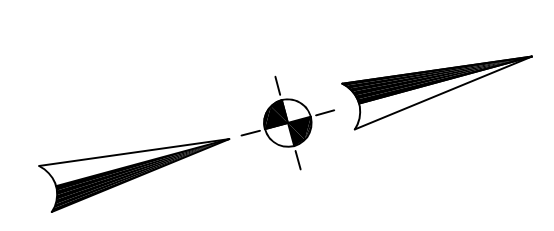
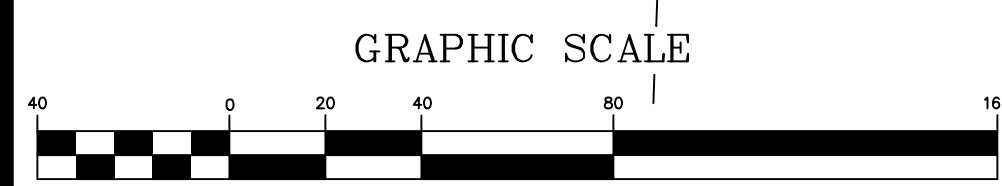
~~11/41.08-1-47.3
BRODIE DONI J & LEAH
7 SOUNDVIEW DR
SPRING VALLEY, NY 10977~~

~~11/41.08-1-47.2
SCHWARTZ ARON Z &
LICHTENSTEIN RACHELLE
4 ROCHELLE LANE
WESLEY HILLS, NY 10977~~

11/41.08-2-8
REICHNER KENNETH J &
HORWITZ LYNN D
22 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.12-2-2
CONG SHAAR HASHAMAYIM
% J. EISENREICH
71 E WILLOW TREE RD
WESLEY HILLS, NY 10977

106 EWT RD.
484 \$125



GENERAL NOTES

1. BASED ON THE TOWN OF RAMAPO TAX MAP, THESE ARE LOTS 41.08-1-34, 44.1 & 44.2.
2. AREA OF TRACT: 207,502 SQ FT OR 4.764 ACRES.
3. ZONE: R-35
4. RECORD OWNER/APPLICANT: JAY COURT HOLDINGS LLC
6 JAY STREET
MONSEY, NY 10952
5. EXISTING USE: SINGLE FAMILY RESIDENCES
6. PROPOSED USE: 2 LOT SUBDIVISION
7. THIS PLAT DOES NOT CONFLICT WITH THE OFFICIAL COUNTY MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239N OF THE GENERAL MUNICIPAL LAW.
8. ALL HOUSES TO BE SEWERED BY GRAVITY WITH A MIN. SLOPE OF 2%.
9. 3/4" CORNER IRON PIPES TO BE SET BEFORE C.O. IS ISSUED.
10. ALL NEW UTILITIES TO BE UNDERGROUND.
11. FIRE DISTRICT - MOLESTON
12. SCHOOL DISTRICT - EAST RAMAPO
13. WATER DISTRICT - RAMAPO CONSOLIDATED WATER DISTRICT. WATER SUPPLY BY VEOLIA NORTH AMERICA
14. NO OPEN BURNING DURING CONSTRUCTION WITHOUT EXPLICIT PERMISSION FROM THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
15. HOUSE SEWER AND WATER SERVICE LINES ARE TO BE LAID IN SEPARATE TRENCHES, WITH A MINIMUM HORIZONTAL SEPARATION OF 10 FEET.
16. ALL ELEVATIONS SHOWN ARE BASED ON U.S.C. & G.S. DATUM.
17. ELECTRIC DISTRICT - ORANGE & ROCKLAND
18. SEWER DISTRICT - BENEFITED AREA NO. 5
19. ALL UTILITIES UNDERGROUND. ELECTRIC SERVICE CONNECTIONS TO INDIVIDUAL HOUSES SHALL BE IN CONDUIT OF NOT LESS THAN 2 INCH DIAMETER.
20. DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFINISHED FOR MORE THAN FIFTEEN (15) DAYS, SHALL BE TEMPORARILY SEEDDED WITH 1/2 LB RYE GRASS OR MULCHED WITH 100 LBS OF STRAW OR HAY PER 1,000 SQ FT AND TEMPORARY DIVERSION DITCHES WILL BE ESTABLISHED WHERE NECESSARY ACROSS ROADWAYS, RIGHT OF WAY, AND INDIVIDUAL LOTS.
21. THERE ARE NO COVENANTS, DEED RESTRICTIONS, EASEMENTS, OR OTHER RESERVATIONS OF LAND RELATIVE TO THIS SITE, EXCEPT AS SHOWN ON THIS MAP, SUBJECT TO THE FINDINGS OF A COMPLETE AND UP TO DATE TITLE REPORT.
22. ANY EXISTING HOUSE CONNECTION PROPOSED TO BE ABANDONED MUST BE PLUGGED BETWEEN THE EDGE OF THE RIGHT OF WAY AND THE CURB LINE WITH A PERMANENT WATER-TIGHT PLUG OR CAP ENCASED IN CONCRETE.
23. NO BUILDING PERMITS SHALL BE ISSUED UNTIL SAID TIME AS THE MONEY IN LIEU OF LAND AND THE SHADE TREE FEE HAS BEEN PAID FOR THE LOT IN QUESTION.
24. THE LOCATION OF ALL EXISTING UTILITIES MUST BE VERIFIED.
25. THERE SHALL BE A TEMPORARY BLANKET EASEMENT ACROSS ALL LOTS DURING CONSTRUCTION.
26. ALL DRAINAGE IMPROVEMENTS SHALL BE FOR THE BENEFIT OF ALL LOTS AND SHALL SHARE ANY MAINTENANCE RESPONSIBILITIES.
27. ALL ENCROACHMENTS SHALL BE REMOVED PRIOR TO CONSTRUCTION.
28. IN ACCORDANCE WITH THE ROCKLAND COUNTY SANITARY CODE, SEDIMENT AND EROSION CONTROL SHALL BE IMPLEMENTED, WHERE AND WHEN NEEDED IN CONFORMANCE TO THE RECOMMENDATIONS OF THE ROCKLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT.
29. NO BUILDING PERMITS WILL BE ISSUED UNTIL SUCH TIME AS THE EROSION CONTROL MEASURES REQUIRED AS PART OF THE EROSION CONTROL PLAN ARE INSTALLED WORKS.
30. ANY EXISTING ABOVEGROUND UTILITIES MUST BE REMOVED AND PLACED UNDERGROUND.
31. ALL WORK WITHIN THE TOWN RIGHT-OF-WAY SHALL BE COMPLETED IN ACCORDANCE WITH TOWN OF RAMAPO STANDARDS AND SPECIFICATIONS.
32. ALL RETAINING WALLS GREATER THAN 4 FEET IN HEIGHT MUST BE DESIGNED BY A PROFESSIONAL ENGINEER IN THE STATE OF NEW YORK.
33. PLANS ARE BASED ON FIELD ENGINEERING DATA AND CERTIFIED HERETO BY:

Bulk Requirements: R-35 Single Family Residence

	Min Lot Area	Min Lot Frontage Charlotte Drive	Min Lot Frontage Willow Tree Road	Min Lot Width	Min Effective Square	Min Front Yard Willow Tree Road	Min Front Yard Charlotte Drive	Min Side Yard	Min Total Side Yard	Min Rear Yard	Max Impervious Surface Ratio	Max Front Yard Impervious Surface Ratio Willow Tree Road	Max Front Yard Impervious Surface Ratio Charlotte Road	Max Building Coverage	Max Building Height	Max Exposed Building Height
Required	35,000 SF	100 FT	100 FT	125 FT / 75 FT cul-de-sac	125 FT	50 FT	50 FT	25 FT	60 FT	50 FT	0.25	0.2	0.2	0.1	2.5 stories / 25 FT	40 FT
Proposed Lot 1	161,304 SF	86 FT	35 FT	138 FT	138 FT	244 FT	356 FT	50 FT	N/A	66 FT	0.17	0.16	0.09	<25 FT	<40 FT	<40 FT
Proposed Lot 2	46,198 SF	N/A	163 FT	163 FT	125 FT	50 FT	N/A	35 FT	84 FT	166 FT	0.19	0.11	N/A	0.074	<25 FT	<40 FT

Bulk Requirements: R-35 Single Family Residence

	Min Lot Area	Min Lot Frontage	Min Lot Width	Min Effective Square	Min Front Yard	Min Side Yard	Min Total Side Yard	Min Rear Yard	Max Impervious Surface Ratio	Max Front Yard Impervious Surface Ratio	Max Building Coverage	Max Building Height	Max Exposed Building Height
Required	35,000 SF	100 FT	125 FT / 75 FT cul-de-sac	125 FT	50 FT	25 FT	60 FT	50 FT	0.25	0.2	0.1	2.5 stories / 25 FT	40 FT
Existing Lot 44.1	43,558 SF	174 FT	174 FT	125 FT	76.9 FT	0 FT	24.2 FT	39.1 FT	0.27	0.05	0.11	2 Stories	<40 FT
Existing Lot 44.2	126,106 SF	25 FT	199 FT	125 FT	N/A	N/A	N/A	N/A	0.003	N/A	N/A	N/A	N/A
Existing Lot 34	37,837 SF	86 FT	138 FT	125 FT	65.1 FT	34.2 FT	135.7 FT	42.1 FT	0.13	0.1	0.04	2 Stories	<40 FT

REFERENCES

1. BEING SECTION 41.08, BLOCK 1, LOTS 34, 44.1 & 44.2 OF THE VILLAGE OF WESLEY HILLS AND TOWN OF RAMAPO TAX MAPPING.
2. LOT 34 DESCRIBED BY DEED IN INSTRUMENT NO. 2021 AT PAGE 40444 AT THE ROCKLAND COUNTY CLERKS OFFICE.
3. LOT 44.1 DESCRIBED BY DEED IN INSTRUMENT NO. 2022 AT PAGE 34277 AT THE ROCKLAND COUNTY CLERKS OFFICE.
4. LOT 44.2 DESCRIBED BY DEED IN INSTRUMENT NO. 2020 AT PAGE 26029 AT THE ROCKLAND COUNTY CLERKS OFFICE.
5. LOT 34 BEING LOT 8 IN BLOCK A ON A MAP ENTITLED "MAYFLOWER KNOLLS IN POMONA", FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON JULY 26, 1963 IN BOOK 66 ON PAGE 70 AS MAP NUMBER 3150.
6. LOTS 44.1 & 44.2 BEING LOTS 1 & 2 ON A MAP ENTITLED "SUBDIVISION PLAT FOR MOSKOWITZ", FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON SEPTEMBER 20, 2010 IN BOOK 128 ON PAGE 60 AS MAP NUMBER 8116.
7. REFERRING TO A MAP ENTITLED "SUBDIVISION MAP OF SECTION 2 AND 3 OF RAINBOW RIDGE", FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON NOVEMBER 26, 1962 IN BOOK 65 ON PAGE 47 AS MAP NUMBER 3056.
8. REFERRING TO A MAP ENTITLED "FINAL SUBDIVISION PLAT OF PROPERTY OF FRED & ELIZABETH METZ", FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON JULY 3, 1986 IN BOOK 106 ON PAGE 2 AS MAP NUMBER 5920.
9. TOTAL AREA OF LOT 34 = 37,837 SQUARE FEET OR 0.869 ACRES.
10. TOTAL AREA OF LOT 44.1 = 43,558 SQUARE FEET OR 1.000 ACRES.
11. TOTAL AREA OF LOT 44.2 = 126,106 SQUARE FEET OR 2.895 ACRES.

WE HEREBY CERTIFY THAT THIS SUBDIVISION PLAT WAS PREPARED BY US AND MADE FROM AN ACTUAL SURVEY COMPLETED BY US ON APRIL 24, 2024.

ROCKLAND COUNTY DRAINAGE AGENCY APPROVAL APPROVED FOR FILING _____ CHAIRMAN ROCKLAND COUNTY DRAINAGE AGENCY DATE _____	OWNERS APPROVAL BLOCK APPROVED FOR FILING _____ OWNER OR REPRESENTATIVE DATE _____	APPROVAL BLOCK APPROVED AS FINAL PLAT BY THE VILLAGE OF WESLEY HILLS PLANNING BOARD _____ CHAIRPERSON DATE _____	DATE: 4/29/24
			DRAWN BY: RB/ILT CHKD BY: RB/ILT JOB No. 4354 SCALE: 1"=40' DWG No. 1 OF 2

DATE	ISSUE	DESCRIPTION	REVISIONS
APRIL 29, 2025	REV 6	REV PER COMMENTS	
MARCH 20, 2025	REV 5	REV EASEMENT	
FEBRUARY 14, 2025	REV 4	REV FOR SIGNATURE	
JANUARY 7, 2025	REV 3	REV FOR SIGNATURE	
OCTOBER 25, 2024	REV 2	REV STORMWATER	
SEPTEMBER 23, 2024	REV 1	REV PER COMMENTS	

S.B.L. 41.08 - 1 - 34, 44.1 & 44.2

SUBDIVISION PLAT

FOR

2 CHARLOTTE DRIVE, 110 & 106 EAST WILLOW TREE ROAD

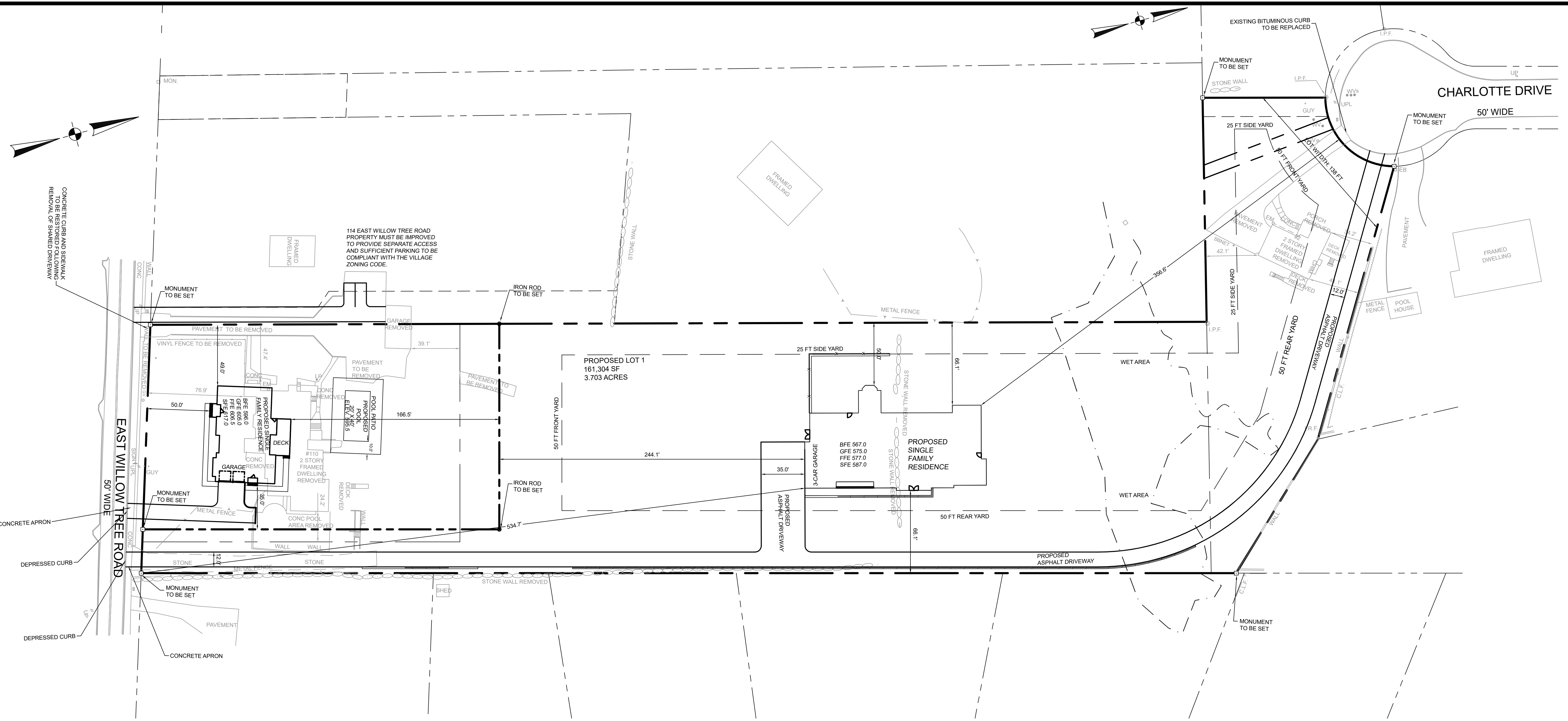
VILLAGE OF WESLEY HILLS - ROCKLAND COUNTY - NEW YORK

CIVIL TEC Engineering & Surveying PC

139 Lafayette Avenue, 2nd Fl. 111 Main Street
Suffern, NY 10901 Chester, NY 10918
P 845.547.2241 - F 845.547.2243 845.610.3621

Civil Engineering & Land Surveying Services that Build Communities
www.Civil-Tec.com

STEPHEN P. DOLSON, P.L.S.
N.Y. Lic. No. 50554



Bulk Requirements: R-35 Single Family Residence

	Min Lot Area	Min Lot Frontage	Min Lot Width	Min Effective Square	Min Front Yard	Min Side Yard	Min Total Side Yard	Min Rear Yard	Max Impervious Surface Ratio	Max Front Yard Impervious Surface Ratio	Max Building Coverage	Max Building Height	Max Exposed Building Height
Required	35,000 SF	100 FT	125 FT / 75 FT cul-de-sac	125 SF	50 FT	25 FT	60 FT	50 FT	0.25	0.2	0.1	2.5 stories / 25 FT	40 FT
Existing Lot 44.1	43,558 SF	174 FT	174 FT	76.9 SF	0 FT	24.2 FT	39.1 FT	0.27	0.11	N/A	N/A	2 Stories	<40 FT
Existing Lot 44.2	126,106 SF	25 FT	199 FT	125 SF	N/A	N/A	N/A	N/A	0.003	N/A	N/A	N/A	N/A
Existing Lot 34	37,837 SF	86 FT	138 FT	125 SF	65.1 FT	34.2 FT	135.7 FT	42.1 FT	0.13	0.1	0.04	2 Stories	<40 FT

Bulk Requirements: R-35 Single Family Residence

	Min Lot Area	Min Lot Frontage Charlotte Drive	Min Lot Frontage Willow Tree Road	Min Lot Width	Min Effective Square	Min Front Yard Willow Tree Road	Min Front Yard Charlotte Drive	Min Side Yard	Min Total Side Yard	Min Rear Yard	Max Impervious Surface Ratio	Max Front Yard Impervious Surface Ratio Willow Tree Road	Max Front Yard Impervious Surface Ratio Charlotte Road	Max Building Coverage	Max Building Height	Max Exposed Building Height
Required	35,000 SF	100 FT	100 FT	125 FT / 75 FT cul-de-sac	125 SF	50 FT	25 FT	25 FT	60 FT	50 FT	0.25	0.2	0.1	2.5 stories / 25 FT	40 FT	
Proposed Lot 1	161,304 SF	86 FT	35 FT	138 FT	125 SF	244 FT	356 FT	50 FT	N/A	66 FT	0.17	0.16	0.05	<25 FT	<40 FT	
Proposed Lot 2	46,198 SF	N/A	163 FT	163 FT	125 SF	50 FT	N/A	35 FT	84 FT	166 FT	0.19	0.11	0.074	<25 FT	<40 FT	

Max Building Coverage Lot 1

Building Coverage	8,819 SF
Total SQFT	161,304 SF
Max Building Coverage	0.05

Max Building Coverage Lot 2

Building Coverage	3,421 SF
Total SF	46,198 SF
Max Building Coverage	0.074

Max Impervious Surface Ratio Lot 1

Building	8,819 SF
Driveway	17,208 SF
Walkway	550 SF
Front Landing + Steps	150 SF
Total Impervious	26,727 SF
Total Lot SF	161,304 SF
Max Impervious Surface Ratio	0.166

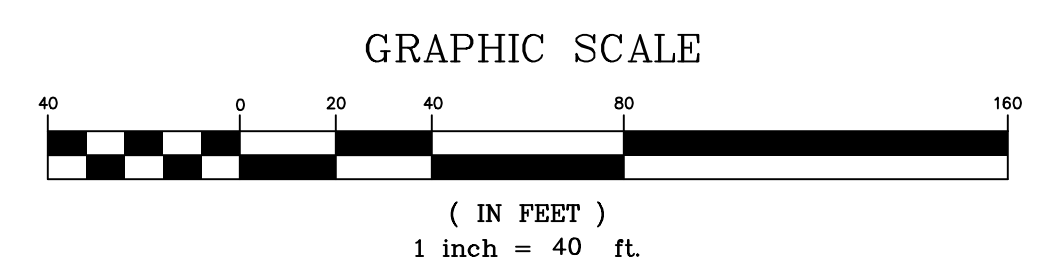
Max Impervious Surface Ratio Lot 2

Building/Decks/Stairs	3,967 SF
Driveway	1,504 SF
Walkways	537 SF
Pool/Pool Patio	2,400 SF
Max Impervious Surface Ratio	0.182

Max Front Yard Impervious Lot 1 (Charlotte Drive)		Max Front Yard Impervious Lot 1 (Willow Tree Road)	
Driveway	6,113 SF	Driveway	9,371 SF
Total Impervious	6,113 SF	Total Impervious	9,371 SF
Total Front Yard	73,980 SF	Total Front Yard	58,729 SF
Front Yard Impervious Surface Ratio	0.063	Front Yard Impervious Surface Ratio	0.160

Max Front Yard Impervious Lot 2

Walkway	265 SF
Driveway	600 SF
Total Impervious	865 SF
Total Front Yard	8186 SF
Front Yard Impervious Surface Ratio	0.106



DATE	ISSUE	DESCRIPTION	REVISIONS
APRIL 29, 2025	REV 6	REV PER COMMENTS	
MARCH 20, 2025	REV 5	REV EASEMENT	
FEBRUARY 14, 2025	REV 4	REV FOR SIGNATURE	
JANUARY 7, 2025	REV 3	REV FOR SIGNATURE	
OCTOBER 25, 2024	REV 2	REV FOR SIGNATURE	
SEPTEMBER 23, 2024	REV 1	REV PER COMMENTS	

LAYOUT PLAN
FOR
2 CHARLOTTE DRIVE, 110 & 106 EAST WILLOW TREE ROAD
VILLAGE OF WESLEY HILLS - ROCKLAND COUNTY - NEW YORK

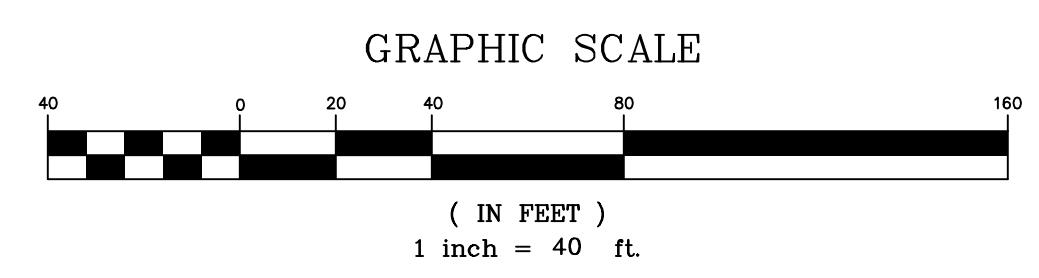
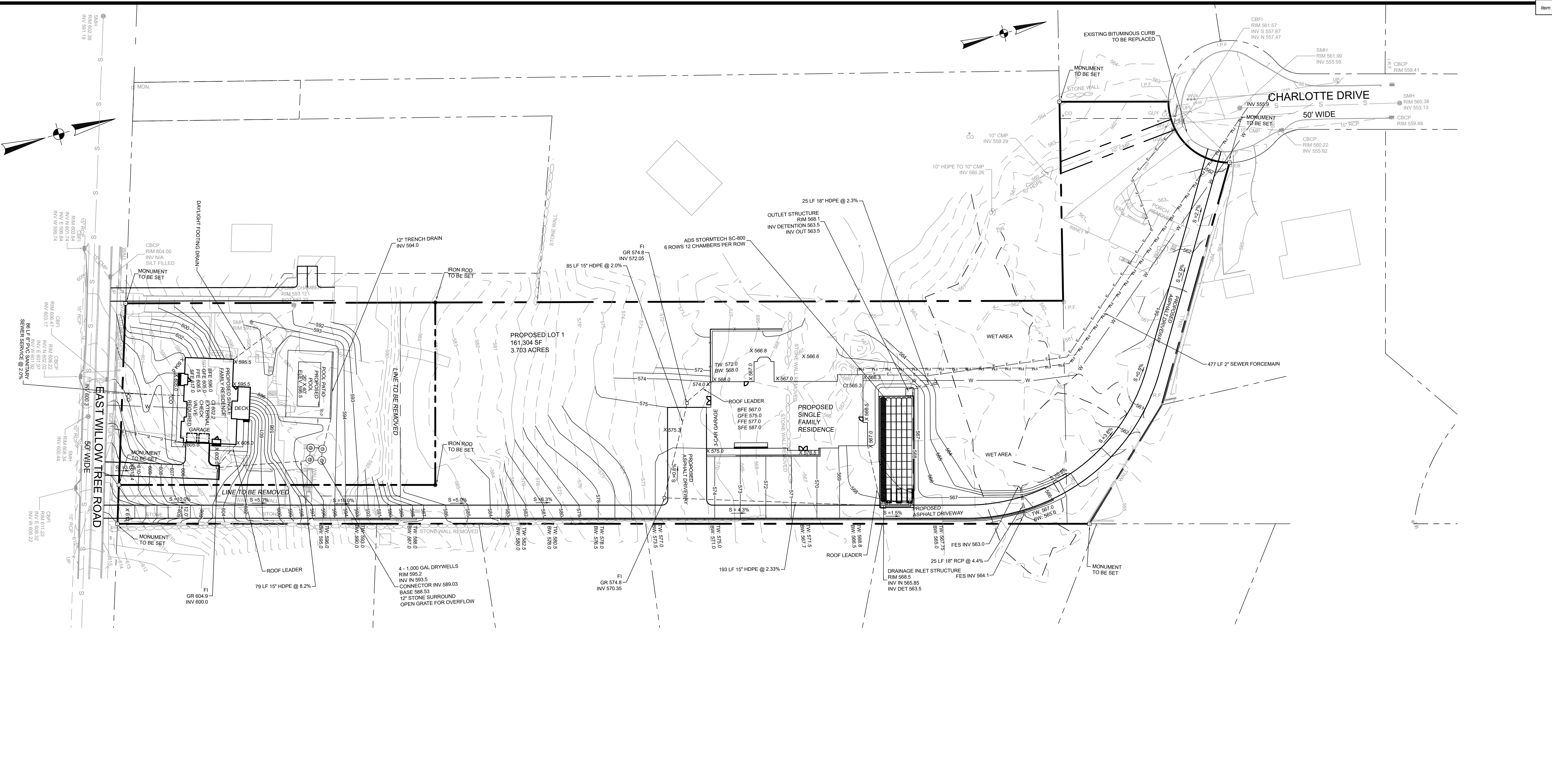
CIVIL TEC Engineering & Surveying PC

139 Lafayette Avenue, 2nd Fl. Suffern, NY 10901
 111 Main Street Chester, NY 10918
 P 845.547.2241 - F 845.547.2243 845.610.3621

Civil Engineering & Land Surveying Services that Build C
 www.Civil-Tec.com

Rachel B. Barese, P.E.
 N.Y. Lic. No. 90143

DATE: 4/29/24
 DRAWN BY: RB/LT
 CHKD BY: RB/LT
 JOB No.: 4354
 SCALE: 1"=40'
 DWG No.: 2 OF 53



TREES TO BE PLANTED ALONG NEW DRIVEWAY EVERY 10 FT O.C. TREES TO BE DECIDUOUS 2 INCH CALIPER OR EVERGREENS 6 FT HEIGHT. DRIVEWAY TO BE CROSS SLOPED TOWARDS THE TREES TO ENSURE RUNOFF IS DIRECTED TO THE TREES.

DATE	ISSUE	DESCRIPTION	REVISIONS
APRIL 29, 2025	REV 6		REV PER COMMENTS
MARCH 20, 2025	REV 5		REV EASEMENT
FEBRUARY 14, 2025	REV 4		REV FOR SIGNATURE
JANUARY 7, 2025	REV 3		REV FOR SIGNATURE
OCTOBER 25, 2024	REV 2		REV FOR SIGNATURE
SEPTEMBER 23, 2024	REV 1		REV PER COMMENTS

S.B.L. 41.08 - 1 - 34, 44.1 & 44.2 GRADING, DRAINAGE & UTILITIES FOR 2 CHARLOTTE DRIVE, 110 & 106 EAST WILLOW TREE ROAD VILLAGE OF WESLEY HILLS - ROCKLAND COUNTY - NEW YORK		DATE: 4/29/24
CIVIL TEC Engineering & Surveying PC 139 Lafayette Avenue, 2nd Fl. Suffern, NY 10901 P 845.547.2241 - F 845.547.2243		DRAWN BY: RB/LT
111 Main Street Chester, NY 10918 845.610.3621 Civil Engineering & Land Surveying Services that Build C www.Civil-Tec.com		CHKD BY: RB/LT
<i>Rachel B. Barese</i> Rachel B. Barese, P.E. N.Y. Lic. No. 90143		JOB No. 4354
		SCALE: 1"=40'
		DWG No. 3 OF 54

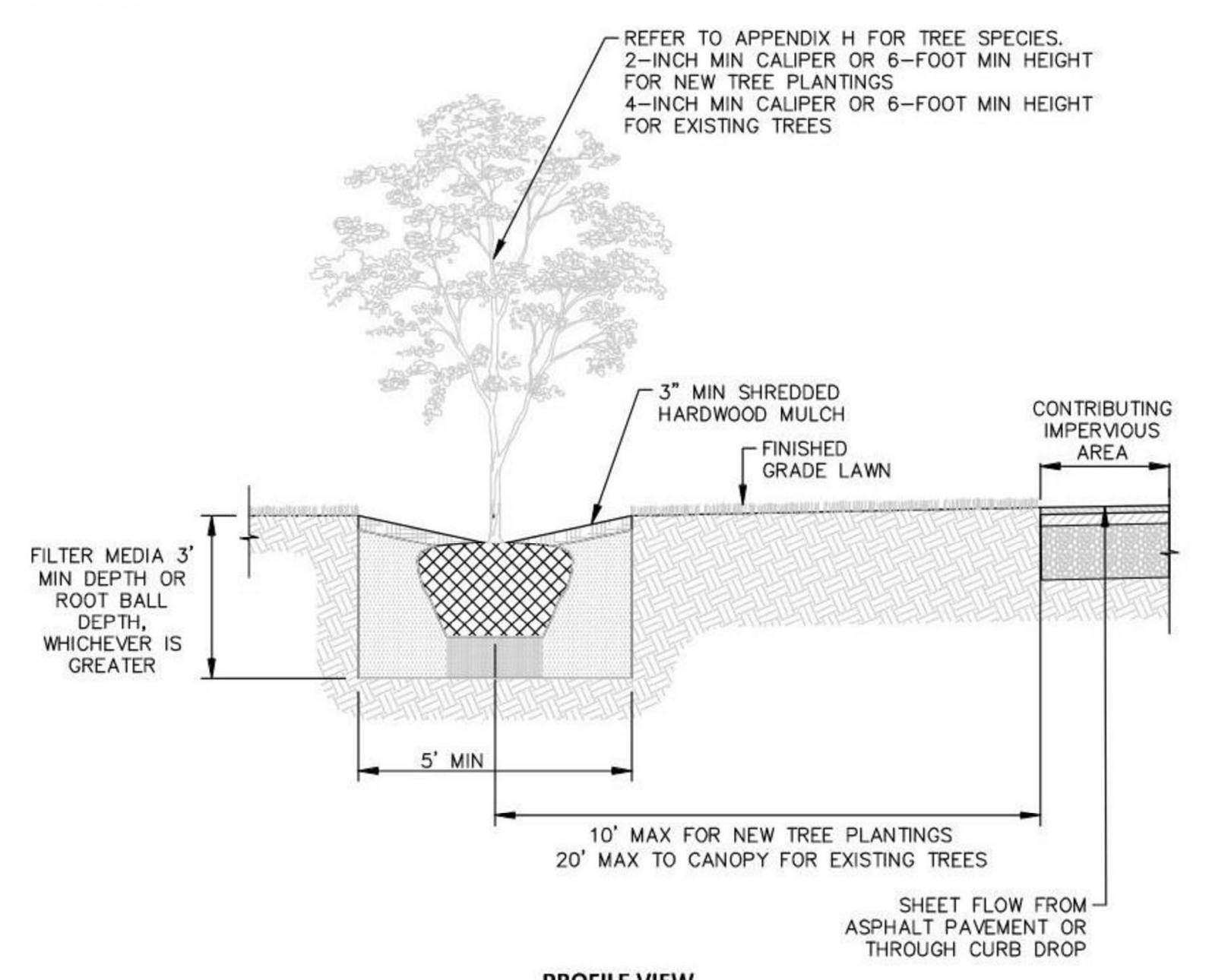
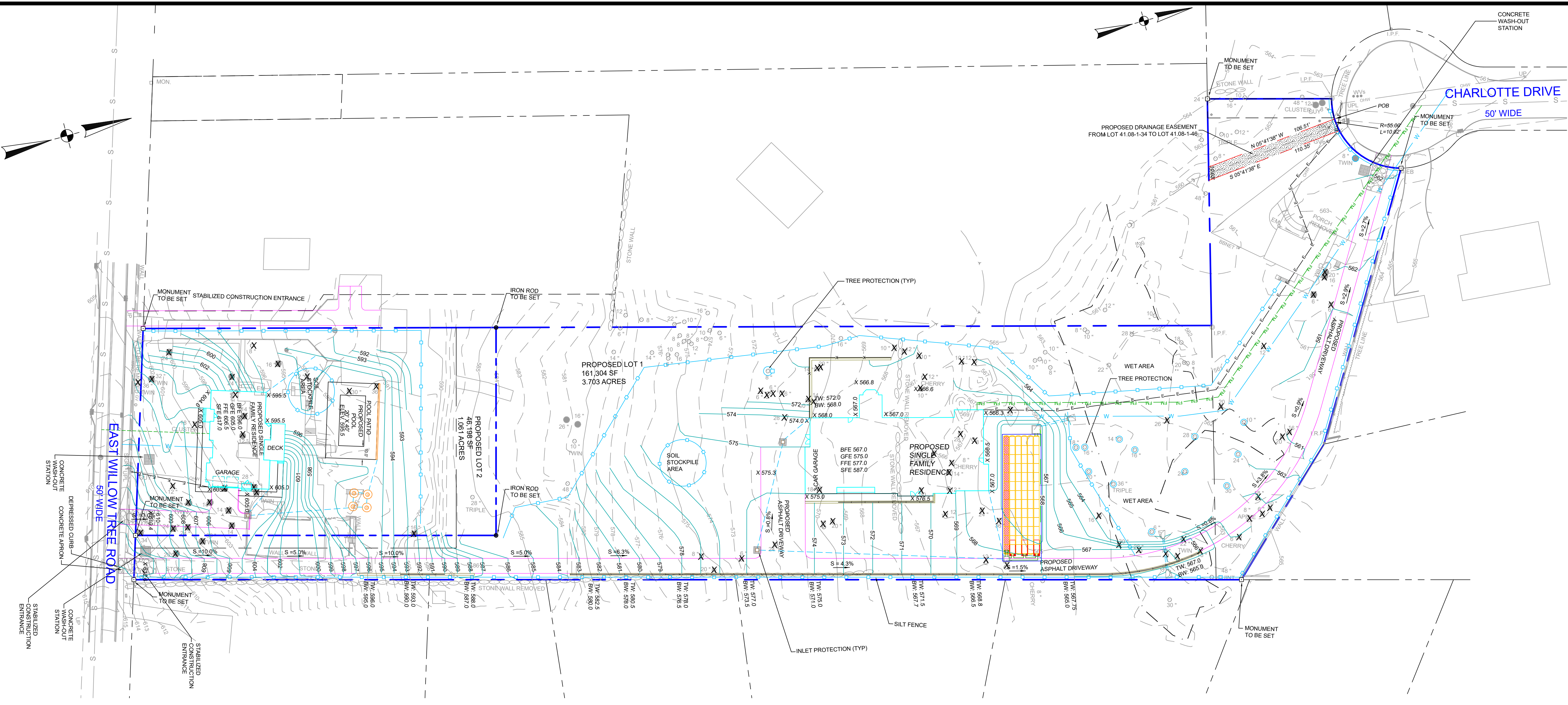


Figure 5.35 Tree Planting (RR-3)

Standard Erosion Control Notes
 An Erosion control system will be utilized by the developer to minimize the production of sediment from the site. Methods to be utilized will be those found most effective for the site and shall include one or more of the following, as applicable:

- 1) Temporary sedimentation entrapment areas shall be provided at key locations to intercept and clarify silt laden runoff from the site. These may be excavated or may be created utilizing earthen berms, rip-rap or crushed stone dams, hay bales, or other suitable materials. Diversion swales, berms, or other channelization shall be constructed to ensure that all silt laden waters are directed into the entrapment areas, which shall not be permitted to fill in, but shall be cleaned periodically during the course of construction. The collected silt shall be deposited in areas safe from further erosion.
- 2) All disturbed areas, except roadways, which will remain unfinished for more than 30 days shall be temporarily seeded with 1/2 lb. of rye grass or mulched with 100 lbs. of straw or hay per 1,000 square feet. Roadways shall be stabilized as rapidly as practicable by the installation of the base course.
- 3) Silt that leaves the site in spite of the required precautions shall be collected and removed as directed by appropriate municipal authorities.
- 4) At the completion of the project, all temporary siltation devices shall be removed.

Standard Landscape Notes

- 1) Mulch all plant beds and trees with a 4" depth of sugar cane or licorice root mulch.
- 2) Stake all trees with 2 cedar stakes, rubber hose around tree (6" above grade) and twisted #10 gauge galvanized wire.
- 3) Plant pits shall be 12" wider and 6" deeper than the root ball. Remove all existing soil and backfill with a mixture of one part peat-humus to 4 parts topsoil. Add 3 year Eeesees grow fertilizer packets (or equal) - 1 per inch of tree caliper or per 12" height of shrub.
- 4) Guarantee all plants and workmanship for two planting seasons.
- 5) All planting shall be placed under the direction of an appropriate licensed design professional. Notify 48 hours prior to planting.
- 6) Provide the Town of Ramapo building inspector with a copy of the State Certificate of Source for all plant material.
- 7) All plant material shall be nursery grown and shall conform to the American Association of Nursery Men's Standards.

TREES TO BE PLANTED ALONG NEW DRIVEWAY EVERY 10 FT O.C. TREES TO BE DECIDUOUS 2 INCH CALIPER OR EVERGREENS 6 FT HEIGHT. DRIVEWAY TO BE CROSS SLOPED TOWARDS THE TREES TO ENSURE RUNOFF IS DIRECTED TO THE TREES.
 ALL DISTURBED AREAS WITHIN THE VILLAGE RIGHT-OF-WAY TO BE RESTORED WITH MINIMUM 4" OF TOPSOIL AND SEED.
 IN AREAS ALONG THE DRIVEWAY WHERE TREES CANNOT BE PLANTED AS SPECIFIED, CURBING SHALL BE INSTALLED TO DIRECT RUNOFF TO TREE PLANTINGS.

DATE	ISSUE	DESCRIPTION	REVISIONS
APRIL 29, 2025	REV 6	REV PER COMMENTS	
MARCH 20, 2025	REV 5	REV EASEMENT	
FEBRUARY 14, 2025	REV 4	REV FOR SIGNATURE	
JANUARY 7, 2025	REV 3	REV FOR SIGNATURE	
OCTOBER 25, 2024	REV 2	REV STORMWATER	
SEPTEMBER 23, 2024	REV 1	REV PER COMMENTS	

S.B.L. 41.08 - 1 - 34, 44.1 & 44.2

EROSION CONTROL PLAN

FOR
 2 CHARLOTTE DRIVE, 110 & 106 EAST WILLOW TREE ROAD
 VILLAGE OF WESLEY HILLS - ROCKLAND COUNTY - NEW YORK

CIVIL TEC Engineering & Surveying PC

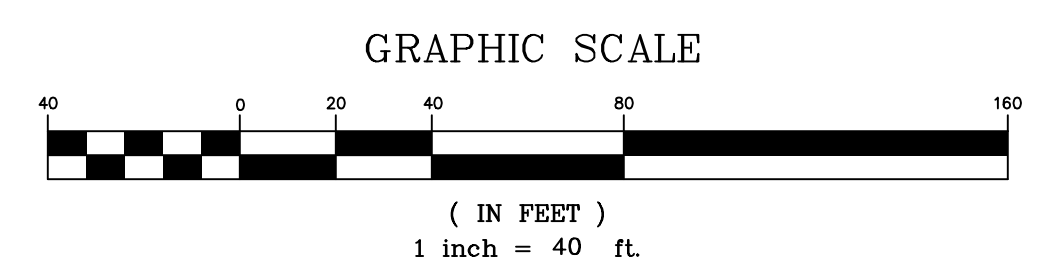
139 Lafayette Avenue, 2nd Fl. Suffern, NY 10901
 P 845.547.2241 - F 845.547.2243

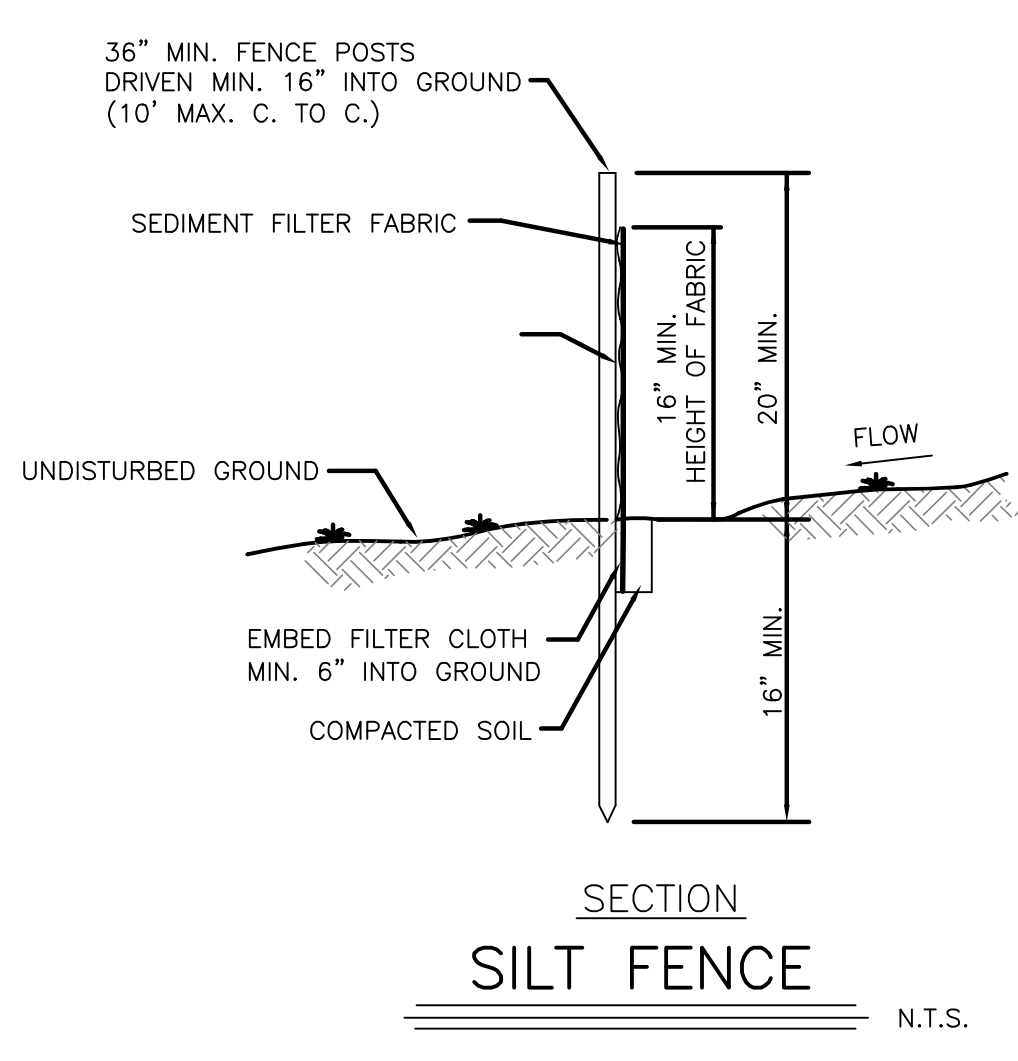
111 Main Street Chester, NY 10918
 845.610.3621

Civil Engineering & Land Surveying Services that Build C
 www.Civil-Tec.com

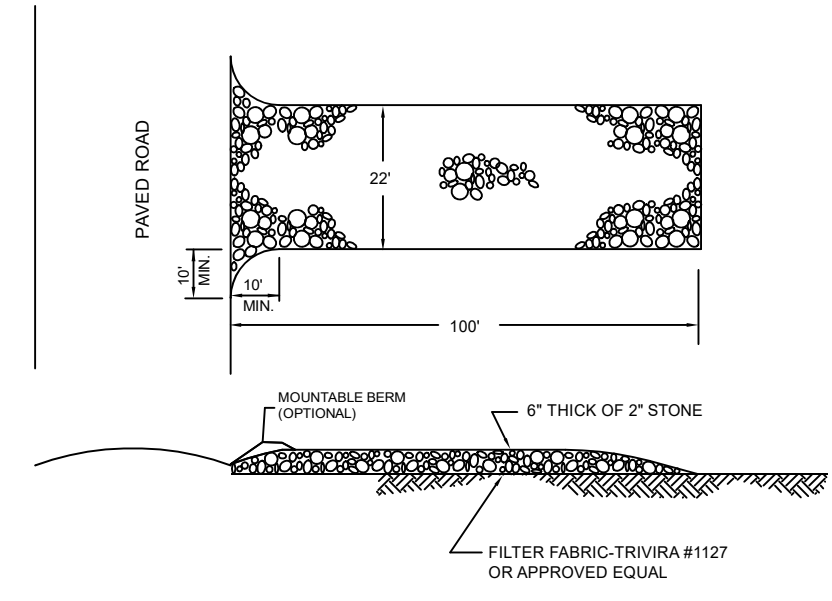
DATE: 4/29/24
 DRAWN BY: RB/LT
 CHKD BY: RB/LT
 JOB No. 4354
 SCALE: 1"=40'
 DWG No. 4 OF 55

Rachel B. Barese, P.E.
 N.Y. Lic. No. 90143

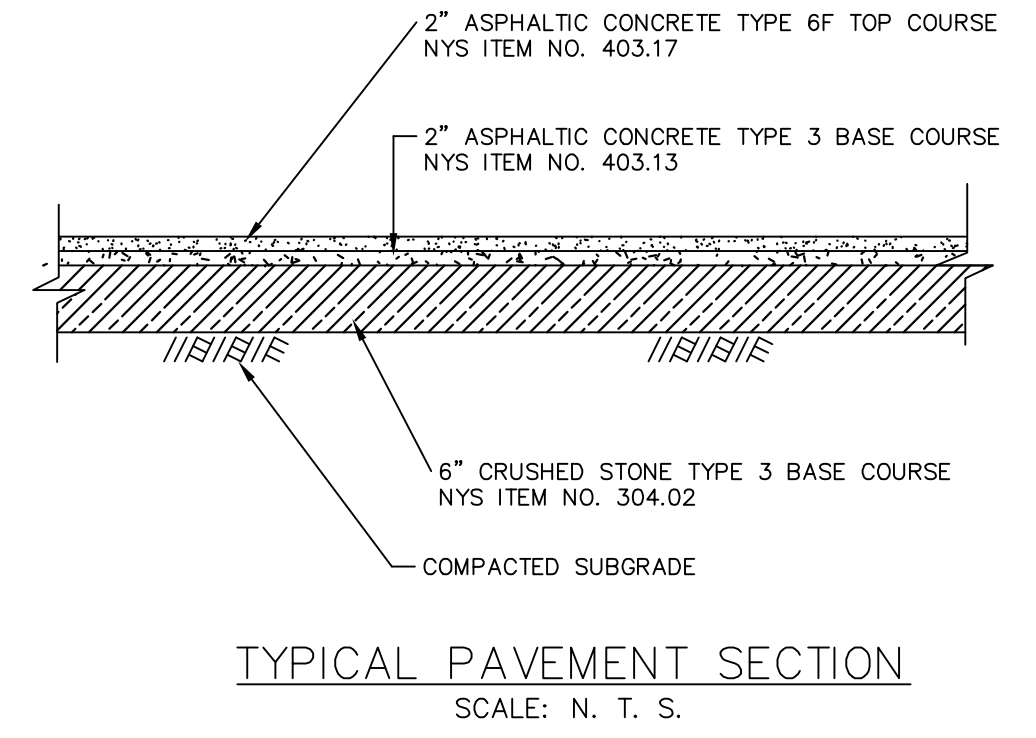




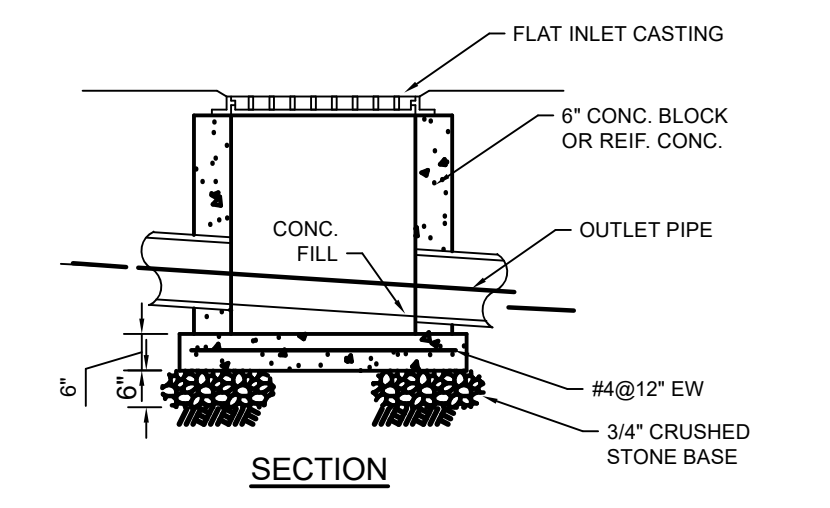
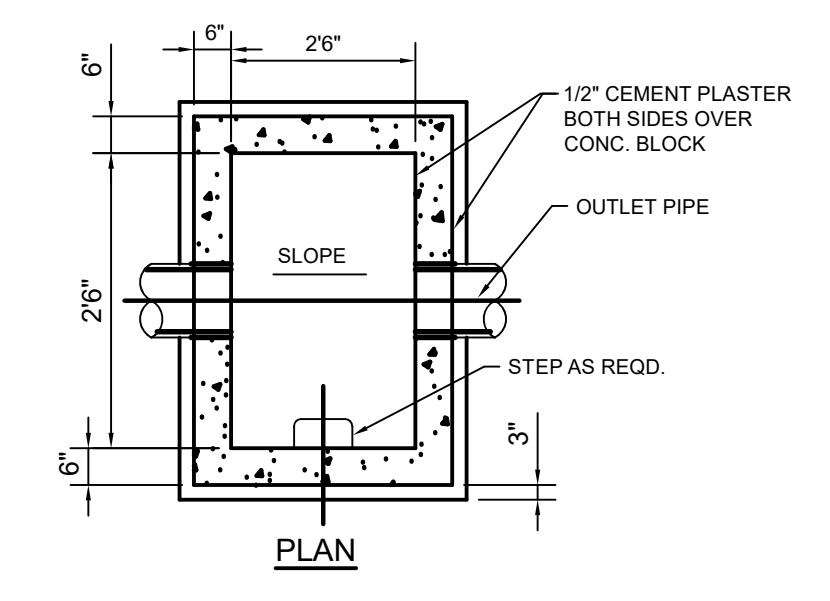
- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN BULGES DEVELOP IN THE SILT FENCE.
 5. POST TO BE STEEL EITHER "T" OR "U" TYPE OR 2" HARDWOOD.
 6. FILTER CLOTH TO BE MIRAFI 100X STABILINKA T140N OR APPROVED EQUAL.
 7. PREFABRICATED UNIT - GEOFAB, ENVIROFENCE OR APPROVED EQUAL.



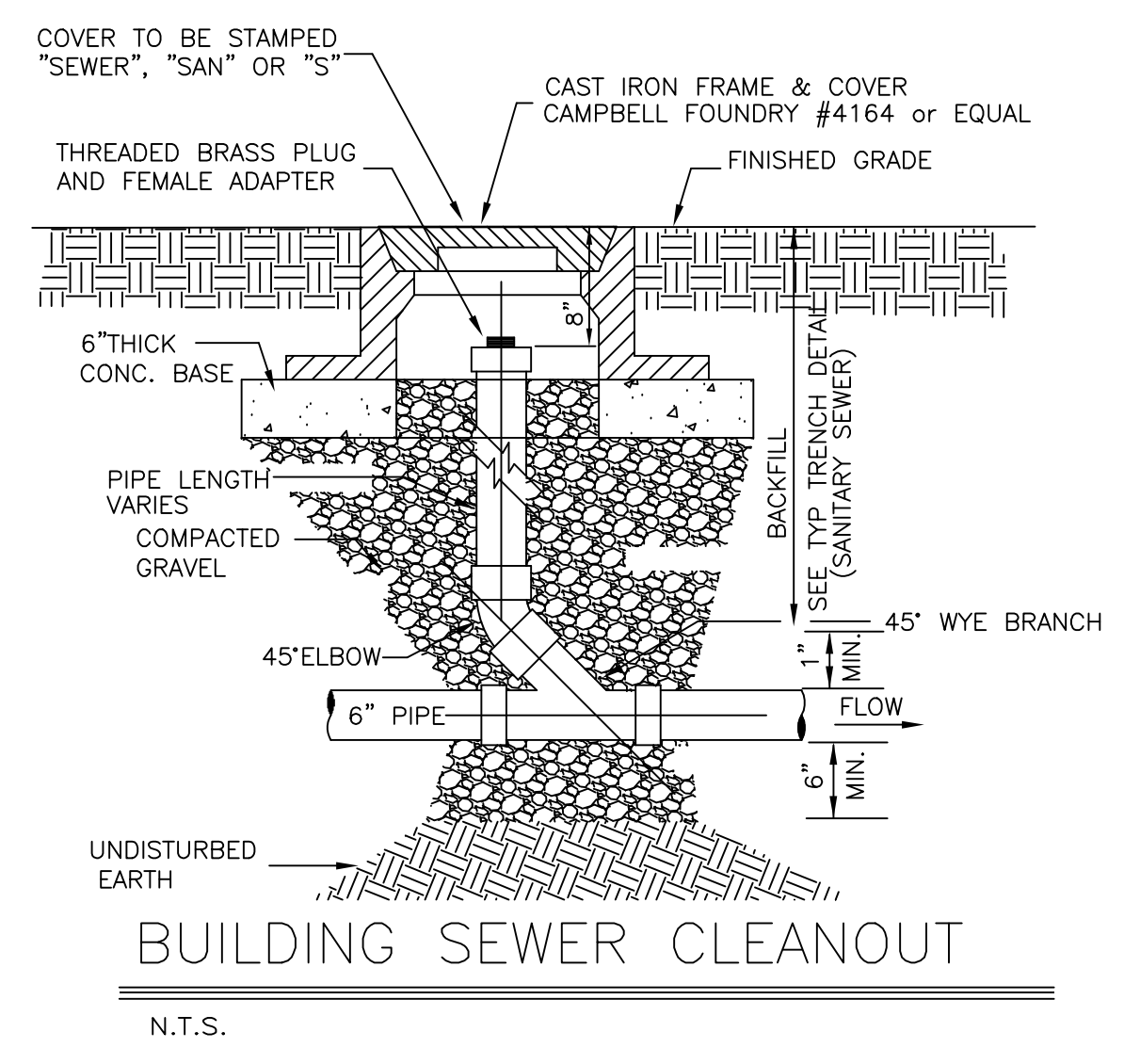
- STABILIZED CONSTRUCTION ENTRANCE**
- CONSTRUCTION SPECIFICATIONS** N.T.S.
1. STONE SIZE - USE 2 INCHES STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 3. THICKNESS - NOT LESS THAN 6 INCHES.
 4. WIDTH - 12 FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS, TWENTY FOUR FEET IF SINGLE ENTRANCE TO SITE.
 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



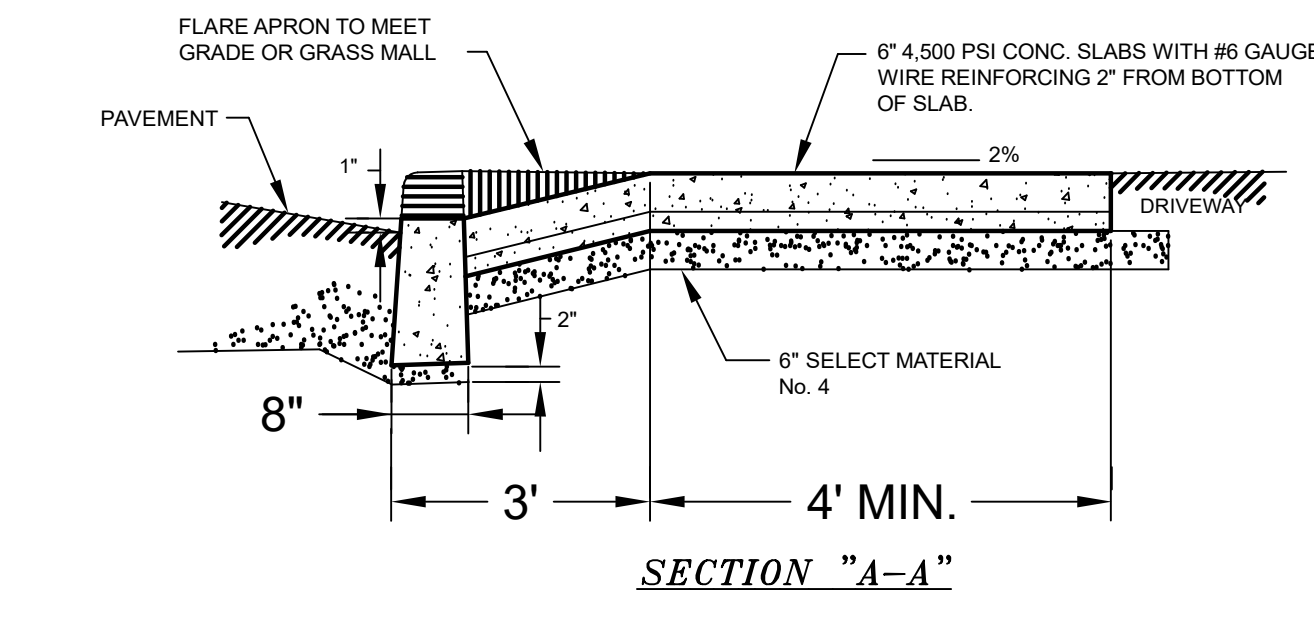
TYPICAL PAVEMENT SECTION
SCALE: N. T. S.



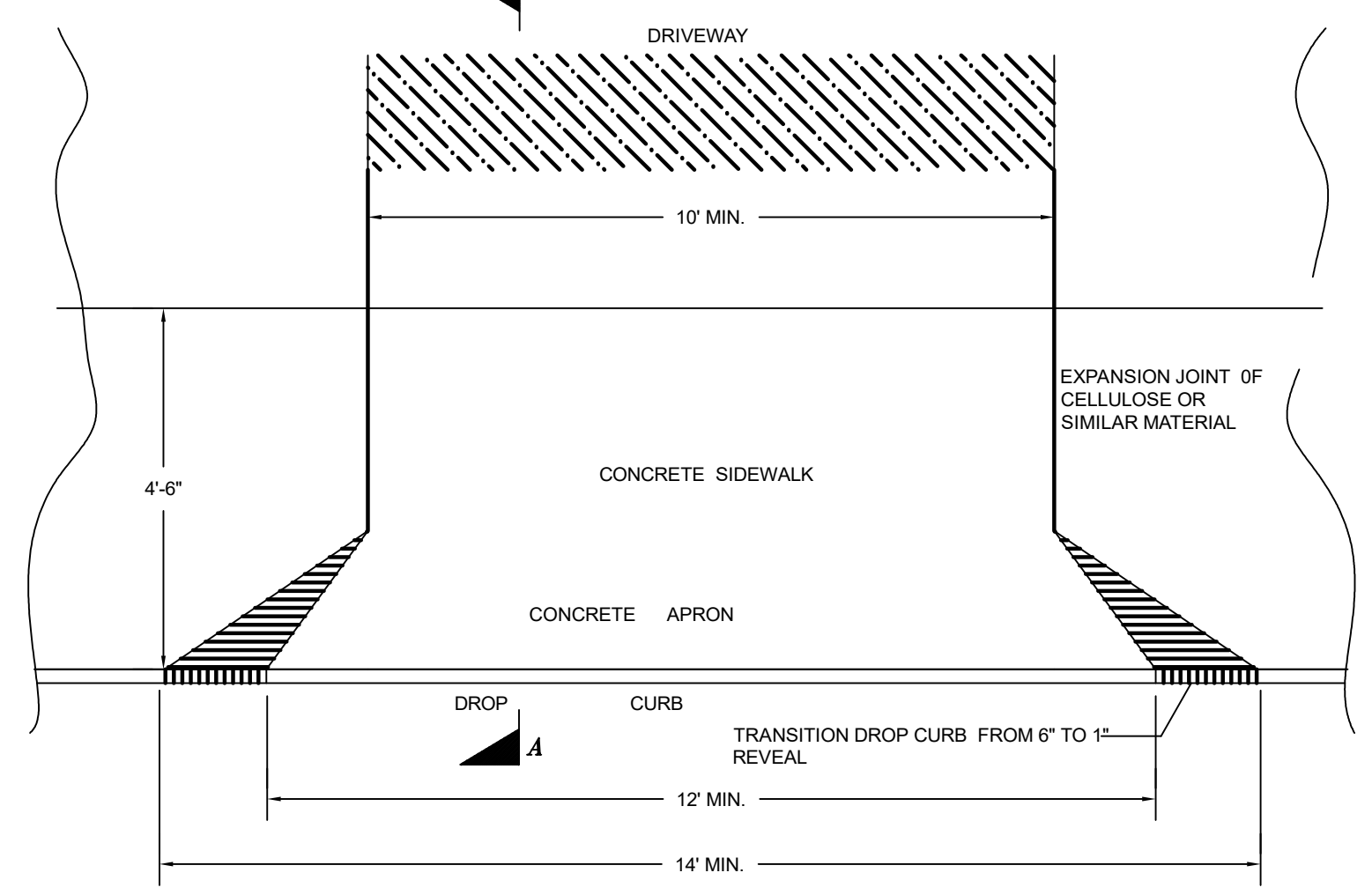
TYP. FIELD INLET
NOT TO SCALE



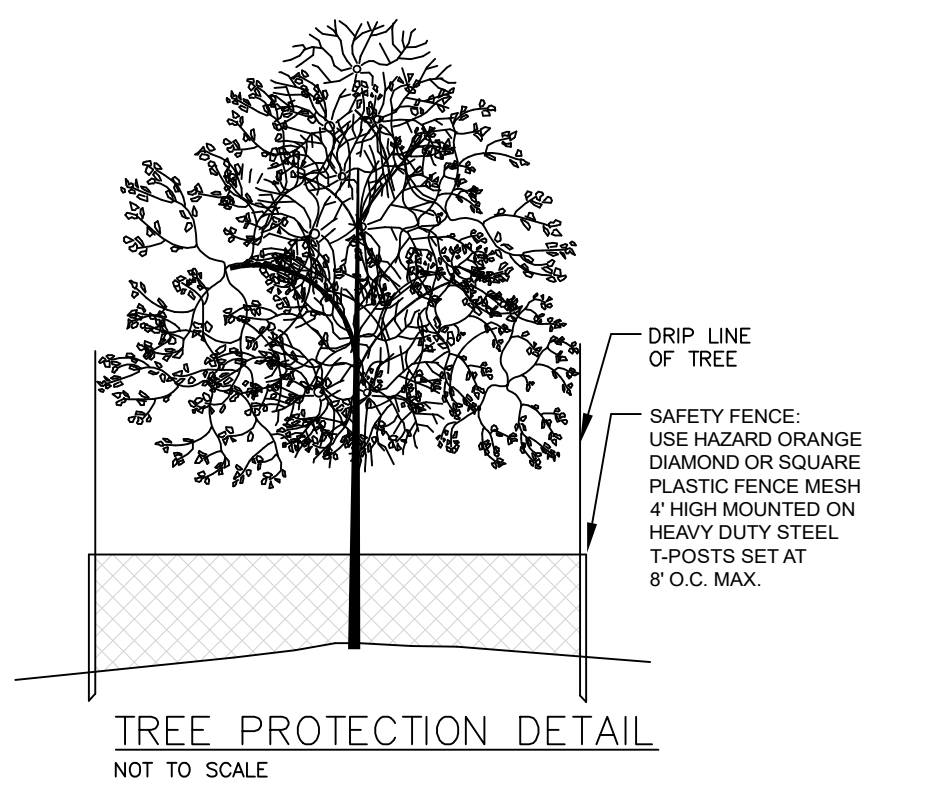
BUILDING SEWER CLEANOUT
N.T.S.



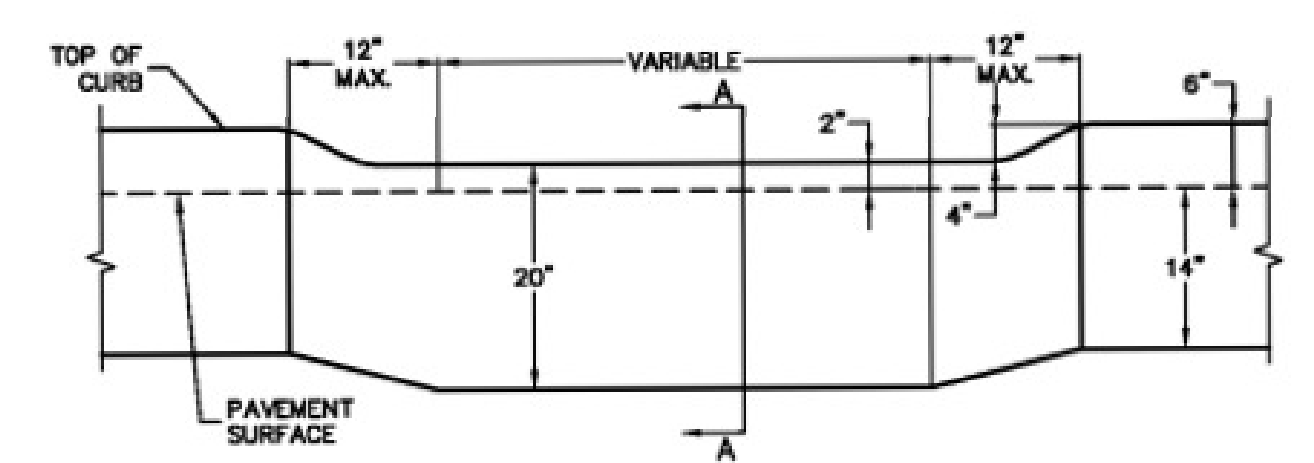
SECTION "A-A"



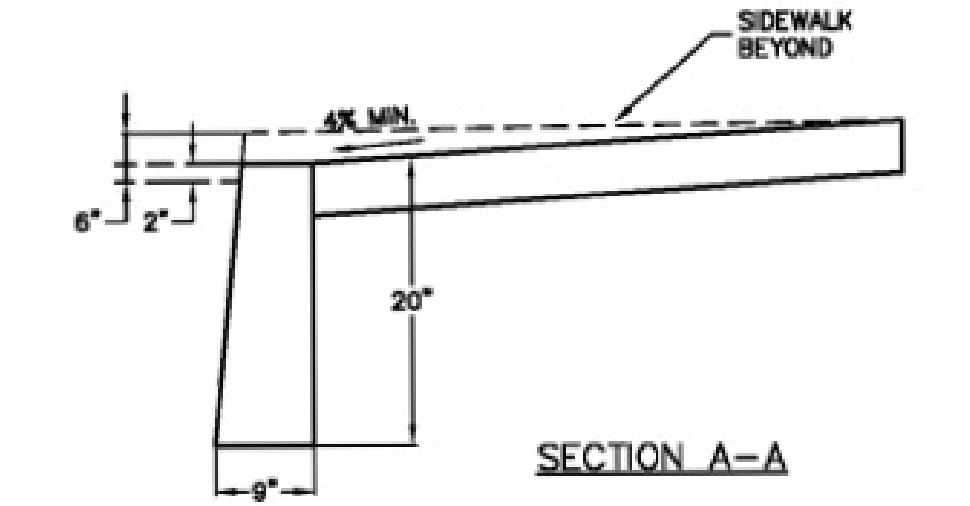
PLAN OF DRIVEWAY ENTRANCE
WITH SIDEWALK
NOT TO SCALE



- NOTES:**
1. WHEN POSSIBLE THE DEVELOPER SHALL PROTECT INDIVIDUAL SPECIMEN TREES THROUGH THE INSTALLATION OF SAFETY FENCING AROUND THE DRIP LINE PERIMETER OF THE TREE. ALL TREES OUTSIDE OF THE LIMITS OF DISTURBANCE SHALL BE SAVED.
 2. SAFETY FENCING SHALL BE INSTALLED AT THE ONSET OF SITE CONSTRUCTION TO PREVENT VEHICLE TRAFFIC FROM COMPACTING THE SOILS IN THE VICINITY OF THE TREE ROOT STRUCTURE.



ELEVATION

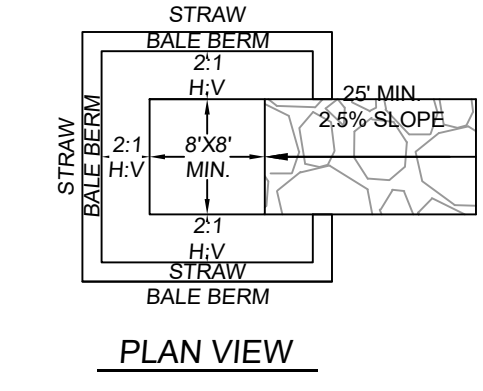


SECTION A-A

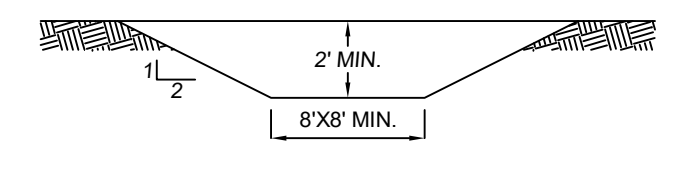
DEPRESSED CURB DETAIL
N.T.S.

- NOTES:**
1. CONCRETE TO TEST 4000 PSI MIN. ON 28 DAY COMPRESSIVE TEST.
 2. STEEL SEPARATIONS SHALL BE USED WITH ALL THE FORMS TO CREATE A CONSTRUCTION JOINT EVERY 10 FEET ALONG CURB.
 3. CONTRACTOR TO NOTIFY VILLAGE ENGINEER PRIOR POURING.

VILLAGE OF WESLEY HILLS
ROCKLAND COUNTY, N.Y.
DEPRESSED CURB DETAIL



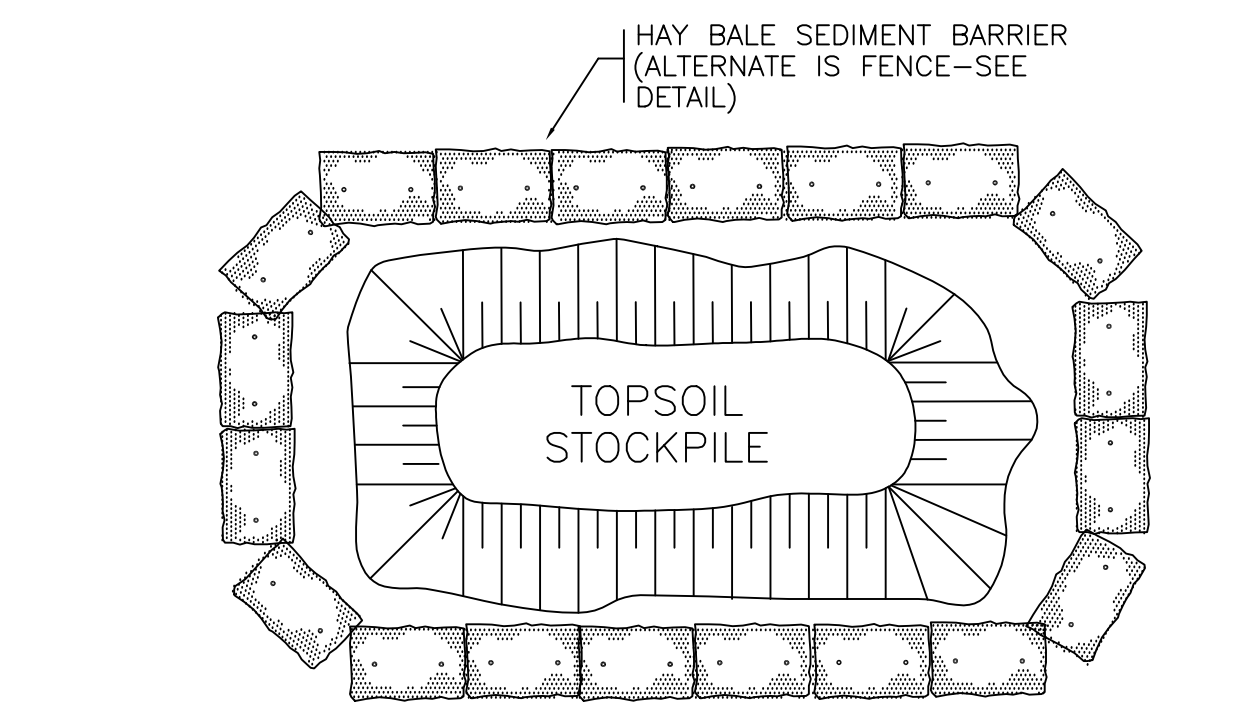
PLAN VIEW



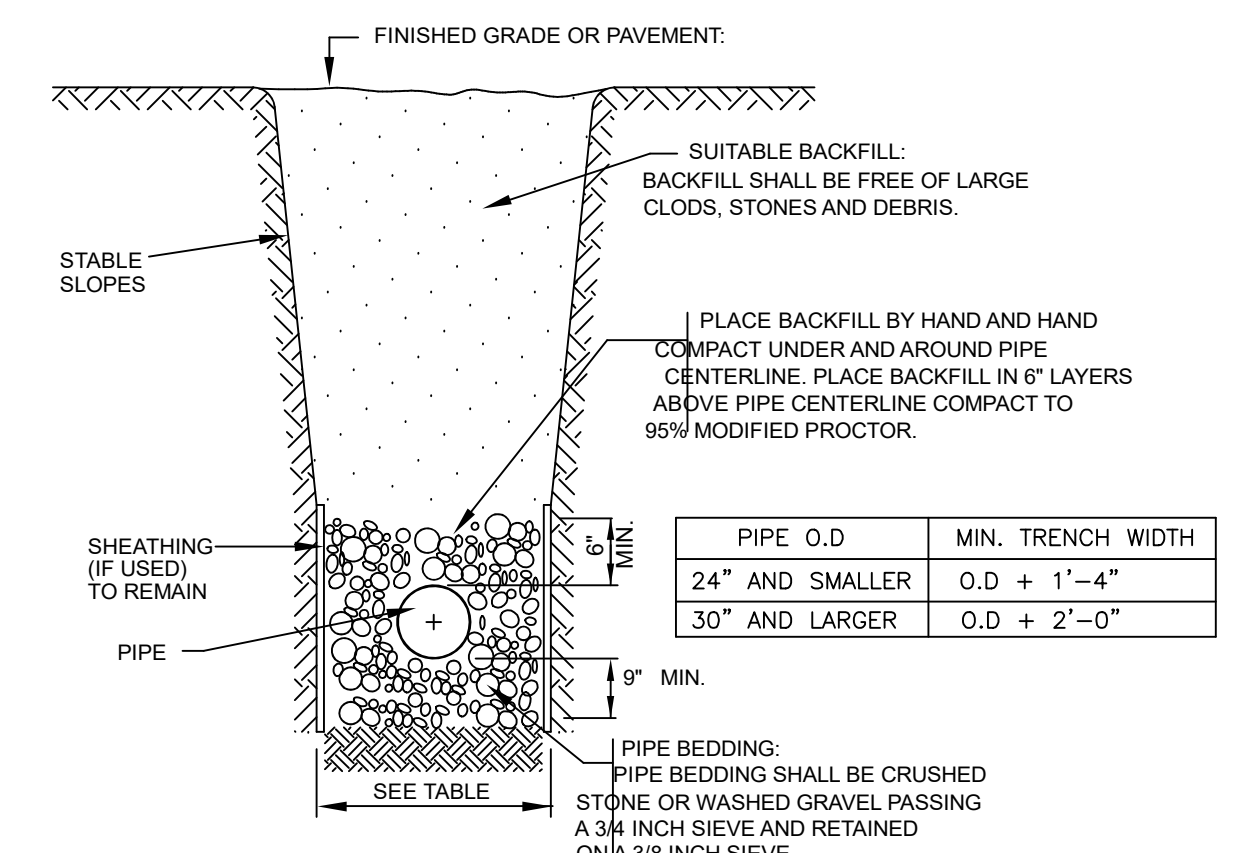
ELEVATION VIEW

1. Locate the facility a minimum of 100 feet from drainage swales, storm drain inlets, wetlands, streams and other surface waters. Prevent surface water from entering the structure except for the access road. Provide appropriate access with a gravel access road sloped down to the structure. Signs shall be placed to direct drivers to the facility after their load is discharged.
2. All washout facilities will be lined to prevent leaching of liquids into the ground. The liner shall be plastic sheeting with a minimum thickness of 10 mils with no holes or tears, and anchored beyond the top of the pit with an earthen berm, sand bags, stone, or other structural appearance except at the access point. If pre-fabricated washouts are used they must ensure the capture and containment of the concrete wash and be sized based on the expected frequency of concrete pours. They shall be sited as noted in the location criteria.
3. All concrete washout facilities shall be inspected daily. Damaged or leaking facilities shall be deactivated and repaired or replaced immediately. Excess rainwater that has accumulated over hardened concrete should be pumped to a stabilized area, such as a grass filter strip.
4. Accumulated hardened material shall be removed when 75% of the storage capacity of the structure is filled. Any excess wash water shall be pumped into a containment vessel and properly disposed of off site.
5. Dispose of the hardened material off-site in a construction/DEMOLITION landfill.
6. The plastic liner shall be replaced with each cleaning of the washout facility.
7. Inspect the project site frequently to ensure that no concrete discharges are taking place in non-designated areas.
8. Perimeter berm shall have a minimum height of 1'.

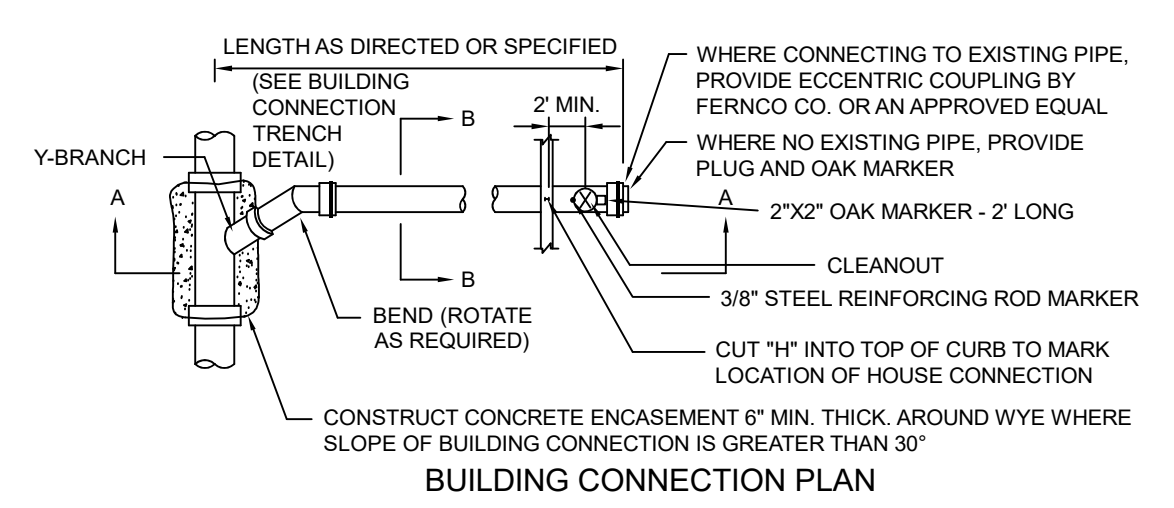
CONCRETE WASHOUT STATION



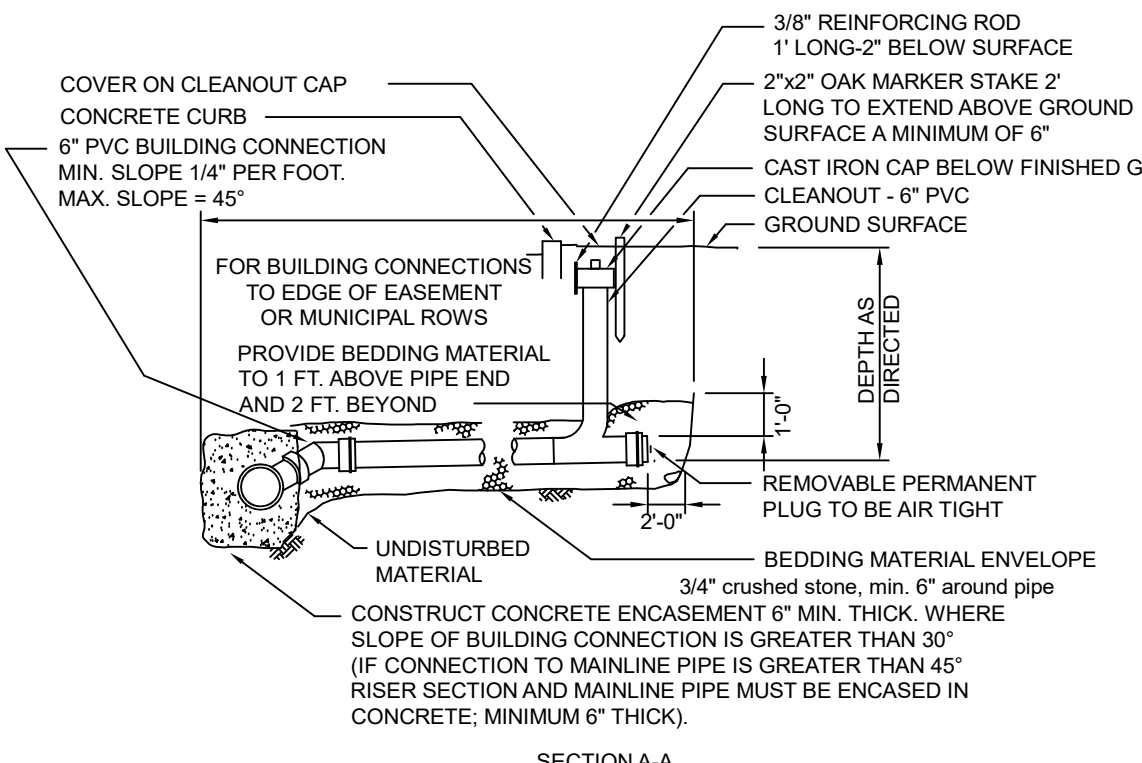
TOPSOIL STOCKPILE SEDIMENT BARRIER
N.T.S.



TYPICAL TRENCH DETAIL (STORM SEWER)
N.T.S.



BUILDING CONNECTION PLAN



BUILDING CONNECTION ELEVATION
BUILDING CONNECTION DETAIL
N.T.S.

DATE	ISSUE	DESCRIPTION	REVISIONS
APRIL 29, 2025	REV 6	REV PER COMMENTS	
MARCH 20, 2025	REV 5	REV EASEMENT	
FEBRUARY 14, 2025	REV 4	REV FOR SIGNATURE	
JANUARY 7, 2025	REV 3	REV FOR SIGNATURE	
OCTOBER 25, 2024	REV 2	REV STORMWATER	
SEPTEMBER 23, 2024	REV 1	REV PER COMMENTS	

S.B.L. 41.08 - 1 - 34, 44.1 & 44.2

DETAILS

2 CHARLOTTE DRIVE, 110 & 106 EAST WILLOW TREE ROAD
VILLAGE OF WESLEY HILLS - ROCKLAND COUNTY - NEW YORK

CIVIL TEC Engineering & Surveying PC

139 Lafayette Avenue, 2nd Fl. 111 Main Street
Suffern, NY 10901 Chester, NY 10918
P 845.547.2241 - F 845.547.2243 845.610.3621

Civil Engineering & Land Surveying Services that Build C
www.Civil-Tec.com

DATE: 4/29/24
DRAWN BY: RB/LT
CHKD BY: RB/LT
JOB No. 4354
SCALE: 1"=40'
DWG No. 5 OF 6

Rachel B. Barese, P.E.
N.Y. Lic. No. 90143

PROJECT INFORMATION	
ENGINEERED PRODUCT MANAGER	
ADS SALES REP	
PROJECT NO.	



2 CHARLOTTE DR WESLEY HILLS, NY, USA

SC-800 STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH SC-800.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 550 LB/FT². THE ISO IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
 - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD. THE MINIMUM REQUIRED ARCH STIFFNESS SHALL BE AS DEFINED IN SECTION 6.2.8 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.
- MANIFOLD SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECH NOTE #6.32 FOR MANIFOLD SIZING GUIDANCE. DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANIFOLD COMPONENTS IN THE FIELD.
- ADS DOES NOT DESIGN OR PROVIDE MEMBRANE LINER SYSTEMS. TO MINIMIZE THE LEAKAGE POTENTIAL OF LINER SYSTEMS, THE MEMBRANE LINER SYSTEM SHOULD BE DESIGNED BY A KNOWLEDGEABLE GEOTECHNICAL PROFESSIONAL AND INSTALLED BY A QUALIFIED CONTRACTOR.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-800 SYSTEM

- STORMTECH SC-800 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH SC-800 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/SC-800/DC-780 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONES/ROCKS LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM - 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE: AASHTO M43 #3, 357, 4, 467, 5, 56, OR 57.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

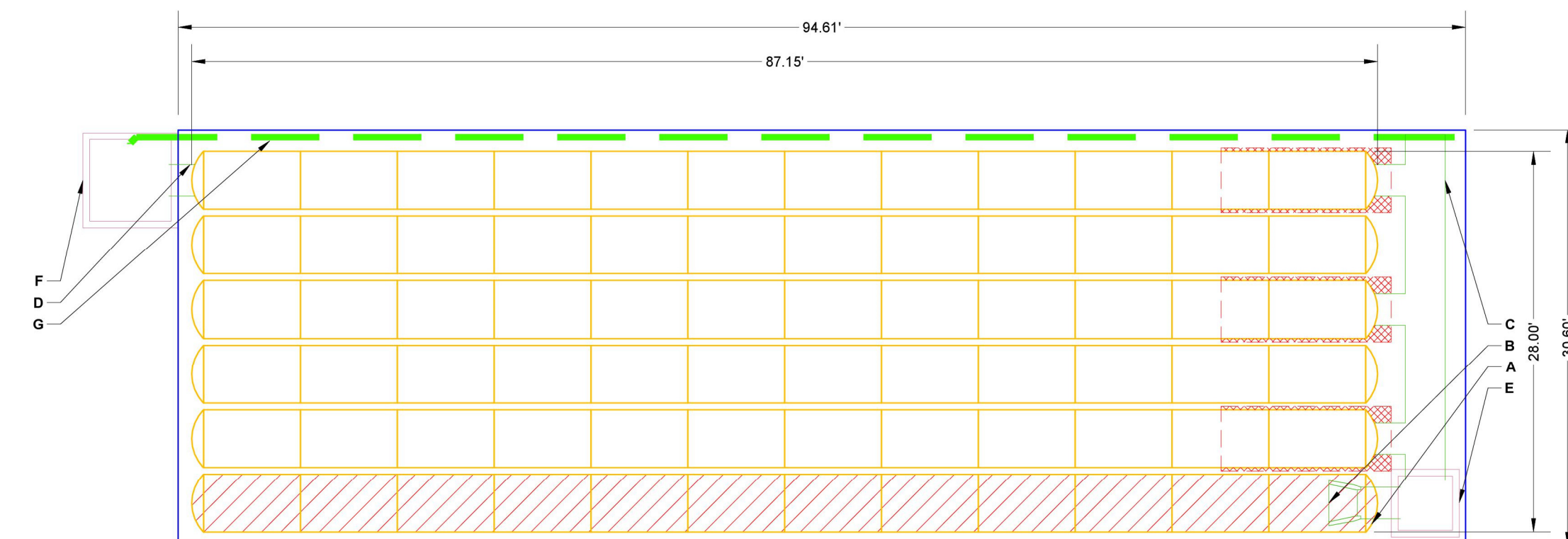
NOTES FOR CONSTRUCTION EQUIPMENT

- STORMTECH SC-800 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/SC-800/DC-780 CONSTRUCTION GUIDE".
- THE USE OF CONSTRUCTION EQUIPMENT OVER SC-800 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER TIED LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/SC-800/DC-780 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/SC-800/DC-780 CONSTRUCTION GUIDE".
- FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-800-821-6710 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

PROPOSED LAYOUT		CONCEPTUAL ELEVATIONS:		PART TYPE		ITEM ON LAYOUT		DESCRIPTION		INVERT		MAX FLOW	
72	STORMTECH SC-800 CHAMBERS	MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED):	11.25										
12	STORMTECH SC-800 END CAPS	MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC):	5.00										
6	STONE ABOVE (in)	MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC):	4.50		PRE-CORED END CAP	A	24" BOTTOM PRE-CORED END CAP, PART# SC800PE24PC / TYP OF ALL 24" BOTTOM CONNECTIONS AND ISOLATOR PLUS ROWS			2.30"			
6	STONE BELOW (in)	MINIMUM ALLOWABLE GRADE (TOP OF RIGID CONCRETE PAVEMENT):	4.50		FLAMP	B	INSTALL FLAMP ON 24" ACCESS PIPE / PART# SC74024RAMP						
40	STONE VOID	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT):	4.50		MANIFOLD	C	30" x 24" ADS N-12 (30" PIPE)				-3.62"		
6554	INSTALLED SYSTEM VOLUME (CF) (PERIMETER STONE INCLUDED) (COVER STONE INCLUDED)	TOP OF STONE	3.25		PIPE CONNECTION	D	24" BOTTOM CONNECTION					8.4 CFS IN	
2865	SYSTEM AREA (SF)	24" ISOLATOR ROW PLUS INVERT	0.65		CONCRETE STRUCTURE	E	DESIGN BY ENGINEER / PROVIDED BY OTHERS						7.0 CFS OUT
250.4	SYSTEM PERIMETER (ft)	24" BOTTOM CONNECTION INVERT	0.65		CONCRETE STRUCTURE	F	CONSTRUCTION BY ENGINEER / PROVIDED BY OTHERS						
512	THERMOPLASTIC LINER (SY) (20% OVERAGE)	BOTTOM OF SC-800 CHAMBERS	0.50		UNDERDRAIN	G	6" ADS N-12 DUAL WALL PERFORATED HDPE UNDERDRAIN						
		UNDERDRAIN INVERT	0.20										
		30" x 24" TOP MANIFOLD INVERT (30" PIPE)	0.20										
		UNDERDRAIN INVERT	0.00										
		BOTTOM OF STONE	0.00										



- ISOLATOR ROW PLUS (SEE DETAIL)
- PLACE MINIMUM 12 50' OF ADSPLUS425 WOVEN GEOTEXTILE OVER BEDDING STONE AND UNDERNEATH CHAMBER FEET FOR SCOUR PROTECTION AT ALL CHAMBER INLET ROWS
- THERMOPLASTIC LINER (SEE TECH NOTE #6.50 PROVIDED BY OTHERS / DESIGN BY OTHERS)

NOTES: THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET. NOT FOR CONSTRUCTION. THIS LAYOUT IS FOR DIMENSIONAL PURPOSES ONLY TO PROVE CONCEPT & THE REQUIRED STORAGE VOLUME CAN BE ACHIEVED ON SITE.

4640 TRUHEMAN BLVD
HILLIARD, OH 43026
1-800-735-7473

StormTech®
Chamber System

1-800-821-6710 | WWW.STORMTECH.COM

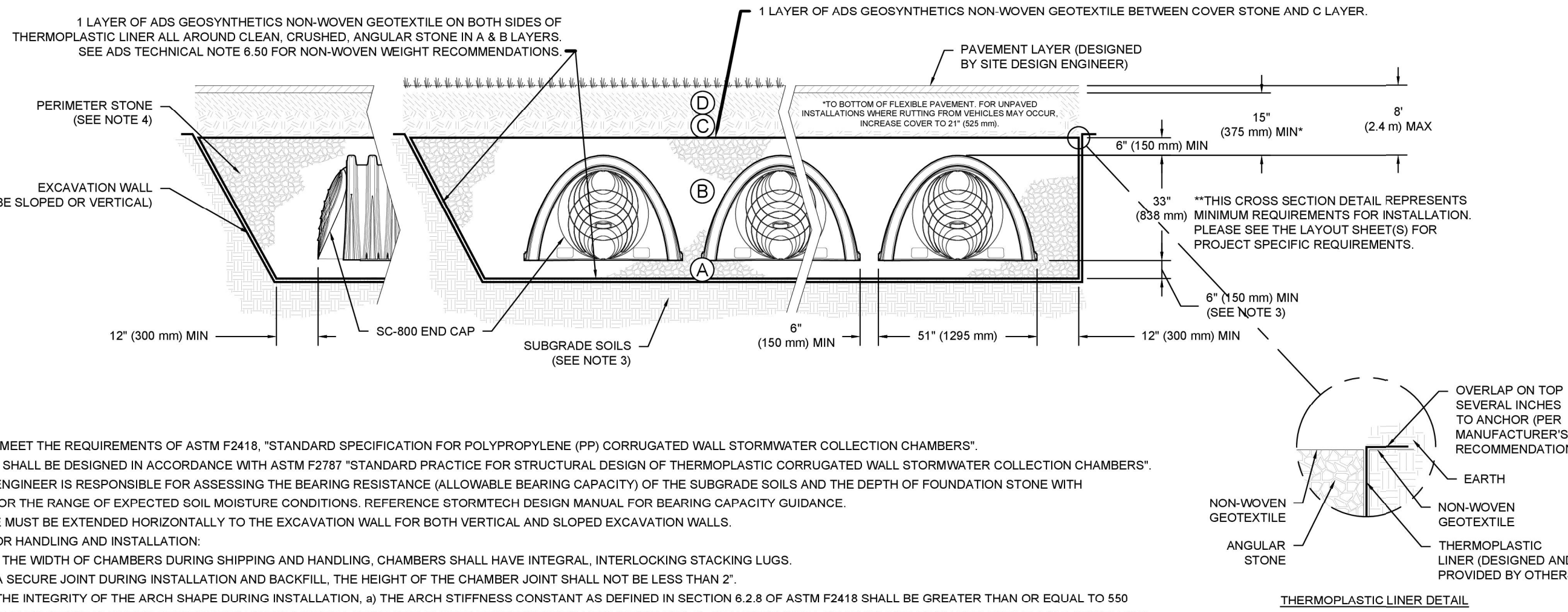
DATE: 02/10/2025
DRAWN: RB
CHECKED: N/A
PROJECT #:
DESCRIPTION:
DATE: DRW: CHK

SHEET
2 OF 5

ACCEPTABLE FILL MATERIALS: STORMTECH SC-800 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 15" (375 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN), DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERS WITH A VIBRATORY COMPACTOR.
 - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
 - ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
 - WHERE RECYCLED CONCRETE AGGREGATE IS USED IN LAYERS 'A' OR 'B' THE MATERIAL SHOULD ALSO MEET THE ACCEPTABILITY CRITERIA OUTLINED IN TECHNICAL NOTE 6.20 "RECYCLED CONCRETE STRUCTURAL BACKFILL".



- NOTES:
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - SC-800 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS. REFERENCE STORMTECH DESIGN MANUAL FOR BEARING CAPACITY GUIDANCE.
 - PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
 - REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 550 LB/FT². AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

2 CHARLOTTE DR
WESLEY HILLS, NY, USA

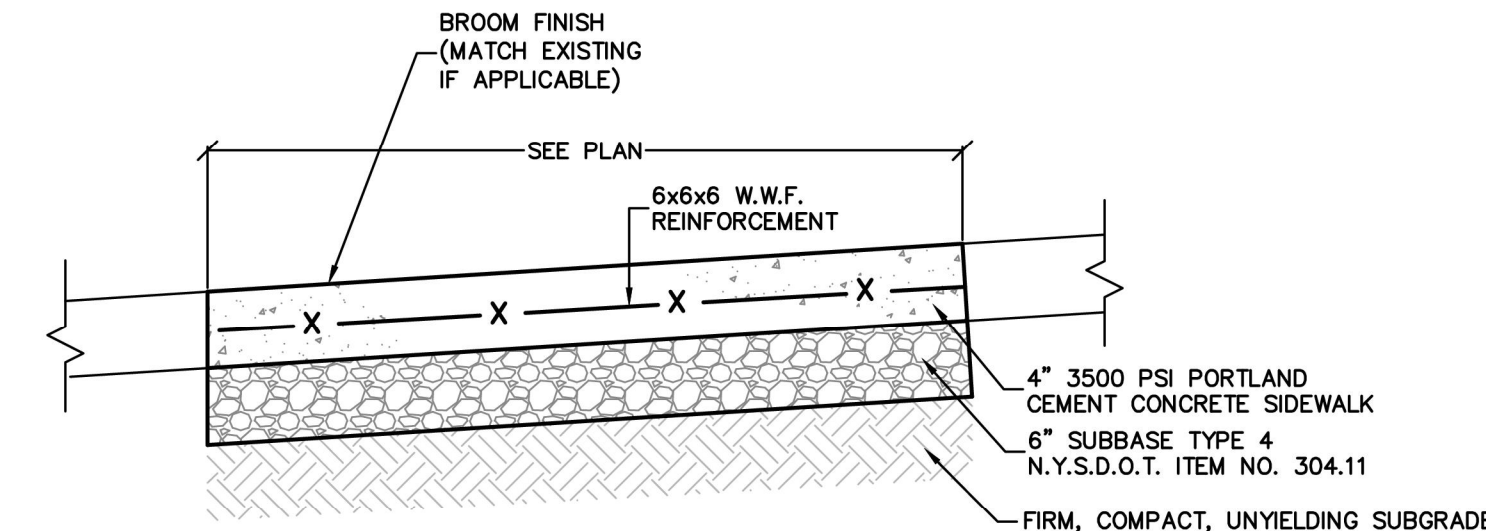
4640 TRUHEMAN BLVD
HILLIARD, OH 43026
1-800-735-7473

StormTech®
Chamber System

1-800-821-6710 | WWW.STORMTECH.COM

DATE: 02/10/2025
DRAWN: RB
CHECKED: N/A
PROJECT #:
DESCRIPTION:
DATE: DRW: CHK

SHEET
3 OF 5



- CONCRETE SIDEWALK NOTES
- FULL DEPTH TRANSVERSE CONSTRUCTION JOINTS SHALL BE PLACED EVERY 18-20 FEET.
 - CONCRETE SURFACE SHALL BE SCORED AND TOOLED EVERY 5 FEET.
 - ALL EDGES SHALL BE FINISHED WITH AN EDGING TOOL WITH A RADIUS OF 1/4 INCH.
 - A 3/4 INCH BITUMINOUS JOINT FILLER SHALL BE PLACED AT ALL JOINTS BETWEEN SIDEWALK, CURB, PAVEMENT, BUILDING, ETC.
 - THE CONCRETE SHALL BE FINISHED TO PRODUCE A SMOOTH FINISH AND THEN LIGHTLY BROOMED TO A UNIFORM TEXTURE.
 - A CLEAR MEMBRANE CURING COMPOUND SHALL BE USED UPON COMPLETION OF FINISHING.
 - ALL SIDEWALKS SHALL ADHERE TO ADA GUIDELINES.

CONCRETE SIDEWALK DETAIL
N.T.S.

VILLAGE OF WESLEY HILLS
ROCKLAND COUNTY, N.Y.

CONCRETE SIDEWALK DETAIL

DATE	ISSUE	DESCRIPTION	REVISIONS
APRIL 29, 2025	REV 6		REV PER COMMENTS
MARCH 20, 2025	REV 5		REV EASEMENT
FEBRUARY 14, 2025	REV 4		REV FOR SIGNATURE
JANUARY 7, 2025	REV 3		REV FOR SIGNATURE
OCTOBER 25, 2024	REV 2		REV STORMWATER
SEPTEMBER 23, 2024	REV 1		REV PER COMMENTS

S.B.L. 41.08 - 1 - 34, 44.1 & 44.2

DETAILS
FOR
2 CHARLOTTE DRIVE, 110 & 106 EAST WILLOW TREE ROAD
VILLAGE OF WESLEY HILLS - ROCKLAND COUNTY - NEW YORK

CIVIL TEC Engineering & Surveying PC

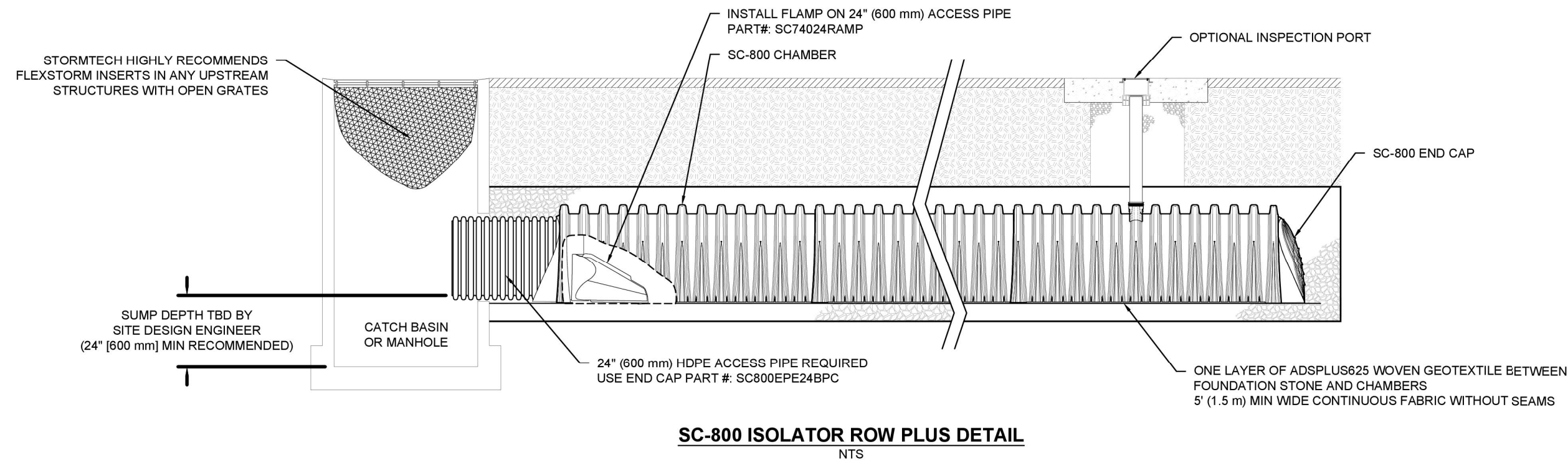
DATE: 4/29/24

139 Lafayette Avenue, 2nd Fl. Suffern, NY 10901
111 Main Street Chester, NY 10918
P 845.547.2241 - F 845.547.2243 845.610.3621

Civil Engineering & Land Surveying Services that Build C
www.Civil-Tec.com

DATE: 4/29/24
DRAWN BY: RB/LT
CHKD BY: RB/LT
JOB No. 4354
SCALE: 1"=40'
DWG No. 6 OF 57

Rachel B. Barese, P.E.
N.Y. Lic. No. 90143



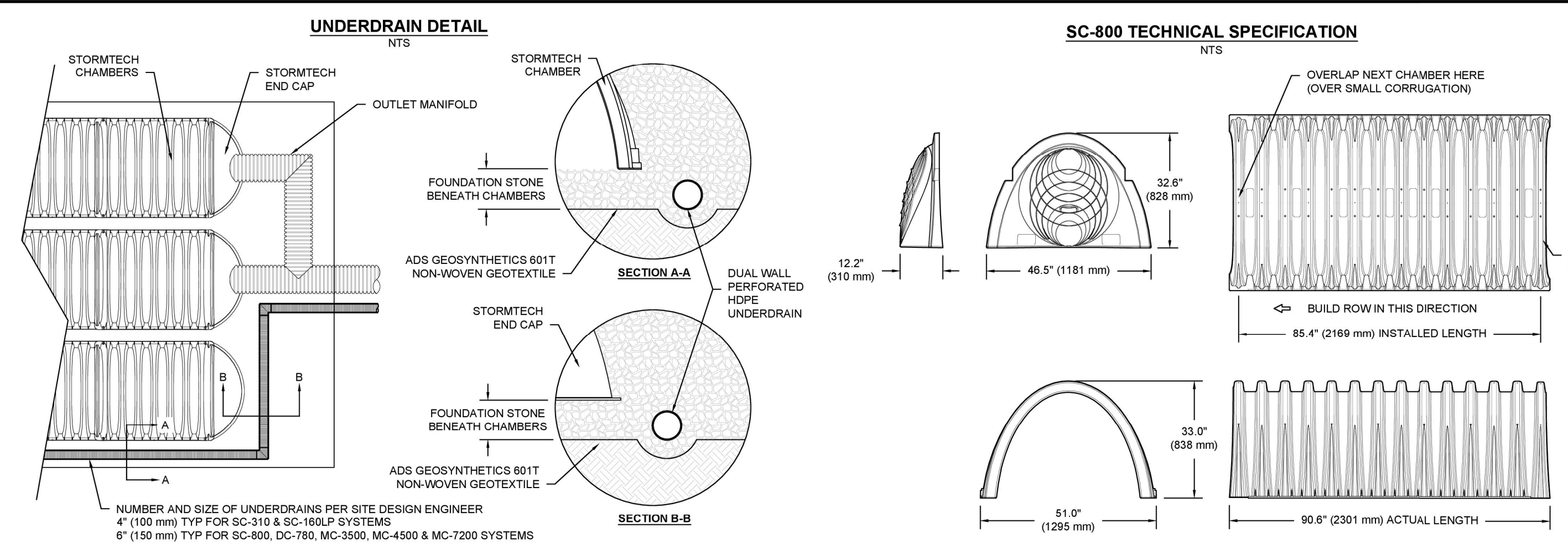
INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- A. INSPECTION PORTS (IF PRESENT)
 - A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
 - A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 - A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - A.4. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
 - B. ALL ISOLATOR ROW PLUS ROWS
 - B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
 - B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
 - i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
- A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
 - B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - C. VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

2 CHARLOTTE DR
WESLEY HILLS, NY, USA
DATE: 02/10/2025
PROJECT #:
DRAWN: RB
CHECKED: N/A
DESCRIPTION:
DATE: DRW: CHK:
1-800-961-6710 | WWW.STORMTECH.COM
StormTech® Chamber System
4640 TRUHEMAN BLVD
WESLEY HILLS, NY 10986
1-800-733-7473
SHEET
4 OF 5



NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)	51.0" X 33.0" X 85.4"	(1295 mm X 838 mm X 2169 mm)
CHAMBER STORAGE	50.6 CUBIC FEET	(1.43 m³)
MINIMUM INSTALLED STORAGE*	81.0 CUBIC FEET	(2.29 m³)
WEIGHT	81.8 lbs.	(37.1 kg)

NOMINAL END CAP SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)	46.5" X 32.6" X 10.5"	(1181 mm X 828 mm X 267 mm)
END CAP STORAGE	3.4 CUBIC FEET	(0.09 m³)
MINIMUM INSTALLED STORAGE**	15.4 CUBIC FEET	(0.43 m³)
WEIGHT	15.7 lbs.	(7.1 kg)

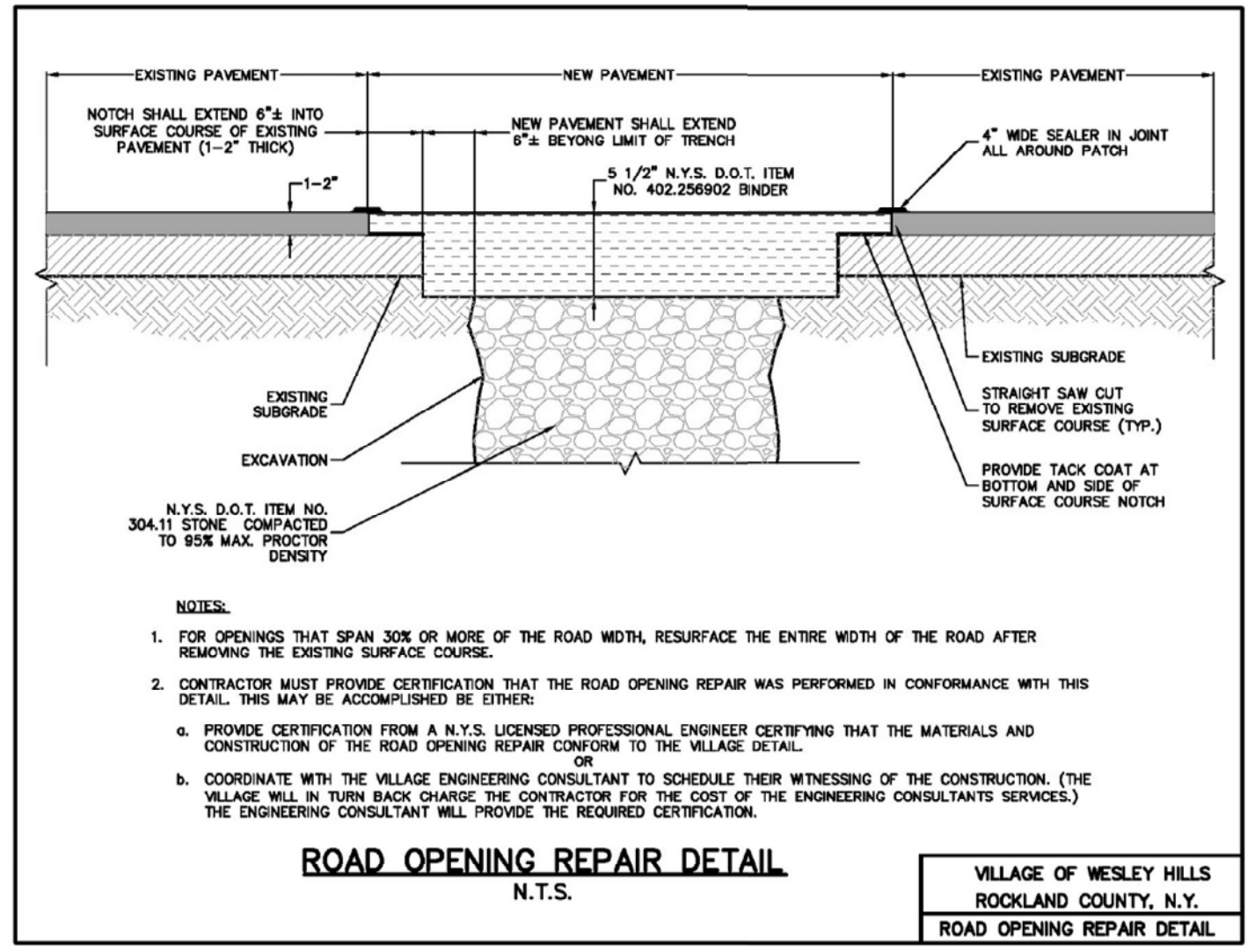
* ASSUMES 6" (152 mm) STONE ABOVE, BELOW, AND BETWEEN CHAMBERS
** ASSUMES 6" (152 mm) STONE ABOVE AND BELOW END CAPS, 6" (152 mm) BETWEEN ROWS, 12" (305 mm) BEYOND END CAPS

PRE-CORED HOLES AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "BPC"
PRE-CORED HOLES AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "TPC"

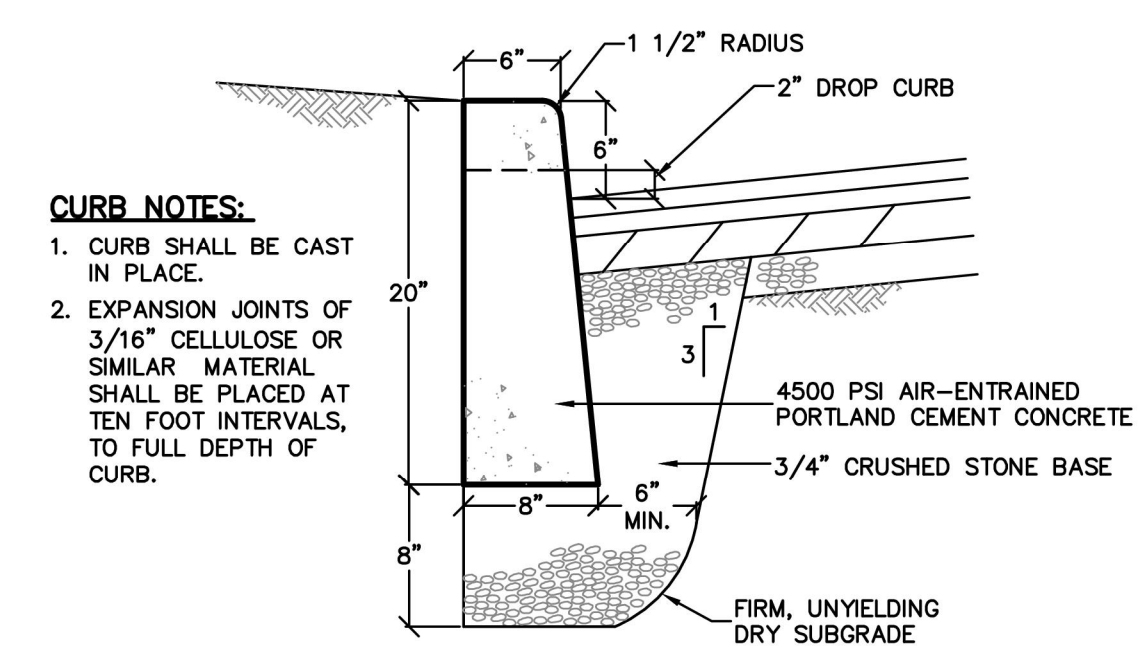
PART #	STUB	B	C
SC800EP06TPC	6" (150 mm)	21.4" (544 mm)	---
SC800EP08TPC	---	0.9" (23 mm)	---
SC800EP08TPC	8" (200 mm)	19.2" (488 mm)	---
SC800EP08BPC	---	1.0" (25 mm)	---
SC800EP10TPC	10" (250 mm)	17.0" (432 mm)	---
SC800EP10BPC	---	1.2" (30 mm)	---
SC800EP12TPC	12" (300 mm)	14.4" (366 mm)	---
SC800EP12BPC	---	1.6" (41 mm)	---
SC800EP15TPC	15" (375 mm)	11.3" (287 mm)	---
SC800EP15BPC	---	1.7" (43 mm)	---
SC800EP18TPC	---	8.0" (203 mm)	---
SC800EP18BPC	---	2.0" (51 mm)	---
SC800EP24BPC	24" (600 mm)	---	2.3" (58 mm)
SC800EPE	NONE	---	SOLID END CAP

NOTE: ALL DIMENSIONS ARE NOMINAL

2 CHARLOTTE DR
WESLEY HILLS, NY, USA
DATE: 02/10/2025
PROJECT #:
DRAWN: RB
CHECKED: N/A
DESCRIPTION:
DATE: DRW: CHK:
1-800-961-6710 | WWW.STORMTECH.COM
StormTech® Chamber System
4640 TRUHEMAN BLVD
WESLEY HILLS, NY 10986
1-800-733-7473
SHEET
5 OF 5



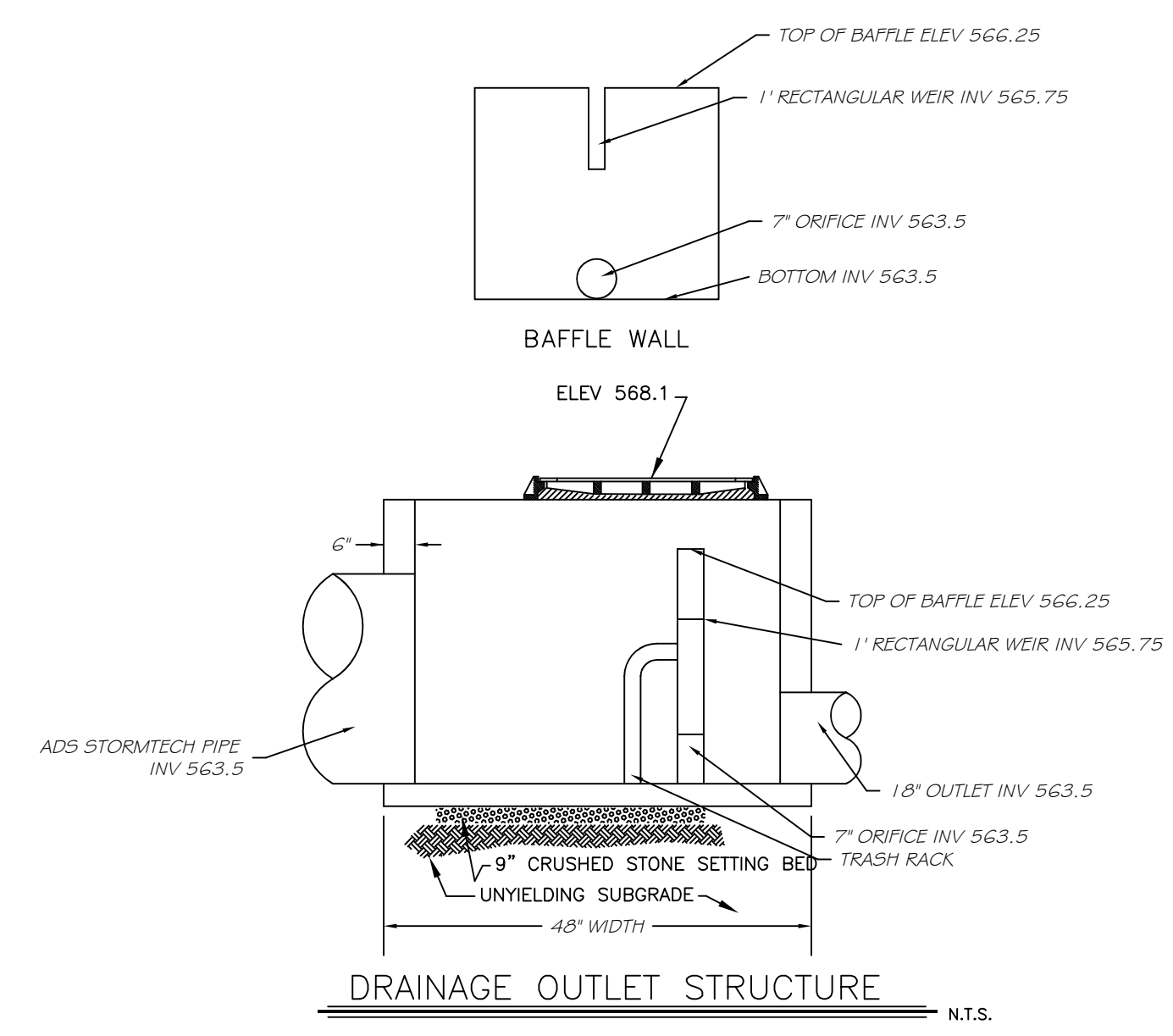
WESLEY HILLS CODE



CURB NOTES:

1. CURB SHALL BE CAST IN PLACE.
2. EXPANSION JOINTS OF 3/16" CELLULOSE OR SIMILAR MATERIAL SHALL BE PLACED AT TEN FOOT INTERVALS, TO FULL DEPTH OF CURB.

VILLAGE OF WESLEY HILLS
ROCKLAND COUNTY, N.Y.
CONCRETE CURB DETAIL



- NOTES:**
1. SUITABLE FOR H-20 LOADING
 2. MATERIALS & CONSTRUCTION TO CONFORM TO LOCAL BUILDING DEPARTMENT.
 3. ALL CONCRETE TO BE 4000 P.S.I.
 4. FLAT GRATE, CATCH BASIN FRAME & GRATE, CAMPBELL FOUNDRY PATTERN No. 3413 OR EQUAL AS APPROVED BY LOCAL BUILDING DEPARTMENT.
 5. PRECAST STRUCTURE 72"x48" TO BE WOODARD'S PRECAST OR APPROVED EQUAL.
 6. TRASH RACK TO BE LANE MODEL #139 OR SIMILAR.

APRIL 29, 2025
MARCH 20, 2025

REV 2
REV 1

REV PER COMMENTS
REV EASUREMENT

DATE	ISSUE	DESCRIPTION	REVISIONS
		S.B.L. 41.08 - 1 - 34, 44.1 & 44.2	

DETAILS
FOR
2 CHARLOTTE DRIVE, 110 & 106 EAST WILLOW TREE ROAD
VILLAGE OF WESLEY HILLS - ROCKLAND COUNTY - NEW YORK

CIVIL TEC Engineering & Surveying PC

DATE: 2/14/25

139 Lafayette Avenue, 2nd Fl. 111 Main Street
Suffern, NY 10901 Chester, NY 10918
P 845.547.2241 - F 845.547.2243 845.610.3621

Civil Engineering & Land Surveying Services that Build C
www.Civil-Tec.com

DRAWN BY: RB/LT
CHKD BY: RB/LT
JOB No. 4354
SCALE: 1"=40'
DWG No. 7 OF 58

Rachel B. Barese, P.E.
N.Y. Lic. No. 90143

File Attachments for Item:

3. Application submitted by IJJ, LLC-John Wickes for a variance from the -provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills to permit the maintenance and use of an arborist facility having impervious surface ratio of .46 instead of the maximum permitted of .25.

The subject premises are situated on the south side of McNamara Road 0 feet west of Union Road, known as 11 McNamara Road, designated on the Tax Map as Section 42.13 Block 1 Lot 22, in an R-35 Zoning District.



Ira M. Emanuel, Esq. | Amy Mele, Esq. *Of Counsel*
Counsel to Freeman & Loftus, RLLP

Four Laurel Road
New City, NY 10956

Info@EmanuelLaw.com

www.EmanuelLaw.com

Tel: 845-634-4141

ZONING BOARD OF APPEALS
VILLAGE OF WESLEY HILLS

ROCKLAND TREE EXPERT CO., INC.
d/b/a IRA WICKES/ARBORISTS
SPECIAL PERMIT AND SITE PLAN

NARRATIVE SUMMARY

This application is made in the context of a Planning Board application for site plan and special permit approval pursuant to section 6.9.16 of the Zoning Law, as amended by Local Law No. 3 of 2006. That Local Law added “Arborist Service”, “Landscape Service” and “Wholesale Nursery” as permitted uses by special permit in the R-35 zoning district, subject to certain requirements.

The subject site has been operated as an arborist service, landscape service, and wholesale nursery by the Wickes Family since 1972. In 2001, the Zoning Board of Appeals determined that, despite prior site plan approval by the Ramapo Planning Board, the use had never been a legally permitted use. The matter was settled by the adoption of a stipulation of settlement between the Wickes Family, its corporate presence, Rockland Tree Expert Co., Inc., and the Village Board in 2004.

Existing Conditions

The subject property is located at the southwest corner of McNamara and Union (New Hempstead) Roads in an R-35 zoning district. It has a lot area of 2.2 acres. Located near the southerly border of the property is a two-story concrete block building having a gross floor area of 6,321 square feet. This building, which dates to approximately the 1930s, houses offices, workspace, storage, and truck and trailer parking. A gravel parking area is in front of the building. Access is taken from McNamara Road.

Also on the site is a two-family dwelling, located at its northeasterly corner, with accessory structures. Pursuant to the stipulation, this dwelling is

a valid, prior non-conforming use and a valid, prior dimensional non-conformity for purposes of applying the Zoning Law. An approval of a

Special Permit and site plan for the Premises subsequent to the Amendment, if any, and the implementation of such approved site plan, if any, shall not be deemed to constitute an improvement of a non-conforming use and therefore shall not be subject to the provisions of section 4.3.7 of the Zoning Law.

Stipulation, ¶ 12. Therefore, this application has no zoning impact on the two-family dwelling.

Prior Special Permit and Site Plan Approvals

In May 2010, after extensive public hearings and studies, the Planning Board approved a site plan and special permit for the site pursuant to section 6.9.16 as amended.

The approved site plan and special permit approvals were challenged by a neighbor. By decision dated November 24, 2021, the Appellate Division, Second Department, annulled both approvals.

The special permit was annulled because the court found that the Planning Board had improperly determined that “practical access” to a second major road was unnecessary and that a finding of “potential practical access” was “insufficient”.

The site plan approval was annulled because the site did not conform to the Zoning Code in that it had a maximum gross impervious surface ratio in excess of the allowable 0.25.

The Court did not criticize any other findings of the Planning Board.

To address the Second Department’s determinations, and the applicant re-applied for the required special permit and site plan under section 6.9.16.

Revisions to Site Plan

In response to the concerns raised by the Second Department, the applicant revised its proposed site plan from that which was approved in 2010. It added an emergency access road from Union (New Hempstead) Road into the site. This would give the site “practical access” to a second major road, as required by section 6.9.16.

Subsequent to the initial filing, the Village Board amended the Zoning Code to define “practical access” for the first time. Pursuant to Local Law No. 1 of 2024, adopted July 2, 2024, “practical access” means:

For all necessary uses and special permit uses for which practical access to a major road is a requirement, the phrase "practical access" means that it

must be reasonably possible for actual vehicular access to be designed and constructed along the particular frontage under consideration for that use. It does not require that such access must be constructed or included in an approved site plan if the Planning Board, in the exercise of its discretion, deems it to be in the public interest for the actual vehicular access to be designed along other available frontage.

This amendment meant that the proposed emergency access road was no longer needed to fulfill the “practical access” requirement of the Zoning Code. It was therefore removed from the plans.

As to the impervious coverage requirement, the site is an existing facility. The existing gross impervious surface ratio is 0.48, just as it was in 2010. The applicant, as in 2010, proposes to reduce that ratio to 0.46 (0.41 for the arborist portion of the site and 0.05 for the residential portion).

While the Planning Board took the existing impervious surface ratio and its reduction into account in 2010, the Second Department held that doing so was beyond the Planning Board’s authority. It held that a variance was needed. Hence, this appeal.

SEQRA and GML Status

This matter is an Unlisted action under SEQRA. The Planning Board, as lead agency, granted a negative declaration in 2010 by resolution no. 10-16. While the Second Department did not disturb this negative declaration, the applicant believed that it was prudent to update the negative declaration based upon the proposed minor changes to the plan.

Accordingly, it submitted an updated EAF Part 1 to the Planning Board. The Planning Board issued a new EAF Part 2, requiring updated review of certain potential impacts. The applicant responded with new studies and an EAF Part 3.

Based on these submissions, the Planning Board reaffirmed its negative declaration by resolution no. 25-2 on February 26, 2025.

The project site abuts two Rockland County roads: McNamara Road (Route 67) and Union (New Hempstead) Road (Route 80). It also abuts the municipal boundary with the Village of New Hempstead. Therefore, referral to the Rockland County Planning Department is required under General Municipal Law § 239-l and -m, and notice must be given to the Village of New Hempstead under General Municipal Law § 239-nn.

Variance Requested

The applicant requests the following variance:

<u>Dimension</u>	<u>Required</u>	<u>Existing</u>	<u>Proposed</u>
Impervious surface ratio	0.25	0.48	0.46 (0.41 for the arborist portion) (0.05 for the residential portion)

Criteria for Variance

One of the purposes of a zoning board of appeals, and of the ability to grant variances, is to provide a “safety valve” where the strict application of a zoning code cannot allow an otherwise appropriate use of property because of the peculiar circumstances applicable to that property. For this reason, any municipality that adopts a zoning code must also establish a board of appeals.¹

In determining to grant an area variance, a board of appeals “shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant.”² The board must also consider five questions when engaging in this balancing test. The questions, and the applicant’s responses, are set forth below:

(1) *“whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance”:*

The impervious coverage has existed at the site since at least 1972, before the formation of the Village and the adoption of its Zoning Code. It is a long-standing component of the neighborhood’s character. As part of the site plan application, the applicant is slightly reducing the amount of impervious coverage while also upgrading on-site stormwater management facilities.

(2) *“whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance”:*

The applicant requires impervious surfaces to maneuver vehicles and equipment around its site. Without the requested variance, it cannot conduct its allowed use.

(3) *“whether the requested area variance is substantial”:*

Whether a requested variance is “substantial” is more than simple arithmetic. It requires an understanding of the general area and of the existing conditions.³

¹ See, 2 Salkin, *New York Zoning Law and Practice* (3d ed.), §§27:07 – 27:10; *McKinney’s Town Law*, Practice Commentary to § 267-a; Town L. § 267.2; *McKinney’s Village Law*, Practice Commentary to § 7-712-a; Village L. § 7-712(2).

² Town L. § 267-b.3(b); Village L. § 7-712-b.3(b).

³ See, 2 *New York Zoning Law and Practice*, § 29:15.

The applicant is slightly reducing the amount of impervious surface from the condition that has existed for at least 53 years. The requested variance reflects the continuation of a legal condition that was conforming at the time of inception.

(4) "whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district":

In considering whether to reaffirm its negative declaration, the Planning Board determined that the mitigation measures approved in 2010 and continued in the current proposal were adequate. The Planning Board did not require new studies of this impact.

(5) "whether the alleged difficulty was self-created":

The difficulty results from the application of new regulations created by Local Law 3 of 2006. Prior to 2006, there was no limitation on the extent of impervious surfaces on this site. Local Law 3 of 2006, while expressly allowing arborist services, landscape services, and/or wholesale nurseries, also limited the impervious surface ratio.

In 2010, the Planning Board and Village Attorney opined that the existing impervious surface ratio was grandfathered. The Appellate Division held otherwise. Thus, this difficulty arose from the court's interpretation of the Village's Zoning Code as applied to the applicant's existing condition.

On balance, therefore, the requested variances are beneficial to both the applicant and the community.

Relief requested

Accordingly, the applicant requests the following variances:

<u>Dimension</u>	<u>Required</u>	<u>Existing</u>	<u>Proposed</u>
Impervious surface ratio	0.25	0.48	0.46 (0.41 for the arborist portion) (0.05 for the residential portion)

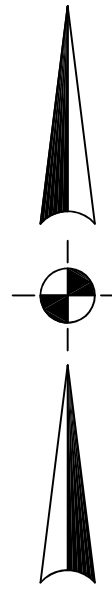
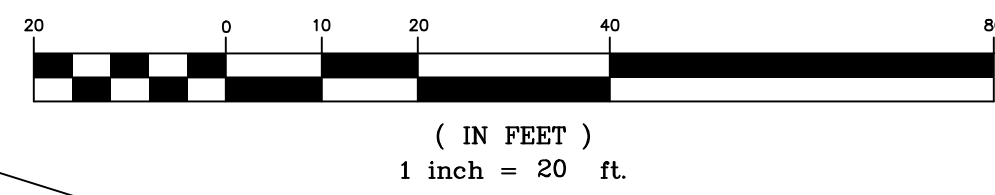
Dated: June 3, 2025
New City, New York

EMANUEL LAW P.C.

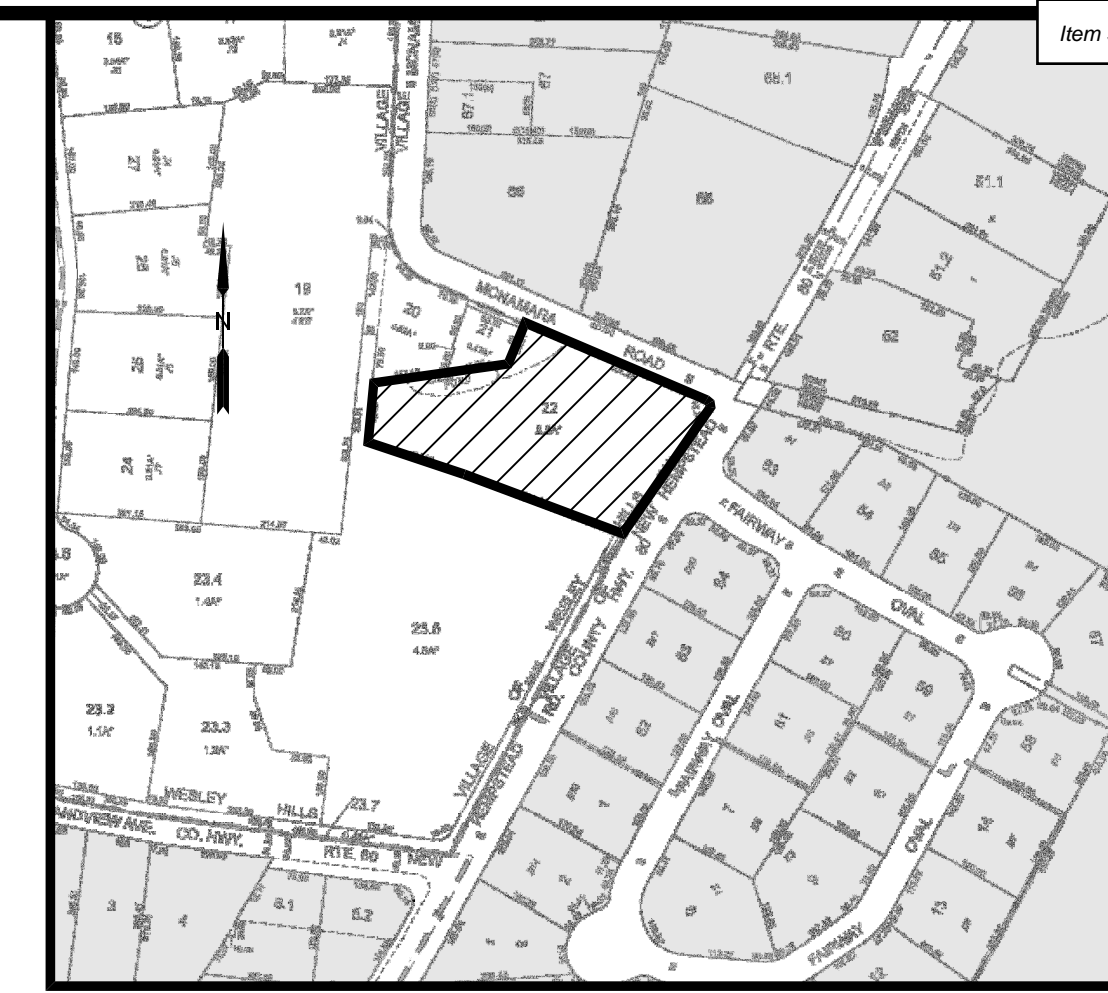


By: _____
Ira M. Emanuel, Esq.
Attorney for Applicant

GRAPHIC SCALE



- SPECIAL PERMIT NOTES (CONDENSED):
- OVERNIGHT PARKING LIMITED TO NOT MORE THAN 7 LIGHT DUTY TRUCKS
13 MEDIUM DUTY TRUCKS
7 HEAVY DUTY TRUCKS
1 VERY HEAVY DUTY TRUCK
OF WHICH NO MORE THAN 13 CAN BE PARKED OUT OF DOORS
 - NOISE LEVELS SHALL CONFORM TO R.C. DEPT. OF HEALTH STANDARDS
 - NOT MORE THAN 400 CY OF MULCH AND/OR WOOD CHIPS SHALL BE STORED AT THE PREMISES WITHIN STORAGE STRUCTURES. EACH STRUCTURE SHALL NOT EXCEED 100 CUBIC YARDS CAPACITY.
 - NOT MORE THAN 50 CY OF GRAVEL AND/OR STONE SHALL BE STORED AT THE PREMISES. NO GRAVEL AND/OR STONE STORAGE IS PROPOSED
 - OPERATING HOURS AT THE PREMISES SHALL NOT EXCEED THE FOLLOWING:
WHOLESALE NURSERY:
8:00AM TO 6:30PM MONDAY THROUGH FRIDAY
CLOSED SUNDAY
OFFICE:
7:00AM TO 8:30PM MONDAY THROUGH FRIDAY
8:00AM TO 5:00PM SATURDAY
CLOSED SUNDAY
 - COMMERCIAL TRUCKS AND OTHER EQUIPMENT MAY BE STARTED OUT OF DOORS BETWEEN NOV 1 AND APR 15 NOT BEFORE 7:30AM INDOORS ALL YEAR NOT BEFORE 7:00AM
WARM UP TIMES SHALL NOT EXCEED 30 MINUTES
 - EXCEPTIONS TO NOTE 6 ARE PROVIDED IN THE STIP. OF SETTLEMENT.
7 LIGHT DUTY TRUCKS



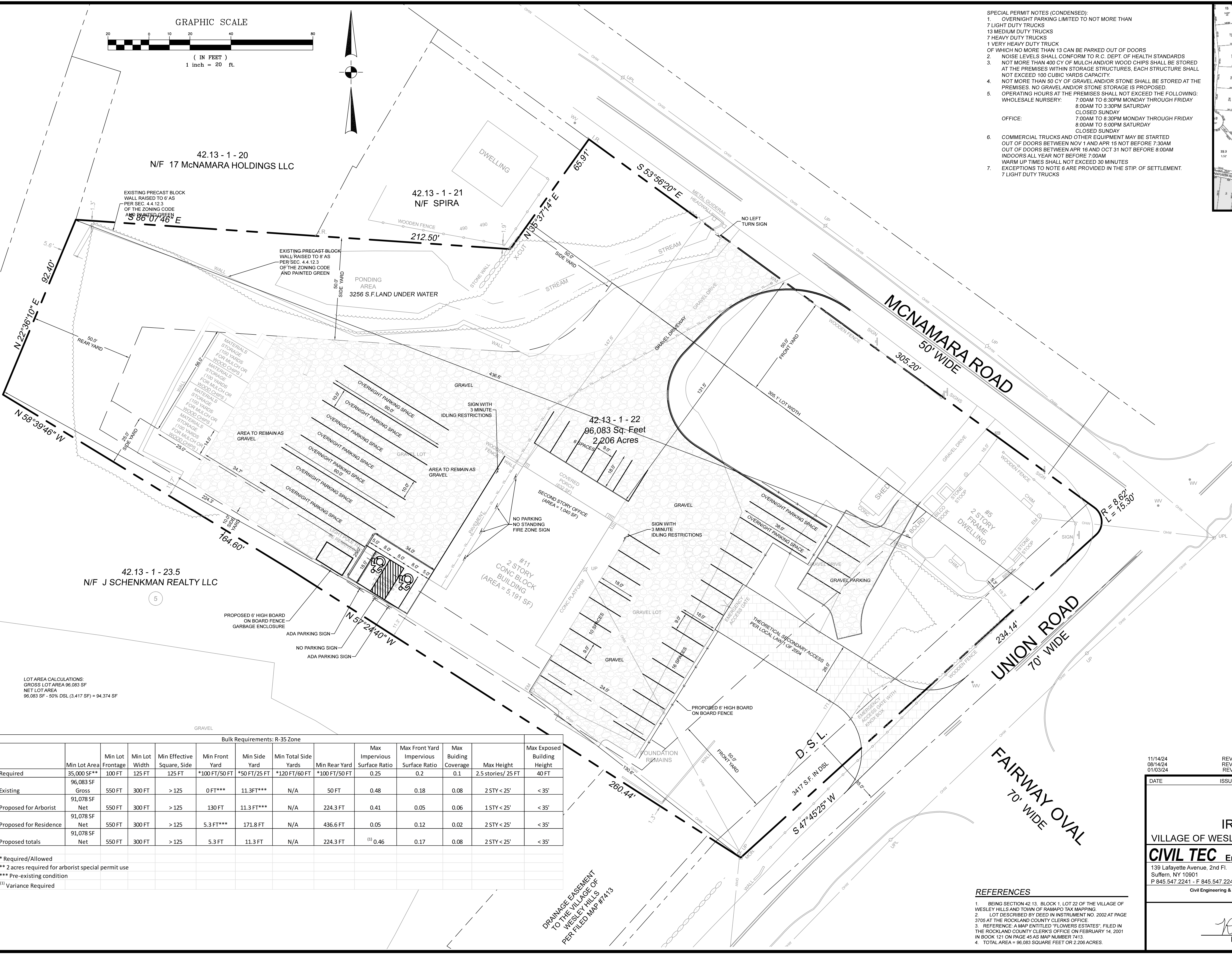
VICINITY MAP
1" = 300'

- SITE PLAN NOTES:
- THIS IS LOT SECTION 42.13 BLOCK 1 LOT 22 AS SHOWN ON THE TOWN OF RAMAPO TAX MAPS.
 - AREA OF TRACT: 2.21 ACRES
 - ZONE: R-35
 - USE: ARBORISTS
 - RECORD OWNER: IJJ, LLC
11 MCNAMARA ROAD
SPRING VALLEY, NY 10977
 - APPLICANT: SAME AS ABOVE
 - FIRE DISTRICT: MOLESTON FIRE DISTRICT
 - SCHOOL DISTRICT: EAST RAMAPO
 - WATER DISTRICT: VEOLIA WATER
 - SEWER DISTRICT: ROCKLAND COUNTY SEWER DISTRICT NO. 1
 - DATUM: NAVD83
 - ALL UTILITIES SHALL BE INSTALLED UNDERGROUND. ELECTRIC SERVICE SHALL BE CONDUIT OF NOT LESS THAN 2 INCH DIAMETER.
 - THERE ARE NO COVENANTS, DEED RESTRICTIONS, EASEMENTS OR OTHER RESERVATIONS OF LAND RELATIVE TO THIS SITE EXCEPT AS SHOWN ON THIS PLAN. SUBJECT TO THE FINDINGS OF A COMPLETE AND UP TO DATE TITLE SEARCH.
 - NO SIGN(S) OTHER THAN THOSE SHOWN ON THIS DRAWING ARE PERMITTED WITHOUT PRIOR APPROVAL OF THE PLANNING BOARD. TENANTS ARE TO BE ADVISED OF THIS CONDITION.
 - THE UNDERSIGNED, OWNER AND/OR APPLICANT, AS A CONDITION OF APPROVAL OF THIS SITE PLAN, HEREBY AGREES TO COMPLETE THE WITHIN SITE DEVELOPMENT PLAN AS DRAWN AND ALL IMPROVEMENTS AS SHOWN THEREON AS CONDITION OF THE ISSUANCE OF A BUILDING PERMIT. THE APPLICANT/OWNER IS AWARE THAT NO CHANGES IN THIS PLAN MAY BE MADE UNLESS APPROVED BY THE PLANNING BOARD.

APPLICANT	DATE	OWNER	DATE
17.	PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, AN AS-BUILT LANDSCAPING DRAWING SHALL BE SUBMITTED TO THE BUILDING INSPECTOR, PLANNING BOARD, AND DEPARTMENT OF PUBLIC WORKS WHICH IS CERTIFIED BY A LANDSCAPING ARCHITECT LICENSED TO PRACTICE IN THE STATE OF NEW YORK. SAID CERTIFIED LANDSCAPING DRAWING SHALL INDICATE THE DEGREE OF COMPLETION OF SAID LANDSCAPING IMPROVEMENTS IN ACCORDANCE WITH THE APPROVED SITE PLAN.		
18.	PLANS ARE BASED ON FIELD ENGINEERING DATA AND CERTIFIED HERETO.		

LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR DATE: BOUNDARY AND TOPOGRAPHIC SURVEYS ARE FROM ACTUAL FIELD MEASUREMENTS UNDER THE DIRECTION OF STEPHEN DOLSON, PLS COMPLETED ON MAY 2022.

- ALL ENCROACHMENTS SHALL BE RELOCATED.



LOT AREA CALCULATIONS:
GROSS LOT AREA 96,083 SF
NET LOT AREA
96,083 SF - 50% DSL (3,417 SF) = 94,374 SF

Bulk Requirements: R-35 Zone

	Min Lot Area	Min Lot Frontage	Min Lot Width	Min Effective Square, Side	Min Front Yard	Min Side Yard	Min Total Side Yards	Min Rear Yard	Max Impervious Surface Ratio	Max Front Yard Impervious Surface Ratio	Max Building Coverage	Max Height	Max Exposed Building Height
Required	35,000 SF**	100 FT	125 FT	125 FT	*100 FT/50 FT	*50 FT/25 FT	*120 FT/60 FT	*100 FT/50 FT	0.25	0.2	0.1	2.5 stories/ 25 FT	40 FT
Existing	96,083 SF Gross	550 FT	300 FT	> 125	0 FT***	11.3 FT***	N/A	50 FT	0.48	0.18	0.08	2 STY < 25'	< 35'
Proposed for Arborist	91,078 SF Net	550 FT	300 FT	> 125	130 FT	11.3 FT***	N/A	224.3 FT	0.41	0.05	0.06	1 STY < 25'	< 35'
Proposed for Residence	91,078 SF Net	550 FT	300 FT	> 125	5.3 FT***	171.8 FT	N/A	436.6 FT	0.05	0.12	0.02	2 STY < 25'	< 35'
Proposed totals	91,078 SF Net	550 FT	300 FT	> 125	5.3 FT	11.3 FT	N/A	224.3 FT	(1) 0.46	0.17	0.08	2 STY < 25'	< 35'

* Required/Allowed
** 2 acres required for arborist special permit use
*** Pre-existing condition
(1) Variance Required

DRAINAGE EASEMENT TO THE VILLAGE OF WESLEY HILLS PER FILED MAP #7413

- REFERENCES
- BEING SECTION 42.13, BLOCK 1, LOT 22 OF THE VILLAGE OF WESLEY HILLS AND TOWN OF RAMAPO TAX MAPPING
 - LOT DESCRIBED BY DEED IN INSTRUMENT NO. 2002 AT PAGE 3705 AT THE ROCKLAND COUNTY CLERKS OFFICE.
 - REFERENCE: A MAP ENTITLED "FLOWERS ESTATES" FILED IN THE ROCKLAND COUNTY CLERKS OFFICE ON FEBRUARY 14, 2001 IN BOOK 121 ON PAGE 45 AS MAP NUMBER 7413.
 - TOTAL AREA = 96,083 SQUARE FEET OR 2.206 ACRES.

11/14/24	REV 3	AS PER PLANNING BOARD COMMENTS	
08/14/24	REV 2	REMOVED FIRE ACCESS ROAD	
01/03/24	REV 1	AS PER CONSULTANTS COMMENTS	

S.B.L. 42.13 - 1 - 22
SITE PLAN
FOR
IRA WICKES ARBORISTS
VILLAGE OF WESLEY HILLS - ROCKLAND COUNTY - NEW YORK

CIVIL TEC Engineering & Surveying PC

139 Lafayette Avenue, 2nd Fl. Suffern, NY 10901
P 845.547.2241 - F 845.547.2243

55 Brookside Avenue
Chester, NY 10918
845.610.3621

Civil Engineering & Land Surveying Services that Build Confidence
www.Civil-Tec.com

DATE: 12/07/22
DRAWN BY: RB/LT
CHKD BY: RB/LT
JOB No.: 4131
SCALE: 1"=20'
DWG No.: 1 OF 05

Rachel B. Barese, P.E.
N.Y. Lic. No. 90143

INSTRUCTIONS

The following must be completed before the application is reviewed and scheduled for the Zoning Board of Appeals meeting:

1. Filing fee of \$150.00 for an existing residence, \$150.00 for actions involving new one-family residences plus \$100.00 per variance sought or \$350.00 plus \$100.00 per variance sought for all other applications plus actual publication sought.
2. Twelve copies of the application, twelve plot plans drawn to scale (showing setbacks and other dimensions) or twelve surveys that has been sworn or attested to as being true and accurate.
3. Twelve copies of a narrative describing why the applicant is appearing before the board.
4. Twelve copies of reference to the Zoning Board of Appeals (Building Inspector's determination, Code Inspector's determination, referral from the Planning Board or for an interpretation of the Zoning Code). No application can come for a variance without first being denied by the Building Inspector or Code Inspector or referred from the Planning Board.
5. List of names and addresses, along with stamped self-addressed envelopes, of all property owners within a 750 foot radius of the property covered in the application.
6. Twelve copies of a vicinity map.

The application must be received at least four weeks prior to be scheduled for a Zoning Board of Appeals meeting and is subject to the review by the Zoning Board of Appeals attorney. You will be notified as the date of the meeting. You will be provided with posters giving notice of the hearing which shall be posted in a conspicuous place visible from every street along the frontage of the property referred to in the application. These notices must be posted 10 days prior to the scheduled meeting.

PART I

Name of Municipality VILLAGE OF WESLEY HILLS Date _____

Please check all that apply:

<input type="checkbox"/> Planning Board	<input type="checkbox"/> Architectural Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Municipal Board	
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Pre-preliminary/Sketch
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Zoning Code Amendment	<input type="checkbox"/> Zone Change
<input checked="" type="checkbox"/> Variance * (Fill out Part II of this form.)	

Project Name: Ira Wickes/Arborist

Applicant: IJJ, LLC - John Wickes Phone # 845-354-3400

Address 11 McNamara Road, Spring Valley, NY 10977
Street Name & Number (Post Office) State Zip code

Property Owner: IJJ, LLC - John Wickes Phone # 845-354-3400

Address 11 McNamara Road, Spring Valley, NY 10977
Street Name & Number (Post Office) State Zip code

Engineer/Architect/Surveyor: Civil Tech - Rachel Barese, PE Phone # 845-547-2211

Address 139 Lafayette Avenue, Suffern, NY 10901
Street Name & Number (Post Office) State Zip code

Attorney: Emanuel Law, PC - Ira M. Emanuel, Esq. Phone # 845-634-4141

Address 4 Laurel Road, New City, NY 10956
Street Name & Number (Post Office) State Zip code

Contact Person: Ira M. Emanuel Phone # 845-634-4141

Address 4 Laurel Road, New City, NY 10956
Street Name & Number (Post Office) State Zip code

Tax Map Designation:

Section 42.13 Block 1 Lot(s) 22
Section _____ Block _____ Lot(s) _____

Location: On the South side of McNamara Road,
-0- feet West of Union Road (County Rte 80).

Acreage of Parcel 2.21 ac **Zoning District** R-35
School District East Ramapo Central School District **Postal District** Spring Valley

Project Description: *(If additional space required, please attach a narrative summary.)*

See attached Narrative

If subdivision:

- ~~1) Is any variance from the subdivision regulations required? _____
2) Is any open space being offered? ____ If so, what amount? _____~~

Project History: Has this project ever been reviewed before? Yes

If so, list case number, name, date, and the board you appeared before.

Rockland Tree Experts Co., d/b/a Ira Wickes - Planning and Zoning Boards; see attached Narrative

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

None

"Permission is hereby granted to the Village of Wesley Hills, its agents, servants and employees to enter upon the above described property solely for the purposes incidental to the within application at reasonable times upon reasonable notice to the owner or tenant in possession."

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 K, L, M, AND N.

- State or County Road
- State or County Park
- Long Path
- County Stream
- Municipal Boundary
- County Facility

List name(s) of facility checked above. County Routes 67 and 80; Village of New Hempstead

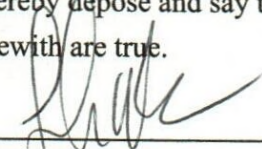
Applicant's Signature and Certification

State of New York)
County of Rockland) SS.:
Town/Village of Airmont

I, John Wickes, hereby depose and say that all the above statements contained in the papers submitted herewith are true.

PLEASE SIGN HERE


Mailing Address



 11 McNamara Road

 Spring Valley, NY 10977

SWORN to before this 2nd day of June, 2025



 Notary Public

JEAN MARC ARTHUR GERMAIN
 Notary Public - State of New York
 No. 01GE6296061
 Qualified in Rockland County
 My Commission Exp. 01/21/2026

Affidavit of Ownership/Owner's Consent

State of New York)
County of Rockland), SS.:
Town/Village of Airmont)

I, John Wickes being duly sworn, hereby
depose and say that I reside at: 18 Montclair Avenue, Airmont, NY 10952

in the county of Rockland in the state of New York.

I am the * member of LLC owner in fee simple of premises located at:
11 McNamara Road, Spring Valley

described in a certain deed of said premises recorded in the Rockland County Clerk's
Office in Instrument Number 2002-00003705

Said premises have been in my/its possession since 2002. Said premises are
also known and designated on the Town of Ramapo Tax Map as:
section 42.13 block 1 lot(s) 22

I hereby authorize the within application on my behalf, and that the statements of fact
contained in said application are true, and agree to be bound by the determination of the
board.

PLEASE SIGN HERE

Owner

Mailing Address

[Signature]
11 McNamara Road
Spring Valley, NY 10977

SWORN to before this
2nd day of June, 2025

[Signature]
Notary Public

JEAN MARC ARTHUR GERMAIN
Notary Public - State of New York
No. 01GE6296061
Qualified in Rockland County
My Commission Exp. 01/21/2026

* If owner is a corporation, fill in the office held by deponent and name of corporation,
and provide a list of all directors, officers and stockholders owning more than 5% of
any class of stock.

Affidavit Pursuant to Section 809 of the General Municipal Law

State of New York)
County of Rockland) SS.:
Town/Village of _____)

I, John Wickes, being duly sworn, hereby depose and say that all the following statements and the statements contained in the papers submitted herewith are true and that the nature and extent of any interests set forth are disclosed to the extent that they are known to the applicant.

1. Print or type full name and post office address

IJJ, LLC
11 McNamara Road
Spring Valley, NY 10977

certifies that he is owner or agent of all that certain lot, piece or parcel of land and/or building described in this application **and if not the owner that he has been duly and properly authorized to make this application and to assume responsibility for the owner in connection with this application for the relief below set forth:**

2. To the Zoning Board of Appeals of the ~~TOWN~~ Wesley Hills (Board, Commission or Agency), Rockland County, New York:

Application, petition or request is hereby submitted for:

- Variance or modification from the requirement of Section 230 Att. 1 - Table of Dimensions Reqt,
- Special permit per the requirements of Section _____;
- Review and approval of proposed subdivision plat;
- Exemption from a plat or official map;
- An order to issue a certificate, permit or license;
- An amendment to the Zoning Ordinance or Official Map or change thereof;
- Other (*explain*) _____;

To permit construction, maintenance and use of See attached Narrative.

3. Premises affected are in a R-35 zone and from the town of Ramapo tax map, the property is know as Section 42.13, Block, 1, Lot(s) 22.

4. There is no state officer, Rockland County Officer or employee or town/village officer or employee nor his or her spouse, brother, sister, parent, child or grandchild, or a spouse of any of these relatives who is the applicant or who has an interest in the person, partnership or association making this application, petition or request, or is an officer, director, partner or employee of the applicant, or that such officer or employee, if this applicant is a corporation, legally or beneficially owns or controls any stock of the applicant in excess of 5% of the total of the corporation if its stock is listed on the New York or American Stock Exchanges; or is a member or partner of the applicant, if the applicant is an association or a partnership; nor that such town/village officer or employee nor any member of his family in any of the foregoing classes is a party to an agreement with the applicant, express or implied, whereby such officer or employee may receive any payment or other benefit, whether or not for service rendered, which is dependent or contingent upon the favorable approval of this application, petition or request.

5. That to the extent that the same is known to your applicant, and to the owner of the subject premises **there is disclosed herewith** the interest of the following officer or employee of the State of New York or the County of Rockland or of the Town/Village of Wesley Hills in the petition, request or application or in the property or subject matter to which it relates:

(if none, so state)

- a. Name and address of officer or employee None
- b. Nature of interest _____
- c. If stockholder, number of shares _____
- d. If officer or partner, nature of office and name of partnership _____
- e. If a spouse or brother, sister, parent, child, grandchild or the spouse of any of these blood relatives of such state, county or town/village officer or employee, state name and address of such relative and nature of relationship to officer and employee and nature and extent of office, interest or participation or association having an interest in such ownership or in any business entity sharing in such ownership. _____

f. In the event of corporate ownership: A list of all directors, officers and stockholders of each corporation owning more than five (5%) percent of any class of stock, must be attached, if any of these are officers or employees of the State of New York, or of the County of Rockland, or of the Town/Village of Wesley Hills.

I, John Wickes, do hereby depose and say that all the above statements and statements contained in the papers submitted herewith are true, knowing that a person who knowingly and intentionally violates this section is guilty of a misdemeanor.

PLEASE SIGN HERE

Mailing Address

[Signature]
11 McNamara Road
Spring Valley, NY 10977

SWORN to before this

2nd day of June, 2025

[Signature]
Notary Public

JEAN MARC ARTHUR GERMAIN
Notary Public - State of New York
No. 01GE6296061
Qualified in Rockland County
My Commission Exp. 01/21/2026

VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

AFFIDAVIT OF OWNERSHIP


STATE OF NEW YORK }
COUNTY OF ROCKLAND } SS:
VILLAGE OF WESLEY HILLS }

John Wickes being duly sworn, deposes and
says that he/she resides at 18 Montclair Avenue, Airmont, NY 10952

_____ in the County of Rockland, State of New York; that he/she is the owner in
fee of all that certain lot, piece or parcel of land situated, lying and being
in the Village of Wesley Hills, and designated on the Town of Ramapo
Map as Section No. 42.13-1 Lot No. 22 and that he/she hereby
authorizes the attached application to be submitted in his/her behalf and
that the statements of fact contained in said application are true.

The applicant is the (owner) (contract vendee) of the said property.

PLEASE SIGN HERE

Owner: 

Address: 11 McNamara Road

Spring Valley, NY 10977

Sworn to before me this

2nd day of June 2025


Notary Public

JEAN MARC ARTHUR GERMAIN
Notary Public - State of New York
No. 01GE6296061
Qualified in Rockland County
My Commission Exp. 01/21/2026

VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

AFFIDAVIT OF POSTING

STATE OF NEW YORK }
COUNTY OF ROCKLAND } SS:
VILLAGE OF WESLEY HILLS }

_____ being duly sworn, deposes and
says that he/she is the applicant in the matter of an application before the
Village of Wesley Hills Zoning Board affecting property located at
_____, Wesley Hills, Town of Ramapo,
Rockland County, New York.

That on the _____ day of _____ 200__, he/she posted the
posters provided by the Zoning Board of the Village of Wesley Hills
giving notice of the hearing on this application in a conspicuous place
visible from every street along the frontage of the plot affected by this
application.

Sworn to before me this
_____ day of _____ 200__

Notary Public

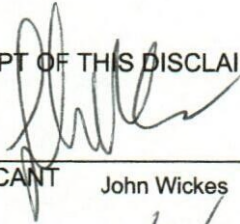
DISCLAIMER

APPLICANT TAKES FULL RESPONSIBILITY FOR RESEARCHING THE TAX MAP FOR THE LIST OF NAMES OF PROPERTY OWNERS ON THE ENCLOSED *AFFIDAVIT OF MAILING LIST*, AND SUPPLYING THE NECESSARY AMOUNT OF SELF-ADDRESSED STAMPED ENVELOPES.

THE APPLICANT'S ENVELOPES MUST COINCIDE WITH THE LIST. THE CLERK'S RESPONSIBILITY IS LIMITED TO CHECKING NAMES ON THE ENVELOPES AGAINST THE AFOREMENTIONED AFFIDAVIT BEFORE MAILING THEM.

RECEIPT OF THIS DISCLAIMER IS ACKNOWLEDGED

PLEASE SIGN HERE 



APPLICANT _____

John Wickes

DATED _____

6/2/2025

PART II

Application before the Zoning Board of Appeals

Application, petition or request is hereby submitted for:

- Variance from the requirement of Section 230 Att. 1 - Table of Dimensions Requirements ;
- Special permit per the requirements of Section _____ ;
- Review of an administrative decision of the Building Inspector;
- An order to issue a Certificate of Occupancy;
- An order to issue a Building Permit;
- An interpretation of the Zoning Ordinance or Map;
- Certification of an existing non-conforming structure or use;
- Other (*explain*) _____ ;

To permit construction, maintenance and use of _____

See attached narrative

NOT APPLICABLE

AS APPLICABLE, COMPLETE THE FOLLOWING:

- 1) SHORT ENVIRONMENTAL ASSESSMENT FORM
- 2) FULL ENVIRONMENTAL ASSESSMENT FORM

For access to the above State Environmental Quality Review forms:

<http://www.dec.ny.gov/public/6191.html>

INSTRUCTIONS

The following must be completed before the application is reviewed and scheduled for the Zoning Board of Appeals meeting:

7. Filing fee of \$150.00 for an existing residence, \$150.00 for actions involving new one-family residences plus \$100.00 per variance sought or \$350.00 plus \$100.00 per variance sought for all other applications plus actual publication sought.
8. Twelve copies of the application, twelve plot plans drawn to scale (showing setbacks and other dimensions) or twelve surveys that have been sworn or attested to as being true and accurate.
9. Twelve copies of a narrative describing why the applicant is appearing before the Board.
10. Twelve copies of reference to the Zoning Board of Appeals (Building Inspector's determination, Code Inspector's determination, referral from the Planning Board or for an interpretation of the Zoning Code). No application can come for a variance without first being denied by the Building Inspector or Code Inspector or referred from the Planning Board.
11. List of names and addresses, along with stamped self-addressed envelopes, of all property owners within a 750 foot radius of the property covered in the application.
12. Twelve copies of a vicinity map.

The application must be received at least four weeks prior to be scheduled for a Zoning Board of Appeals meeting and is subject to the review by the Zoning Board of Appeals attorney. You will be notified as the date of the meeting. You will be provided with posters giving notice of the hearing which shall be posted in a conspicuous place visible from every street along the frontage of the property referred to in the application. These notices must be posted 10 days prior to the scheduled meeting.

11/41.16-1-64
HARRIET LANE REALTY TRUST
JANET LITT L/E
5 HARRIETT LA
SPRING VALLEY, NY 10977

11/42.13-1-26
JOSEPH SAMUEL & ORAH
6 HARRIET LA
SPRING VALLEY, NY 10977

13/42.13-2-51.2
WILLIAMS WILSON H &
JOCELYN I
687 NEW HEMPSTEAD RD
NEW HEMPSTEAD, NY 10977

13/42.17-2-11
LUSTGARTEN TOBIN G &
SOCORRO
18 FAIRWAY OVAL
SPRING VALLEY, NY 10977

13/42.17-2-10
GRUNFELD ABRAHAM
17 HERRICK AVENUE
SPRING VALLEY, NY 10977

13/42.17-2-5
FROMMER BENJAMIN J &
TZIVIA B
14 FAIRWAY OVAL
SPRING VALLEY, NY 10977

13/42.17-2-4
AHMED JAVED
12 FAIRWAY OVAL
SPRING VALLEY, NY 10977

13/42.17-2-12
VIDERS JAY & ELAINE
20 FAIRWAY OVAL
SPRING VALLEY, NY 10977

13/42.17-2-3
KNOBLOCH DAVID & TRANY
12A FAIRWAY OVAL
SPRING VALLEY, NY 10977

13/42.17-1-5.2
CIMENT CHAIM
6 GRANDVIEW AVENUE
NEW HEMPSTEAD, NY 10977

13/42.17-1-5.1
PLASSART DENNIS &
PATRICIA
PO BOX 629
NEW CITY, NY 10956

13/42.17-2-13
WEISS JONATHAN
72 REAGAN RD
SPRING VALLEY, NY 10977

13/42.17-1-4
COLLAZO EDUARDO A
14 GRANDVIEW AVE
SPRING VALLEY, NY 10977

13/42.17-2-6
SEKULA TZVI
42 ELLISH PKWY
SPRING VALLEY, NY 10977

13/42.17-1-3
SIMMONS LESLIE J
18 GRANDVIEW AVE
SPRING VALLEY, NY 10977

13/42.17-1-2
CHRISTERER FRANZ & DORIS
22 GRANDVIEW AV
SPRING VALLEY, NY 10977

13/42.17-2-9
CIMENT YITZCHOK & CHAYA
9 FAIRWAY OVAL
SPRING VALLEY, NY 10977

13/42.17-2-2
HENRY PAULINE
10 FAIRWAY OVAL
NEW HEMPSTEAD, NY 10977

13/42.17-2-14
LEITNER NAFTALI
3 KILE CT
AIRMONT, NY 10952

13/42.17-2-7
MOSTER USHER YESHAYA &
MALKA
9 KAUFMAN COURT
MONSEY, NY 10952

13/42.17-2-1
DAVILA MIGUEL & IVONNE
8 FAIRWAY OVAL
SPRING VALLEY, NY 10977

13/42.17-2-8
ROSENBERGER CHAIM &
CHANA DEVORAH
11 FAIRWAY OVAL
SPRING VALLEY, NY 10977

13/42.13-2-58
SOLOMAN SHLOMA ZALMAN
26 FAIRWAY OVAL
NEW HEMPSTEAD, NY 10977

13/42.13-2-61
RUTNER JOSEPH
3 FAIRWAY OVAL
SPRING VALLEY, NY 10977

13/42.13-2-62
GALATZ GITTY
6 FAIRWAY OVAL
SPRING VALLEY, NY 10977

13/42.13-2-59
OSTREICHER MORDECHAI
DAVID & ESTHER
APT 4B
446 MARCY AVE
BROOKLYN, NY 11206

11/41.16-2-31
SWERDLOFF YITZCHOK
35 GRANDVIEW AV
SPRING VALLEY, NY 10977

11/41.16-2-30
GRANDVIEW HOUSE SV BSD LL
48 SOMERS AVENUE
BEGENFIELD, NJ 07621

11/42.13-1-23.2
KOEGL DAVID ARI & DEBBIE
F
16 HARRIET LA
SPRING VALLEY, NY 10977

13/42.13-2-63
KRAUSZ JOSEPH
4 FAIRWAY OVAL
SPRING VALLEY, NY 10977

13/42.13-2-60
GOLDMAN GEDALY
MOSHE YOSEF & BLIMY
1 FAIRWAY OVAL
SPRING VALLEY, NY 10977

13/42.13-2-56
FARKAS YOSEF &
CHANA GITTY
30 FAIRWAY OVAL
SPRING VALLEY, NY 10977

11/42.13-1-23.1
ALEXANDER ROSELYND
9 HARRIET LA
SPRING VALLEY, NY 10977

11/42.13-1-24
EISENBERGER STEVEN
& BONNIE
10 HARRIETT LA
SPRING VALLEY, NY 10977

11/41.16-1-66
BREIER NACHMEN
4 SKYLARK DR
SPRING VALLEY, NY 10977

11/42.13-1-25
TAUB YAKOV & TRANA
8 HARRIET LA
SPRING VALLEY, NY 10977

11/42.13-1-20
17 MCNAMARA HOLDINGS LLC
C/O ALEXANDER GAVRIEL
16 SQUADRON BLVD
NEW CITY, NY 10956

13/42.13-2-51.1
OSTER MEIR
689 NEW HEMPSTEAD RD
SPRING VALLEY, NY 10977

13/42.13-2-67.1
NITZLICH DOVID
32 MCNAMARA RD
SPRING VALLEY, NY 10977

13/42.13-2-68
SEIF YEHUDA & MIRIAM
38 MC NAMARA RD
NEW HEMPSTEAD, NY 10977

11/42.13-1-23.3
SENER ARI &
RIVKA REBECCA
14 HARRIETT LN
WESLEY HILLS, NY 10977

13/42.13-2-64
BRAUN SARAH & YEHOSHUA
2 FAIRWAY OVAL
SPRING VALLEY, NY 10977

13/42.13-2-55
STEIN CHAYA Y &
YOMTOV
32 FAIRWAY OVAL
SPRING VALLEY, NY 10977

13/42.13-2-53
KATZ SHIMSHON H & RACHEL
36 FAIRWAY OVAL
NEW HEMPSTEAD, NY 10977

11/42.13-1-23.5
KOHL JACOB
25 SLATVIA RD
SPRING VALLEY, NY 10977

11/42.13-1-21
SPIRA YOSEF
15 MC NAMARA ROAD
SPRING VALLEY, NY 10977

11/41.16-1-62
BREUER ABRAHAM
3 SKYLARK DR
SPRING VALLEY, NY 10977

11/42.13-1-27
SCOTT JUDITH
4 HARRIETT LA
SPRING VALLEY, NY 10977

13/42.13-2-65
SCHOOR LEGACY TRUST
692 NEW HEMPSTEAD RD
NEW HEMPSTEAD, NY 10977

11/41.16-1-45
KEHILAS YESHORIM OF
WESLEY HILLS
1 HARRIETT LA
WESLEY HILLS, NY 10977

13/42.13-2-57
ISKOWITZ STANLEY R +
SUSAN R
28 FAIRWAY OVAL
SPRING VALLEY, NY 10977

11/42.13-1-23.4
KIRSCHNER URI & TZIPORA
C/O SILBERBERG &
KIRSCHNER LLP
360 LEXINGTON AV 13TH FL
NEW YORK, NY 10017
13/42.13-2-54
APPEL SAMUEL
PO BOX 871
MONSEY, NY 10952

11/41.16-1-65
KOSCHITZKI JACK & FAIGE
7 HARRIETT LA
SPRING VALLEY, NY 10977

11/42.13-1-22
IJJ LLC
C/O IRA WICKES ARBORIST
11 MC NAMARA RD
SP VALLEY, NY 10977

13/42.13-2-52
STEIER FAMILY TRUST &
WEISS MOSHE & DIDI
699 NEW HEMPSTEAD ROAD
NEW HEMPSTEAD, NY 10977

11/41.16-1-63
COHEN BEN Z &
HUSARSKY ESTHER ROSE
3 HARRIETT LA
WESLEY HILLS, NY 10977

11/42.13-1-19
TWENTY NINE MCNAMARA
HOLDINGS LLC
16 SQUADRON BLVD SUITE 106
WESLEY HILLS, NY 10956

11/42.13-1-16
ROSENFELD CHAIM ISRAEL &
ESTHER CHAYA
6 TAMMY ROAD
WESLEY HILLS, NY 10977

11/42.13-1-17
TELLER LEONARD & LINDA
IRREVOCABLE TRUSTS
4 TAMMY RD
SPRING VALLEY, NY 10977

Item 3.

11/42.13-1-18
BREUER ABRAHAM
2 TAMMY RD
SPRING VALLEY, NY 10977

13/42.13-2-11
MUNDT PAUL F & NORINE S
IRREV INCOME ONLY TRUST
690 NEW HEMPSTEAD RD
SPRING VALLEY, NY 10977

13/42.13-2-50
RAMAPO TOWN OF 35-0406
237 RT 59
SUFFERN, NY 10901

13/42.13-2-69
FORTYMACK LLC
P.OBOX 350-169
BROOKLYN, NY 11235

13/42.13-2-10
SAFER B JAMES + EDITH M
49 PENNINGTON WAY
SPRING VALLEY, NY 10977

11/42.13-1-12
SHIPPER JACOB & CYVIA
LEGACY TRUST
1 TAMMY RD
SPRING VALLEY, NY 10977

13/42.13-2-70
BACK RIVKAH D &
COHN SHALOM
44 MC NAMARA RD
SPRING VALLEY, NY 10977

11/42.13-1-13
KAHN ZEV & ALIZA KLUGMANN
3 TAMMY RD
SPRING VALLEY, NY 10977

13/42.13-2-3
HERSHKOWITZ RALPH &
LAUREN
4 WAYNE RD
SPRING VALLEY, NY 10977

~~13/42.13-2-65.1
SCHOOR LEGACY TRUST
692 NEW HEMPSTEAD RD
NEW HEMPSTEAD, NY 10977~~

GML Report

Property Information:	
Parcel ID: 42.13-1-22	Date Parcel: February 2024
OLD ID: 10-11B2	Address: 5 MC NAMARA RD
City: SPRING VALLEY	State: NY
Zip: 10977	Book Page: N/A
Deed Date: 1/18/2002 12:00:00 AM	Instrument: 2002-00003705
Municipality: WESLEY HILLS	Deed Acres: 0
GIS Calculated Acres: 2.180	
Zone: R-35	
GML Criteria:	
Requires GML Review: YES	Adjacent Town Boundary: NO
Adjacent Village Boundary: YES N.H.	Orange County Boundary: NO
County Facility: NO	NYS Facility: NO
County Park: NO	State Park: NO
County Regulated Streams: NO	Long Path Hiking Trail: NO
ROW-County Highways: YES	ROW-NYS Highway: NO
ROW-NYS Thruway: NO	ROW-Palisades Interstate Parkway: NO
X Coordinate: -74.05364259	Y Coordinate: 41.14863619

ROCKLAND COUNTY DEPARTMENT OF PLANNING
REFERRAL FORM FOR GENERAL MUNICIPAL LAW REVIEWS

Municipality: Village of Wesley Hills

Date Sent: 7/18/2025

Board: ___ Planning ZBA ___ Town/Village

Meeting Date: 8/13/2025

File Name Wickes-11 McNamara Road
Contact Person Alicia Schultz, Deputy Village Clerk
Address 432 Route 306
Wesley Hills, NY 10952

Referral Agencies

(Please indicate the agencies that have also received copies of this application)

- RC Highway Department
- RC Division of Environmental Resources
- RC Drainage Agency
- RC Department of Environmental Health (Sewers, Water, Mosquito Code, Underground Tanks)
- RC Sewer District #1
- NYS Department of Environmental Conservation
- NYS Department of Transportation
- NYS Thruway Authority
- NY-NJ Trail Conference (Long Path)
- Palisades Interstate Park Commission
- US Army Corps of Engineers
- Cornell Cooperative Extension of Rockland County
- Adjacent Municipality- Village of New Hempstead
- Other- _____

Pursuant to the General Municipal Law Article 12-B, Section

- 239 (n): ___ Subdivision
- 239 (l) & (m): ___ Site Plan ___ Variance
- ___ Special Permit ___ Zone Change/Amendment
- Other- _____

Location of Parcel(s): 11 (5) McNamara Road

Acreage of Parcel (s): 2.180

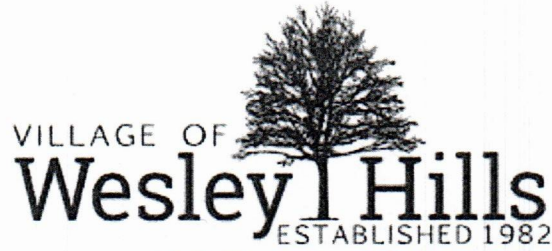
Existing Sq. Footage _____ Proposed Sq. Footage _____

The Property in Question Lies Within 500 Feet of:

- County Road ___ State Road, Thruway, or Parkway
- County Stream ___ State Park
- County Park Village, Town, or County Boundary
- County or State Facility

Map 42.13 Block 1 Lot(s) 22 Map (rev) Date: November 14, 2024

Current Zoning: R-35



432 Route 306

Wesley Hills, N.Y. 10952-1221

Phone: 845-354-0400 Fax: 845-354-4097 www.wesleyhills.gov

Email: BuildingDept@wesleyhills.gov

PUBLIC HEARING NOTICE

PLEASE TAKE NOTICE that a public hearing will be held by the Zoning Board of Appeals of the Village of Wesley Hills on the 13th day of August, 2025 at 7:30 P.M. at the Village Hall, 432 Route 306, Wesley Hills, New York 10952 to consider the application submitted by IJJ, LLC-John Wickes for a variance from the -provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills to permit the maintenance and use of an arborist facility having impervious surface ratio of .46 instead of the maximum permitted of .25.

The subject premises are situated on the south side of McNamara Road 0 feet west of Union Road, known as 11 McNamara Road, designated on the Tax Map as Section 42.13 Block 1 Lot 22, in an R-35 Zoning District.

Copies of the aforesaid application are available for review at the office of the Village Clerk/Treasurer, Village of Wesley Hills, 432 Route 306, Wesley Hills, New York 10952 between the hours of 9 AM. and 4 P.M. Mondays through Fridays, exclusive of holidays.

Dated: Wesley Hills, New York
August 1, 2025

Camille Guido-Downey
Village Clerk/Treasurer
Village of Wesley Hills

ACTUAL SIZE

VILLAGE OF WESLEY HILLS PUBLIC HEARING NOTICE

PLEASE TAKE NOTICE that a public hearing will be held by the Zoning Board of Appeals of the Village of Wesley Hills on the 13th day of August, 2025 at 7:30 P.M. at the Village Hall, 432 Route 306, Wesley Hills, New York 10952 to consider the application submitted by IJJ, LLC-John Wickes for a variance from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills to permit the maintenance and use of an arborist facility having impervious surface ratio of .46 instead of the maximum permitted of .25.

The subject premises are situated on the south side of McNamara Road 0 feet west of Union Road, known as 11 McNamara Road, designated on the Tax Map as Section 42.13 Block 1 Lot 22, in an R-35 Zoning District.

Copies of the aforesaid application are available for review at the office of the Village Clerk/Treasurer, Village of Wesley Hills, 432 Route 306, Wesley Hills, New York 10952 between the hours of 9 AM. and 4 P.M. Mondays through Fridays, exclusive of holidays.

Dated: Wesley Hills, New York
August 1, 2025

Camille Guido-Downey
Village Clerk/Treasurer
Village of Wesley Hills
1x7-31/28097

RECEIVED
VILLAGE OF WESLEY HILLS
JUL 28 2025
BUILDING,
PLANNING & ZONING

ROCKLAND COUNTY TIMES

Offices: 119 Main Street (2nd Floor) • Nanuet, NY 10954-2882 • Tel (845) 627-1414 • Fax (845) 627-1411

Legal Notice:

(Ref. No.: 28097)

AFFIDAVIT OF PUBLICATION

STATE OF NEW YORK)
) ss:
COUNTY OF ROCKLAND)

TERESA WARNER of the Town of Orangetown, County of Rockland, State of New York, being duly sworn says that she is the Principal Clerk of the **ROCKLAND COUNTY TIMES**, a newspaper published in the Town of Clarkstown, County of Rockland, State of New York, and that the legal notice of which the annexed is a copy was published in the issue of: *JULY 31, 2025.*

Teresa Warner
TERESA WARNER

Sworn to before me this

31 day of *July* 2025

Walter H Sanchez
NOTARY PUBLIC, STATE OF NEW YORK

WALTER H SANCHEZ
Notary Public, State of New York
Registration No. 01SA4857488
Qualified in Queens County
Filed in Rockland County
Commission Expires April 21, 2026

**VILLAGE OF WESLEY HILLS
PUBLIC HEARING NOTICE**

PLEASE TAKE NOTICE that a public hearing will be held by the Zoning Board of Appeals of the Village of Wesley Hills on the 13th day of August, 2025 at 7:30 P.M. at the Village Hall, 432 Route 306, Wesley Hills, New York 10952 to consider the application submitted by IJJ, LLC-John Wickes for a variance from the -provisions of Section 230-17 Attachment 1 of the Code of the Village of Wesley Hills to permit the maintenance and use of an arborist facility having impervious surface ratio of .46 instead of the maximum permitted of .25.

The subject premises are situated on the south side of McNamara Road 0 feet west of Union Road, known as 11 McNamara Road, designated on the Tax Map as Section 42.13 Block 1 Lot 22, in an R-35 Zoning District.

Copies of the aforesaid application are available for review at the office of the Village Clerk/Treasurer, Village of Wesley Hills, 432 Route 306, Wesley Hills, New York 10952 between the hours of 9 AM. and 4 P.M. Mondays through Fridays, exclusive of holidays.

Dated: Wesley Hills, New York
August 1, 2025

Camille Guido-Downey
Village Clerk/Treasurer
Village of Wesley Hills
1x7-31/28097

THE UNIVERSITY OF CHICAGO
LIBRARY

3000

THE UNIVERSITY OF CHICAGO
LIBRARY

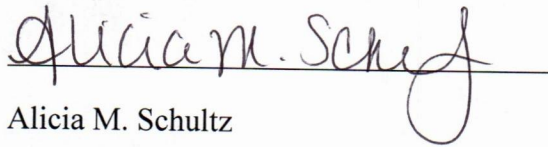
THE UNIVERSITY OF CHICAGO
LIBRARY

**Village of Wesley Hills
432 Route 306
Wesley Hills, NY 10952**

Applicant Name: 11 (5) McNamara Road

CERTIFICATION

I, Alicia Schultz, Deputy Village Clerk of the Village of Wesley Hills, hereby certify that on the 31st day of July 2025, I mailed the attached notice by regular first class mail in all envelopes submitted to me by the Applicant addressed to all those names appearing on the affidavit of Property Owners by depositing same in an official depository under exclusion care and custody of the United States Postal Office within the State of New York.



Alicia M. Schultz

Deputy Village Clerk

ROCKLAND COUNTY SEWER DISTRICT NO. 1

4 Route 340
Orangeburg, New York 10962
Phone: (845) 365-6111 Fax: (845) 365-6686
RCSD@co.rockland.ny.us

Michael Specht
Chairman

Michael R. Saber, P.E.
Executive Director

August 13, 2025

Ms. Alicia Schultz
Deputy Village Clerk
Village of Wesley Hills
432 Route 306
Monsey, NY 10952

Re: Ira Wickes/Arborists
11 McNamara Road
Tax Lot 11/42.13-1-22 (formerly 10./11/B2)

Dear Ms. Schultz:

Our office has received and reviewed a site plan that was last revised on November 14, 2024, which Civil Tec Engineering & Surveying prepared for the above referenced project. We thank you for the opportunity to comment on this application. Our comments are as follows:

1. The sanitary sewers from this site are connected to the District's sewer system.
 - a. Upon review of this application, the District has determined that an impact fee is required, in accordance with Sections 502A and 1317 of the Rockland County *Sewer Use Law* as last amended in 2010.
 - b. Approval of this application for an emergency access road onto a 96,083 square foot lot in the R-35 District,
 - i. to which tax rolls dating back to 2012 assign two (2) sewer units,
 - ii. which contains a commercial structure with a landscaping business, and
 - iii. which contains a residential structure with a two-family dwelling,

will result in one (1) additional sewer unit. **Therefore, the applicant must submit a check in the amount of one thousand eight hundred fifty dollars (\$1,850.00) payable to Rockland County Sewer District No. 1 within thirty (30) days of approval.**

Rocklandgov.com

- c. If the use or occupancy of the property exceeds three (3) units (e.g., with additional dwelling units), the District will require further review and the owner will have to pay an additional impact fee.
- d. Payment of the impact fee must be made to the District **before the structure is connected** to the sewerage system.
- e. We request that the Board notify the District upon approval of the project.

2. As this is a non-residential project, Rockland County Sewer District No. 1's "Commercial/ Non-residential Wastewater Questionnaire" and the County Planning Information Certification must be submitted at <https://www.rocklandcountyny.gov/departments/sewer-district-1/permits-forms> and approved by this office for the landscaping business. **The owner must sign the wastewater questionnaire.**

Please inform us of all developments in this project. If you have any questions, please contact this office at 845-365-6111.

Very truly yours,



Lorelei Greene Tinston
Engineer I

cc: M. Saber M. Dolphin M. Castro D. Gregory J. Roth
Dyan Rajasingham – Rockland County Highway Department
Rachel Barese, P.E. – Civil Tec Engineering & Surveying PC, 139 Lafayette Avenue, 2nd
Floor, Suffern, NY 10901-5614
Ira F. Wickes, Jr. – 11 McNamara Road, Spring Valley, NY 10977-1404
John Wickes – 18 Montclair Avenue, Airmont, NY 10952

File: TOR 42.13-1-22 – Rockland Tree Experts
Impact Fees
Reader


EMANUEL LAW P.C.

Ira M. Emanuel, Esq. | Amy Mele, Esq. *Of Counsel*
Counsel to Freeman & Loftus, RLLP

Four Laurel Road
New City, NY 10956

Info@EmanuelLaw.com

www.EmanuelLaw.com

Tel: 845-634-4141

August 13, 2025

Wesley Hills Zoning Board of Appeals
432 Route 306
Wesley Hills, NY 10952
Att: Alicia Schultz

Re: IJJ, LLC – (Ira Wickes/Arborist)

Dear Members:

We represent the applicant in the above matter, which is scheduled for tonight. In preparing for the meeting, I noted that, while mailings went out at least ten days prior to the meeting, posters were not put up until August 5, six days prior.

The Zoning Code provides:


Notice of hearing. Notice of hearing shall be published in the official newspaper at least 10 days prior to the date of such hearing. Notice shall also be sent 10 days prior to the date of such hearing to all property owners within 750 feet of the perimeter of the property, in the same manner as is required for zoning amendments changing the district classification of land, as set forth in § [230-78](#) of this chapter. The applicant shall cause signs to be posted on such property on each street frontage indicating the date and purpose of such hearing. The costs of all such notice shall be paid by the applicant.

§ 230-41.D

The Code is clear that publication and mailing must occur ten days prior to the hearing, but is silent as to the time for posting. However, I am aware that the instructions given to applicants state that posting must occur ten days before the hearing, and that the practice of the Board is to require such timing.

Given the foregoing, we wish to avoid any question regarding the posting of the public hearing notices. Therefore, we ask that the public hearing be adjourned to the Board’s September 2025 meeting.

Very truly yours,
EMANUEL LAW, PC

By: 
Ira M. Emanuel

Cc: Client

File Attachments for Item:

4. Application submitted by Ahuva Katz Cherns for an interpretation of Section 230-140(5) of the Code of the Village of Wesley Hills, and if appropriate, for a variance from the provisions of Section 230-140(5) of the Code of the Village of Wesley Hills, to permit the maintenance and use of a cabana that is 2,337 square feet instead of the maximum permitted of 900 square feet.

The subject premises are situated on the north side of Willow Tree Road approximately 700 feet west of State Route 306, known as 38 Willow Tree Road, designated on the Tax Map as Section 41.07 Block 2 Lot 33, in an R-50 Zoning District.



May 21, 2025

Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

RECEIVED
VILLAGE OF WESLEY HILLS
MAY 22 2025
BUILDING,
PLANNING & ZONING

Re: *The Katz Residence, 38 Willow Tree Road, Wesley Hills, NY*

To the Wesley Hills Zoning Board of Appeals,

My client, Ahuva Katz, is requesting a variance for a cabana that is currently under construction at 38 Willow Tree Road. Due to a misunderstanding between the Village and my client, about the definition of Accessory Structure vs. Accessory Building, a building permit was issued for the cabana, and subsequently the Village Engineer discovered the misclassification.

Accessory buildings are limited to a ground floor area of 900 sf while Accessory Structures are limited to 2,500 sf (without planning board approval). The cabana in question is 2,337 sf, where 900 sf is allowed per section 230-14 O(5), therefore a variance is required.

We believe that the threshold of "practical difficulty" has been met and therefore the variance should be granted. In making its determination, the Zoning Board of Appeals should consider the following factors:

1. Due to the nature of the variance being sought, the benefits to the applicant, if the variance is granted, outweigh any detriment to the health, safety, and welfare of the neighborhood or community.
2. Due to the nature of the variance, no undesirable change will be produced in the character of the neighborhood and no detriment to nearby properties will be created by the granting of the variance.
3. The variance is from the allowable 900 sf to 2,337 sf. The variance is mitigated by the common ownership of two properties, 36 & 38 Willow Tree Road. Both properties are quite large and therefore the cabana will not appear to overwhelm the open space of the two adjoining backyards.

The proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood due to the reasons outlined in items 1-3. Thank you for your attention in this matter.

Sincerely,



RECEIVED
VILLAGE OF WESLEY HILLS

MAY 22 2025

BUILDING
PLANNING & ZONING
Date 5/14/25

PART I

Name of Municipality VILLAGE OF WESLEY HILLS

Please check all that apply:

<input type="checkbox"/> Planning Board	<input type="checkbox"/> Architectural Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Municipal Board	
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Pre-preliminary/Sketch
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Zoning Code Amendment	<input type="checkbox"/> Zone Change
<input checked="" type="checkbox"/> Variance * (Fill out Part II of this form.)	

Project Name: KATZ-CHERNS CABANA

Applicant: AHUVA KATZ CHERNS Phone # _____
 Address 38 WILLOW TREE RD MONSEY NY 10952
Street Name & Number (Post Office) State Zip code

Property Owner: AHUVA KATZ CHERNS Phone # _____
 Address 38 WILLOW TREE ROAD MONSEY NY 10952
Street Name & Number (Post Office) State Zip code

Engineer/Architect/Surveyor: PAUL GDANSKI Phone # _____
 Address 3512 WHITTER COURT MAHWAH NJ 07430
Street Name & Number (Post Office) State Zip code

ARCHITECT
 Attorney: TODD ROSENBLUM Phone # _____
 Address 221 QUAKER RD POMONA NY 10970
Street Name & Number (Post Office) State Zip code

Contact Person: TODD ROSENBLUM Phone # 845-369-0337
 Address _____
Street Name & Number (Post Office) State Zip code

Tax Map Designation: 41.07-2-33

Section _____ Block _____ Lot(s) _____

Section _____ Block _____ Lot(s) _____

Location: On the NORTH side of WILLOW TREE RD.,
700 feet WEST of NYS ROUTE 306.

Acreeage of Parcel 97,808 SF Zoning District R50

School District EAST RAMAPO Postal District MONSEY

Project Description: (If additional space required, please attach a narrative summary.)

SEE ATTACHED NARRATIVE LETTER.

If subdivision:

- 1) Is any variance from the subdivision regulations required? NA
- 2) Is any open space being offered? ___ If so, what amount? NA

Project History: Has this project ever been reviewed before? YES

If so, list case number, name, date, and the board you appeared before.

2/12/23 ZBA APPLICATION FOR SIDE
YARD VARIANCES WHICH WERE GRANTED.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

36 WILLOW TREE RD.
41.07-2-32

"Permission is hereby granted to the Village of Wesley Hills, its agents, servants and employees to enter upon the above described property solely for the purposes incidental to the within application at reasonable times upon reasonable notice to the owner or tenant in possession."

This property is within 500 feet of: NA
(Check all that apply)

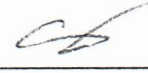
IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 K, L, M, AND N.

- | | |
|---|---|
| <input type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path | <input type="checkbox"/> County Stream |
| <input type="checkbox"/> Municipal Boundary | <input type="checkbox"/> County Facility |

List name(s) of facility checked above. _____

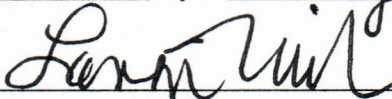
Applicant's Signature and Certification

State of New York
County of Rockland) SS.: WESLEY HILLS
Town/Village of _____

I, AHUVA KATZ , hereby depose and say that all the above statements contained in the papers submitted herewith are true.

Mailing Address AHUVA KATZ
38 WILLOW TREE RD
MONSIEY NY 10952

SWORN to before this
21st day of May, 2025



Notary Public

LAUREN HIRSCH
Notary Public - State of New Jersey
My Commission Expires Feb 16, 2026

Affidavit of Ownership/Owner's Consent

State of New York)
County of Rockland) SS.: WESLEY HIRS
Town/Village of _____

I, AHUVA KATZ being duly sworn, hereby
depose and say that I reside at: 38 WILLOW TREE ROAD

in the county of ROCKLAND in the state of NEW YORK

I am the * _____ owner in fee simple of premises located at:
38 WILLOW TREE ROAD

described in a certain deed of said premises recorded in the Rockland County Clerk's
Office in Liber _____ of conveyances, page _____
BAKER ESTATES SEC 1 MAP# 5892 BOOK #105 PAGE #49
5/19/86.

Said premises have been in my/its possession since MR 9/13/22. Said premises are
also known and designated on the Town of RAMAPO Tax Map as:
section _____ block _____ lot(s) _____
41.07-2-33

I hereby authorize the within application on my behalf, and that the statements of fact
contained in said application are true, and agree to be bound by the determination of the
board.

Owner AHUVA KATZ
Mailing Address 38 WILLOW TREE
MONTEFAY INY 10952

SWORN to before this
21st day of May, 20 25

Lauren Hirsch
Notary Public



* If owner is a corporation, fill in the office held by deponent and name of corporation,
and provide a list of all directors, officers and stockholders owning more than 5% of
any class of stock.

Affidavit Pursuant to Section 809 of the General Municipal Law

State of New York)
County of Rockland) SS.:
Town/Village of WESLEY HILLS

I, AHUVA KATZ AS, being duly sworn, hereby depose and say that all the following statements and the statements contained in the papers submitted herewith are true and that the nature and extent of any interests set forth are disclosed to the extent that they are known to the applicant.

1. Print or type full name and post office address

AHUVA KATZ
38 WILLOW TREE
MONSEY NY 10952

certifies that he is owner or agent of all that certain lot, piece or parcel of land and/or building described in this application **and if not the owner that he has been duly and properly authorized to make this application and to assume responsibility for the owner in connection with this application for the relief below set forth:**

2. To the ZONING BOARD OF APPEALS of the Town/Village of WESLEY HILLS (Board, Commission or Agency), Rockland County, New York:

Application, petition or request is hereby submitted for:

- Variance or modification from the requirement of Section 230-14 0(5);
- Special permit per the requirements of Section _____;
- Review and approval of proposed subdivision plat;
- Exemption from a plat or official map;
- An order to issue a certificate, permit or license;
- An amendment to the Zoning Ordinance or Official Map or change thereof;
- Other (explain) _____;

To permit construction, maintenance and use of AN ACCESSORY BUILDING

3. Premises affected are in a R50 zone and from the town of ZAMAPO tax map, the property is know as Section _____, Block, _____, Lot(s) 41.07-2-33.

4. There is no state officer, Rockland County Officer or employee or town/village officer or employee nor his or her spouse, brother, sister, parent, child or grandchild, or a spouse of any of these relatives who is the applicant or who has an interest in the person, partnership or association making this application, petition or request, or is an officer, director, partner or employee of the applicant, or that such officer or employee, if this applicant is a corporation, legally or beneficially owns or controls any stock of the applicant in excess of 5% of the total of the corporation if its stock is listed on the New York or American Stock Exchanges; or is a member or partner of the applicant, if the applicant is an association or a partnership; nor that such town/village officer or employee nor any member of his family in any of the foregoing classes is a party to an agreement with the applicant, express or implied, whereby such officer or employee may receive any payment or other benefit, whether or not for service rendered, which is dependent or contingent upon the favorable approval of this application, petition or request.

5. That to the extent that the same is known to your applicant, and to the owner of the subject premises **there is disclosed herewith** the interest of the following officer or employee of the State of New York or the County of Rockland or of the Town/Village of WESLEY HILLS in the petition, request or application or in the property or subject matter to which it relates:

(if none, so state)

- a. Name and address of officer or employee YISROEL CHERTS
VILLAGE TRUSTEE
- b. Nature of interest OWNER
- c. If stockholder, number of shares _____
- d. If officer or partner, nature of office and name of partnership _____
- e. If a spouse or brother, sister, parent, child, grandchild or the spouse of any of these blood relatives of such state, county or town/village officer or employee, state name and address of such relative and nature of relationship to officer and employee and nature and extent of office, interest or participation or association having an interest in such ownership or in any business entity sharing in such ownership. _____

f. In the event of corporate ownership: A list of all directors, officers and stockholders of each corporation owning more than five (5%) percent of any class of stock, must be attached, if any of these are officers or employees of the State of New York, or of the County of Rockland, or of the Town/Village of WESLEY HILLS.

I, AHUVA KATZ, do hereby depose and say that all the above statements and statements contained in the papers submitted herewith are true, knowing that a person who knowingly and intentionally violates this section is guilty of a misdemeanor.

Mailing Address

AHUVA KATZ
38 WILLOW TREE RD.
MONSIEY NY 10952

SWORN to before this

21st day of May, 2025
Lauren Hirsch
Notary Public



VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

AFFIDAVIT OF OWNERSHIP

STATE OF NEW YORK }
COUNTY OF ROCKLAND } SS:
VILLAGE OF WESLEY HILLS }

AHUVA KATZ being duly sworn, deposes and
says that he/she resides at 38 WILLOW TREE RD.

in the County of Rockland, State of New York; that he/she is the owner in
fee of all that certain lot, piece or parcel of land situated, lying and being
in the Village of Wesley Hills, and designated on the Town of Ramapo
Map as Section No. 41,07-2-33 Lot No. _____ and that he/she hereby
authorizes the attached application to be submitted in his/her behalf and
that the statements of fact contained in said application are true.
The applicant is the (owner) (contract vendee) of the said property.

Owner: AHUVA KATZ ac
Address: 38 WILLOW TREE RD.
MONSEY, NY 10952

Sworn to before me this
21st day of May 2025
Lauren Hirsch
Notary Public



Item 4.



41.07-1-6

41.10-2-16

41.11-1-16

11/41.11-1-19
WESLEY HILLS CENTER LLC
3 CAVALRY DRIVE
NEW CITY, NY 10956

11/41.11-1-12
BORGES D & J & NADOFF Y &
IMER N, & NOMI
IMER & KORNGOLD JAY &
ANNETTE
2 WINDWARD LA

11/41.11-2-1
ONE HUNDRED SIXTY SIX
E WILLOW TREE REALTY LLC
166 EAST WILLOW TREE ROAD
WESLEY HILLS, NY 10977

11/41.07-2-30
RAMAPO TOWN OF
237 RT 59
SUFFERN, NY 10901

11/41.07-2-28
GORDON S MARTIN TRUSTEE
DATED 1/14/2000
2697 N OCEAN BLVD, F708
BOCA RATON, FL 33431

11/41.07-2-37
KATSOFF IRWIN & JUDY
11 BAKER LA
SUFFERN, NY 10901

11/41.07-2-35
GAMIL ROEI
42 WILLOW TREE RD
MONSEY, NY 10952

11/41.07-2-31
34 WILLOW TREE LLC
34 WILLOW TREE RD
WESLEY HILLS, NY 10952

11/41.07-2-34
JACOBOWITZ GILAH R
40 WILLOW TREE RD
MONSEY, NY 10952

11/41.07-1-31
REMEZ MICHAEL & ARONOFF
MIRIAM
2 PEARL DR
MONSEY, NY 10952

11/41.11-1-18
KAM REALTY CORP
475 RT 306
MONSEY, NY 10952

11/41.11-1-14
WESLEY HILLS VILLAGE OF
432 RT 306
MONSEY, NY 10952

11/41.11-1-13
NADOFF YEHUDA
68 WILLOW TREE RD
WESLEY HILLS, NY 10952

11/41.07-1-49
WEISBORD MIRIAM
RECHOV BE'ER SJEVA 4/10
BEIT SHEMESH ISRAEL 99096

11/41.07-2-27
NADAV MATITYAHU & AYELET
129 E WILLOWTREE RD
SPRING VALLEY, NY 10977

11/41.07-2-38
ZLOTNICK DOVID & MEIRA
9 BAKER LA
SUFFERN, NY 10901

11/41.07-2-26
MERMELSTEIN DEENA
485 ROUTE 306
MONSEY, NY 10952

11/41.07-2-32
CHERNS YISROEL
1 MARK DRIVE
SPRING VALLEY, NY 10977

11/41.07-2-46
D.F.C. BAKER LANE FAMILY
LIMITED PARTNERSHIP
12 BAKER LANE
SUFFERN, NY 10901

11/41.07-2-21
GINSBERG YEHUDA G &
DVORA N
6 VANESSA DR
SUFFERN, NY 10901

11/41.11-1-17
HOLY FAMILY SYRO-MALABAR
CATHOLIC CHURCH ROCKLAND
NY INC OF ST THOMAS SYRO-
MALABAR CATHOLIC DIOCESE
5 WILLOW TREE RD

11/41.11-1-16
HOLY FAMILY SYRO-MALABAR
CATHOLIC CHURCH ROCKLAND
NY INC OF ST THOMAS SYRO-
MALABAR CATHOLIC DIOCESE
5 WILLOW TREE RD

11/41.07-2-29
THREE SEVENTY SEVEN
ROUTE 306-MONSEY LLC
536 MAIN STREET
NEW PALTZ, NY 12561

11/41.07-2-44
KANN MICHAEL &
WEINGARTEN-KANN PHYLLIS
8 BAKER LA
SUFFERN, NY 10901

11/41.07-1-39
MEKAITAN ARIEL & ORTAL
2 TOBEY LA
MONSEY, NY 10952

11/41.07-2-36
ZUTLER AARON & DEBBIE
13 BAKER LA
SUFFERN, NY 10901

11/41.07-1-38
KIRSH MENDEL
1 PEARL DR
MONSEY, NY 10952

11/41.07-2-33
KATZ AHUVA
38 WILLOW TREE RD
MONSEY, NY 10952

11/41.07-2-45
PNZ 10B LLC
10 BAKER LA
SUFFERN, NY 10901

11/41.07-2-20
LEDU DANIEL & BARBARA
5 VANESSA DR
SUFFERN, NY 10901

11/41.07-2-12
 IRVING FAMILY LIVING
 TRUST
 9 JUNIPER TERR
 SUFFERN, NY 10901

11/41.07-2-19
 TEICHMAN STEVEN & SHIRA
 3 VANESSA DR
 SUFFERN, NY 10901

11/41.07-2-25
 SUEZ WATER NY
 461 FROM RD
 PARAMUS, NJ 07652

11/41.07-2-18
 COHEN IZAK & SARA C
 1 VANESSA DR
 SUFFERN, NY 10901

11/41.07-1-15
 HEADLEY HAROLD &
 JACQUELINE
 15 LIME KILN RD
 SUFFERN, NY 10901

11/41.07-1-9
 STREICHER NAOMI
 PO BOX 343
 POMONA, NY 10970

11/41.07-1-14
 KAUFMAN YEHUDAH & RISA
 17 LIME KILN RD
 SUFFERN, NY 10901

11/41.07-2-11
 TGTAG INVESTMENTS LLC
 7 JUNIPER TERR
 SUFFERN, NY 10901

11/41.07-2-13
 COURT JEROME H + RAE
 6 JUNIPER TERR
 SUFFERN, NY 10901

11/41.07-2-24
 KAPLAN WILLIAM & MARINA
 22 LIME KILN RD
 SUFFERN, NY 10901

11/41.07-2-17
 RHODES REID S & BASYA
 28 LIME KILN RD
 SUFFERN, NY 10901

11/41.07-1-12
 FELDSTEIN WALTER
 IRREVOCABLE TRUST
 31 DANA ROAD
 MONSEY, NY 10952

11/41.07-1-16
 AFERGAN DAVID & MAZAL
 13 LIME KILN RD
 SUFFERN, NY 10901

11/41.07-1-13
 STEINER DAVID A & LANA
 19 LIME KILN RD
 SUFFERN, NY 10901

11/41.07-2-22
 CAPUANO ANDREW & HENEDINA
 4 VANESSA DR
 SUFFERN, NY 10901

11/41.07-2-14
 JUNIPER TERRACE REALTY
 LLC
 77 BRENNER DRIVE
 CONGERS, NY 10920

11/41.07-2-23
 KONIG JUSTIN & MALLORY
 24 LIME KILN ROAD
 SUFFERN, NY 10901

11/41.07-2-16
 ZEIDMAN MITCHELL +
 MICHELE
 30 LIME KILN RD
 SUFFERN, NY 10901

11/41.07-1-10
 BERKOWITZ JEROME &
 MARALYN
 25 LIME KILN RD
 SUFFERN, NY 10901

11/41.07-1-8
 REZNIK DAVID & HELENE
 29 LIME KILN RD
 SUFFERN, NY 10901

11/41.07-1-11
 WESLEY HILLS SYNAGOGUE
 C/O J. CHESIR
 23 LIME KILN RD
 SUFFERN, NY 10901

DISCLAIMER

APPLICANT TAKES FULL RESPONSIBILITY FOR RESEARCHING THE TAX MAP FOR THE LIST OF NAMES OF PROPERTY OWNERS ON THE ENCLOSED *AFFIDAVIT OF MAILING LIST*, AND SUPPLYING THE NECESSARY AMOUNT OF SELF-ADDRESSED STAMPED ENVELOPES.

THE APPLICANT'S ENVELOPES MUST COINCIDE WITH THE LIST. THE CLERK'S RESPONSIBILITY IS LIMITED TO CHECKING NAMES ON THE ENVELOPES AGAINST THE AFOREMENTIONED AFFIDAVIT BEFORE MAILING THEM.

RECEIPT OF THIS DISCLAIMER IS ACKNOWLEDGED

AHUVA KATZ 
APPLICANT

5/21/25
DATED

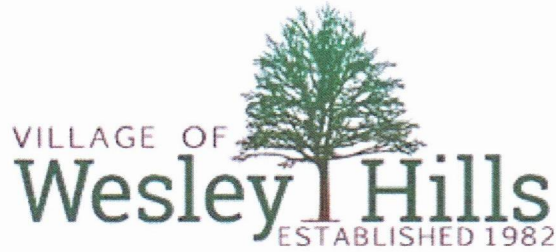
PART II

Application before the Zoning Board of Appeals

Application, petition or request is hereby submitted for:

- Variance from the requirement of Section 230-14 0(5);
- Special permit per the requirements of Section _____;
- Review of an administrative decision of the Building Inspector;
- An order to issue a Certificate of Occupancy;
- An order to issue a Building Permit;
- An interpretation of the Zoning Ordinance or Map;
- Certification of an existing non-conforming structure or use;
- Other (*explain*) _____;

To permit construction, maintenance and use of AN ACCESSORY BUILDING.



432 Route 306
Wesley Hills, N.Y. 10952-1221

Phone: 845-354-0400 Fax: 845-354-4097 www.wesleyhills.org

Dated: May 28, 2025
 Tax Parcel ID: 41.07-2-33
 Address: 38 Willow Tree Road
 Applicant: Ahuva Katz

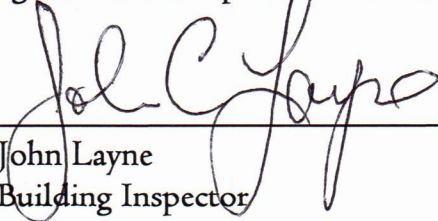
BUILDING AND ZONING DEPARTMENT:

I issued building permit #24-0038 for the construction of a cabana which is approximately 2,300 sf. When issuing that permit, I utilized the Village Code, definition of an accessory structure and not the definition of an accessory building.

After consulting with my colleagues and reviewing the definitions of accessory structure and accessory building, I understand that I have misinterpreted the code and issued a permit under the accessory structure and not accessory building.

As the definitions state, an accessory structure may be under 2,500 sf and an accessory building must be no larger than 900sf. The cabana is already constructed on the property.

Therefore, based on the misinterpretation of the Zoning Law, Section 230-I4O(5), I am sending the Applicant to the ZBA for guidance and a possible variance.

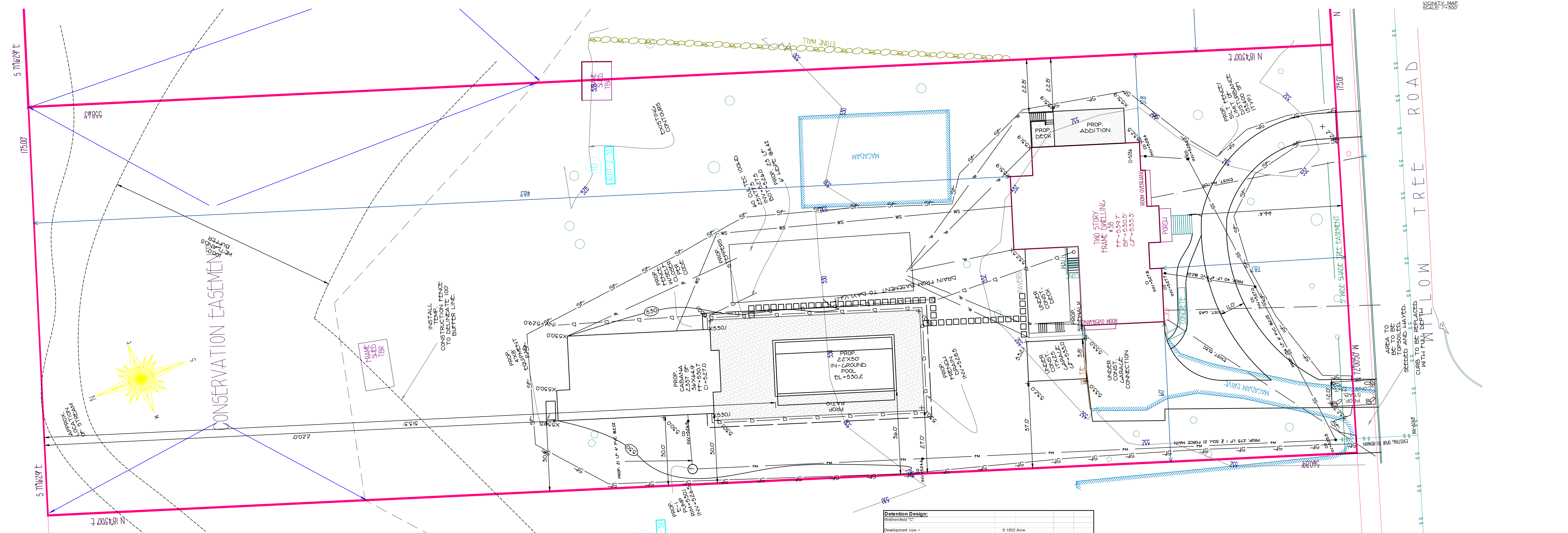
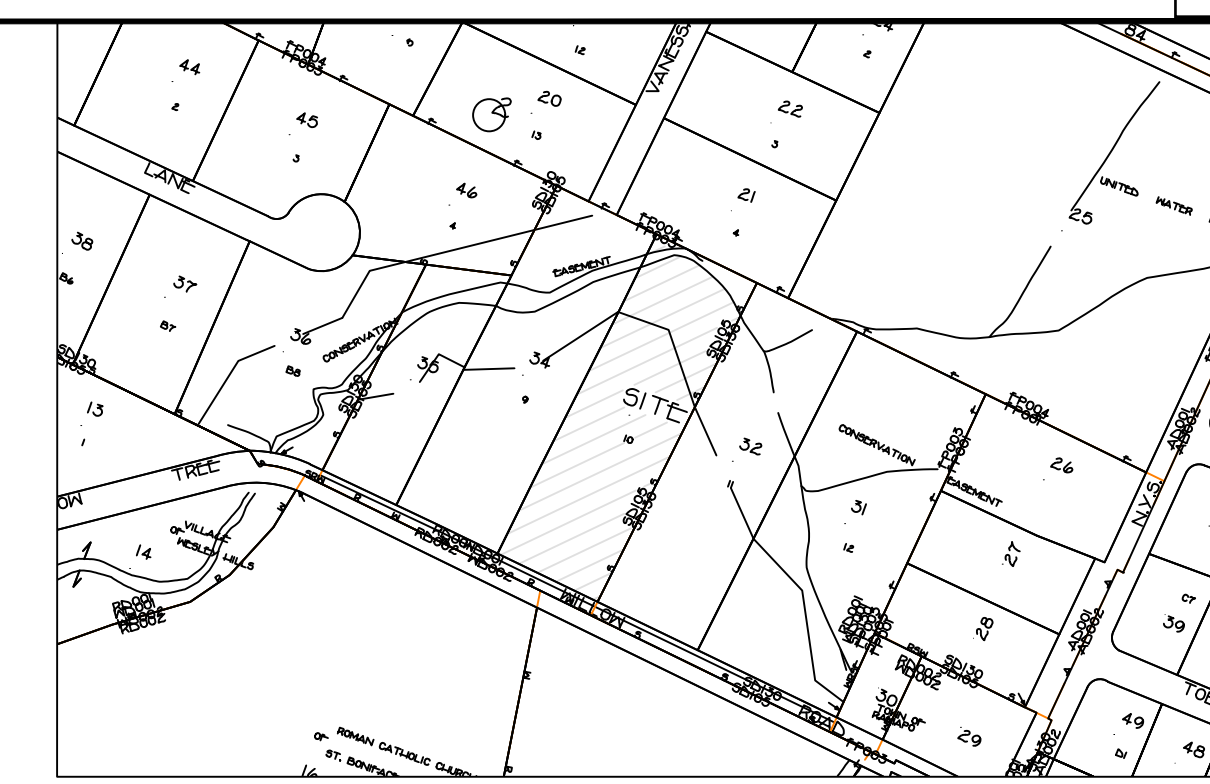

 John Layne
 Building Inspector

cc: Zoning Board of Appeals

REFERENCES:
 -ALL BOUNDARY & TOPOGRAPHIC INFORMATION IS REFERENCED FROM A SURVEY PREPARED BY ANTHONY R. CELENTANO, PLS. LAST REVISED JULY 1, 2022.

BEING LOT 10 ON A CERTAIN MAP ENTITLED "SUBDIVISION OF BAKER ESTATES SECTION 1" FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP #5892 BOOK #105 PAGE #49 ON 05/19/1986.

- NOTES:
1. IF LOWEST FLOOR TO BE FINISHED IS BELOW THE UPSTREAM RIM ELEVATION AN EXTERIOR CHECK VALVE WILL BE REQUIRED.
 2. THE VILLAGE ENGINEER MUST BE GIVEN 48 HOURS NOTICE BEFORE PRIOR TO DRAINAGE INSTALLATION.
 3. SOIL PERCOLATION TESTING FOR THE DRYWELLS SHALL BE DONE PRIOR TO THE INSTALLATION OF THE DRYWELLS.
 4. GRAVEL SURFACES IN THE FRONT SHALL BE REMOVED AND REPLACED WITH PERVIOUS SURFACE.



IMPERVIOUS COVERAGE:
 DWELLING & PORCH=3781 SF
 DRIVEWAY AND WALK=2550 SFTBRI
 BASEBALL COURT=2550 SF
 EXIST. SLID=233 SF
 BASEMENT STAIRS=61 SF
 EXIST. TOTAL=6625 SF
 PROP. DECK=638 SF
 PROP. WALK=309 SF
 PROP. GARAGE & GARAGE CONNECTION=427 SF
 PROP. REAR SIDEWALK=176 SF
 PROP. CABANA=2337 SF
 PROP. POOL=1248 SF
 PROP. RATIO=2.707 SF
 PROP. STEPPERS=240 SF
 PROP. SLID=120 SF
 PROP. ADDITION=454 SF (12/5/25)
 PROP. DECK=150 SF (12/5/25)
 PROP. CONC. PAD=12 SF (12/5/25)
 PROP. TOTAL=19269 SF
 INCREASE FROM PREVIOUS APPROVAL
 19269 SF-11502 SF=8067 SF INCREASE

FRONT YARD IMPERVIOUS RATIO:
 EXIST.
 DRIVEWAY & WALK=2555 SF
 AREA=11621 SF
 F.Y.I.A.=2555/11621=0.218

PROP.
 DRIVEWAY & WALK=2639 SF
 AREA=11621 SF
 F.Y.I.A.=2558/11621=0.220

MAXIMUM BUILDING COVERAGE (CALCULATION PER ZONING LAMP)
 SQUARE FOOTAGE OF BUILDINGS LESS THAN 15' HEIGHT OR 1-1/2 STORIES-
 EXIST.
 DECK=638 SF
 FRONT PORCH=117 SF
 TOTAL=2200+1425+628+117=4280 SF
 MAX. COV.=755 SF/ 4280 SF =0.05+0.10=0.109
 COV.=4280/97898=0.044

PROP.
 TOTAL=5515 SF EXIST. PER AS-BUILT
 CABANA=2337 SF
 ADDITION=454 SF
 DECK=150 SF
 TOTAL=8456 SF
 COV.=8456 SF/97898 SF=0.0864

VILLAGE OF WESLEY HILLS BULK REQUIREMENTS
 ZONE R-50
 SINGLE FAMILY DWELLING

	MINIMUM LOT AREA (SQ FT)	MINIMUM LOT FRONTAGE (FT)	MINIMUM LOT WIDTH (FT)	MINIMUM EFFECTIVE SQUARE SIDE (FT)	FRONT YARD (FT)	SIDE YARD (FT)	TOTAL SIDE YARD (FT)	REAR YARD (FT)	MAXIMUM IMPERVIOUS SURFACE RATIO	MAXIMUM FRONT YARD IMPERVIOUS SURFACE RATIO	MAXIMUM BUILDING COVERAGE PER ARCH	MAXIMUM BUILDING HEIGHT (STORIES/FT)	MAXIMUM EXPOSED BUILDING HEIGHT (FT)	SIDE POOL (FT)	REAR POOL (FT)	SIDE YARD (FT)	REAR YARD (FT)	REAR CAB.
REQD	50,000	100	150	150	50	30	75	50	0.20	0.22	0.109/0.10	2.5 / 25	40	15	15	30	50	
EXIST.	97,898	175.0	175.0	150	66.4	37.8	97.8	418.3	0.118	0.218	0.040	2/25'	34'	NA	NA	NA	NA	
PROD.	97,898	175.0	175.0	150	66.4	22.8**	59.8**	418.3	0.20	0.220	0.0864	2/25'	34'	36.0/27.0	31.3/286.8	50.0	220.0	

** VARIANCE GRANTED 4/24/25
 *** VARIANCE FOR ACCESSORY BUILDING OVER 900 SF

Detention Design:

Watershed "C"

Development size	0.1852 Acre
Undeveloped SCS Curve No.	74.0000
Developed SCS Curve No.	98.0000
1. Select Design Storm	
100 year, 24-hour	9.3000
2. Type of subsurface disposal system.	
Collector 100 HD w/6" stone	
3. Determine Percolation Rate:	
Percolation Rate:	1.0000 inches
Drop	60.0000 minutes
4. Area of Percolation (A _p):	
Surface area of Cylinder:	
A _c =πr ² h	
h=	1.0000 foot
r=	8.5000 inches
A _c =	2.2253 F ²
Bottom Area	
A _b =πr ²	0.7854 F ²
A _p =	
5. Calculate Required Storage Volume:	
V _{24hr} = 24 hour rainfall	9.3000 inches
From Table 2-1 of TR-55	
Existing C _i =	74.0000 therefore depth V _i = 6.11 inches
Proposed C _i =	98.0000 therefore depth V _p = 9.10 inches
Delta V _i =	2.9900 inches
A _p =bottom Area	
V _{24hr} =	2010.0275 F ³

5/29/25 CABANA
 5/20/25 ADD VAR.
 5/17/25 REVISE
 4/28/25 NOTE
 3/18/25 REVISE SETBACK
 2/23/25 PER TEST

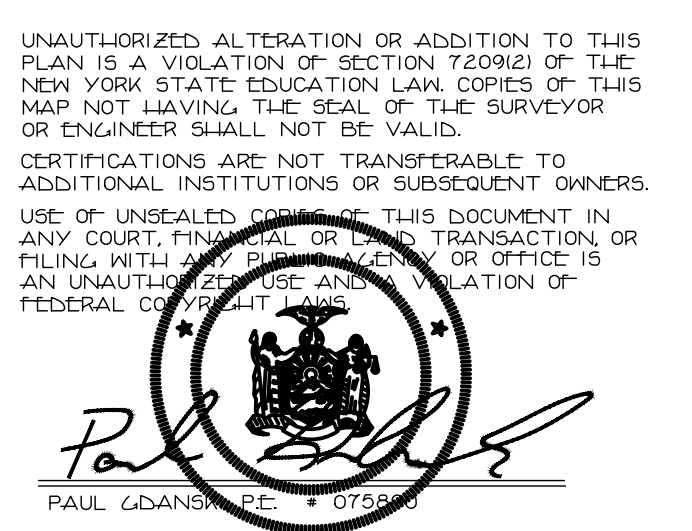
REVISIONS
2/5/25 ADD ADDITION
11/25/24 REVISE CABANA
11/19/24 ADD CABANA
7/12/24 CHANGE POOL/PATIO
9/26/23 REVISE
7/27/23 MOVE GARAGE
6/20/23 ADD POOL/PATIO
12/16/22 PER COMMENTS
11/30/22 ADD DRIVE

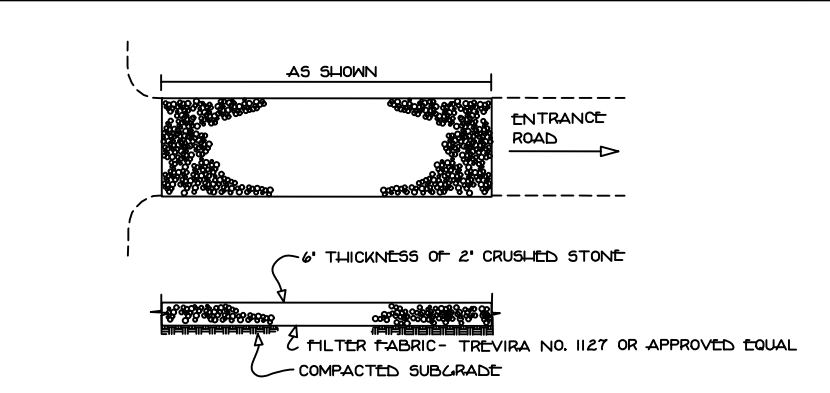
PLOT PLAN FOR
 38 WILLOW TREE ROAD
 41.07-2-33
 LOCATED IN THE
 VILLAGE OF WESLEY HILLS
 ROCKLAND COUNTY, NEW YORK

GRAPHIC SCALE: 0 10 20 30 40 50

PAUL GDANSKI, PE, PLLC
 3512 WHITTIER COURT
 MALDEN, N.J. 07430
 TEL: (917) 418-0999

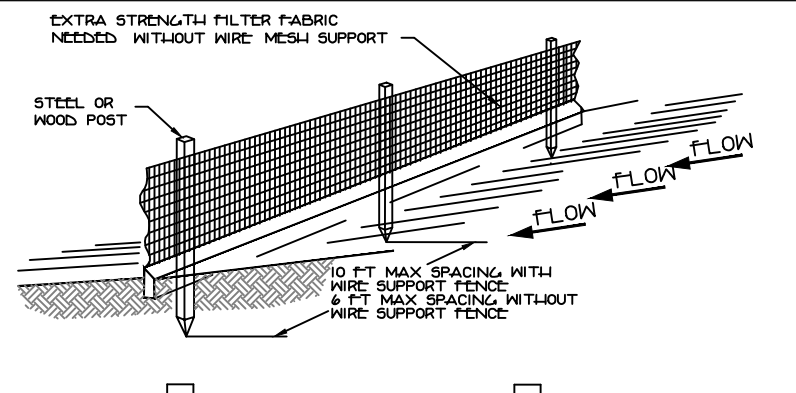
38WILLOW
 SEPT. 29, 2025
 1" = 20'
 1 OF 2



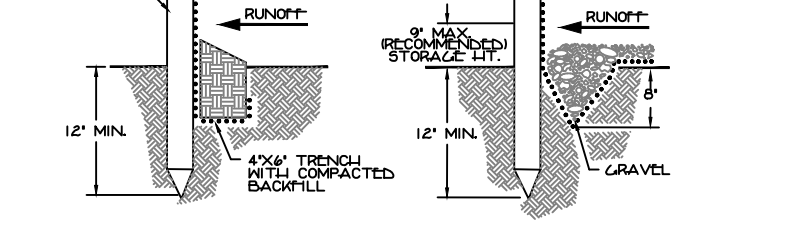


STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

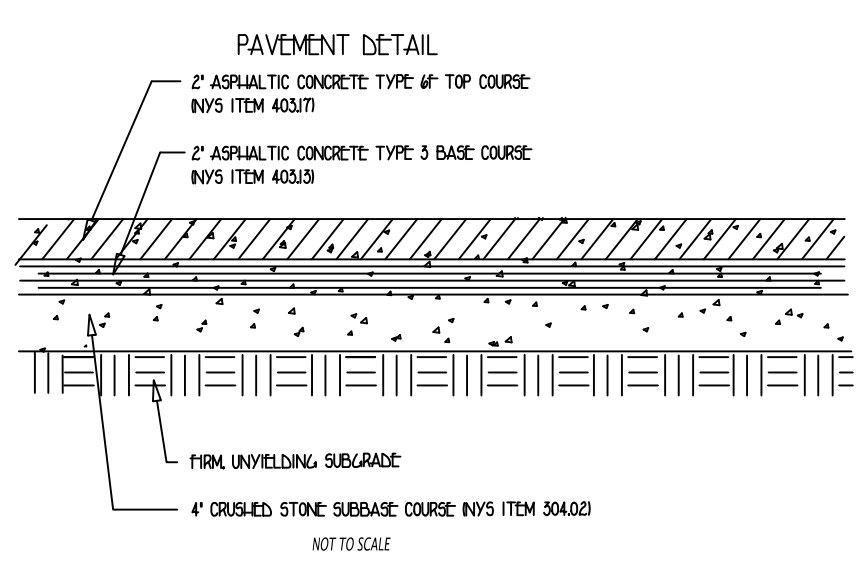
- CONSTRUCTION SPECIFICATIONS:**
- STONE SIZE - USE 1-4 INCH STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - NOT LESS THAN 50 FEET.
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - TWELVE (12) FOOT MINIMUM BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
 - GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5% SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



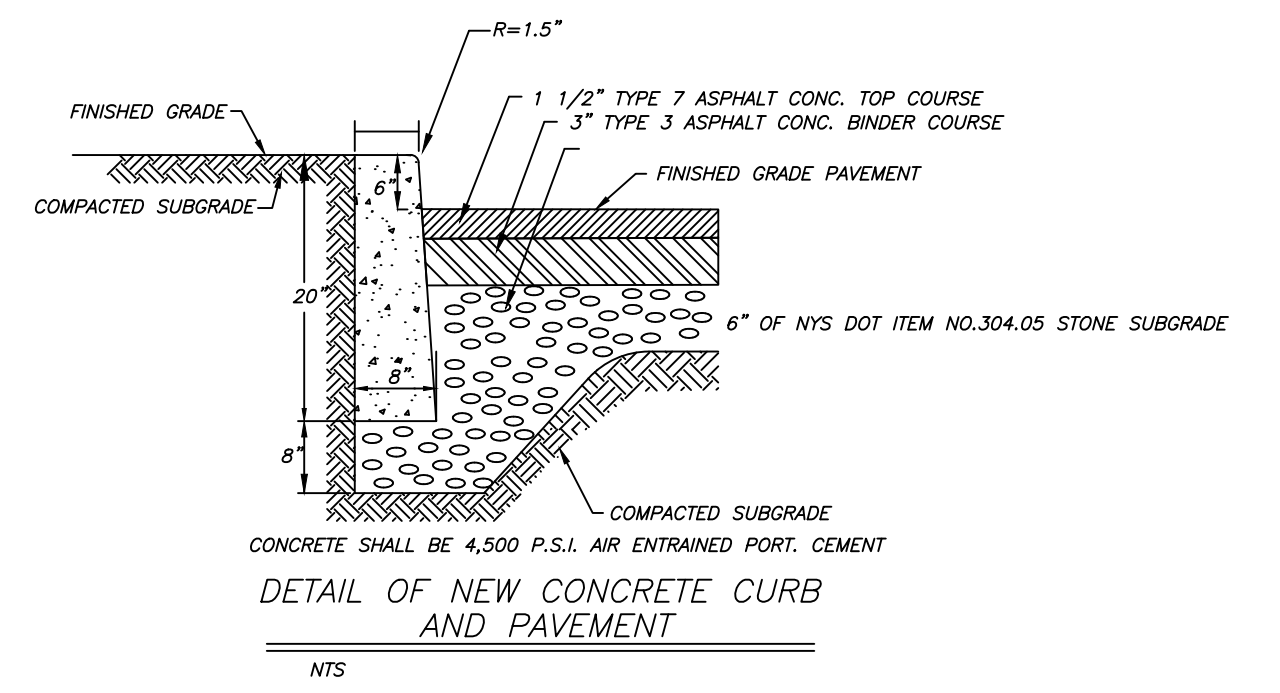
STANDARD DETAIL
TRENCH WITH NATIVE SOIL



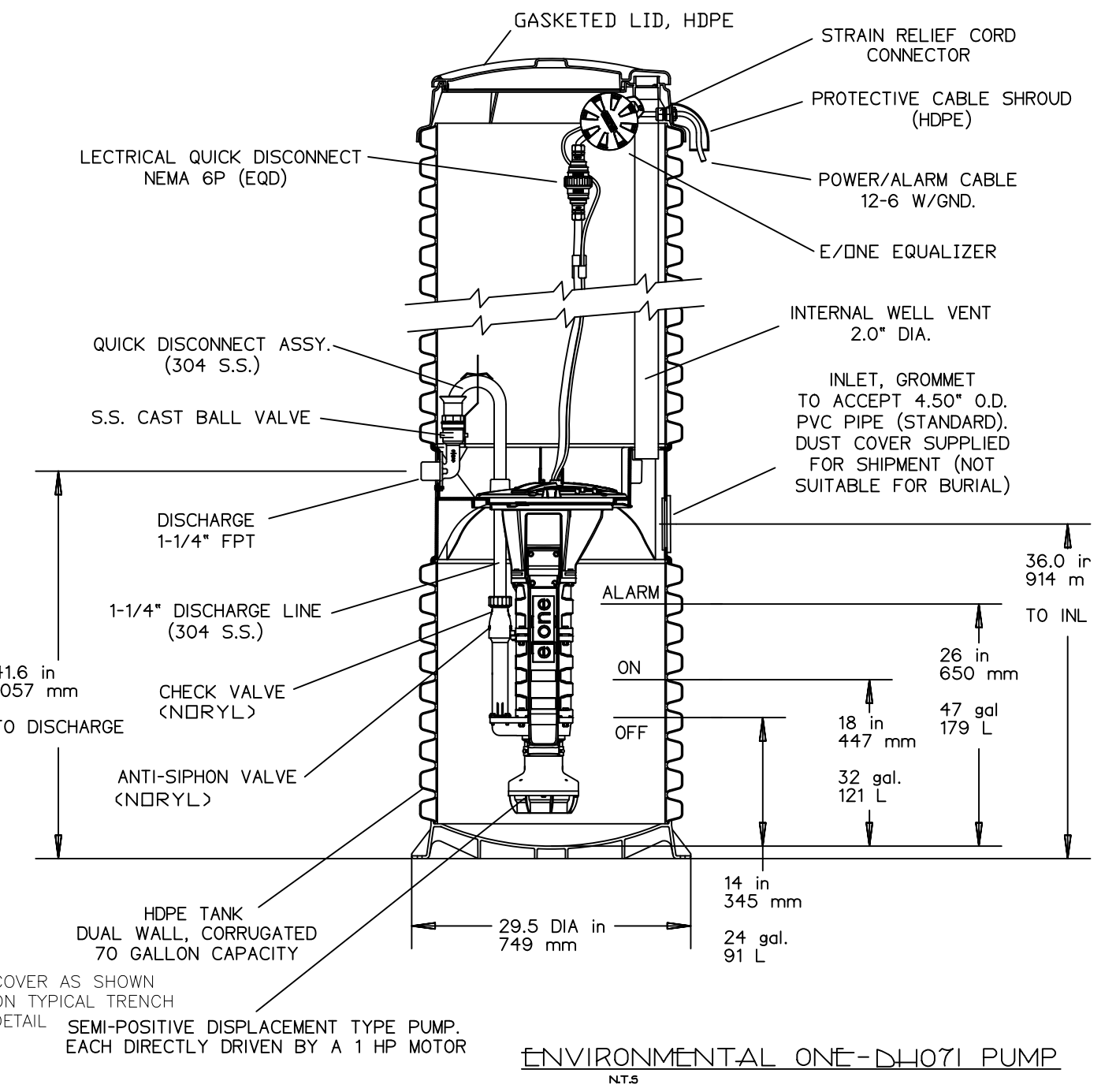
ALTERNATE DETAIL
TRENCH WITH GRAVEL



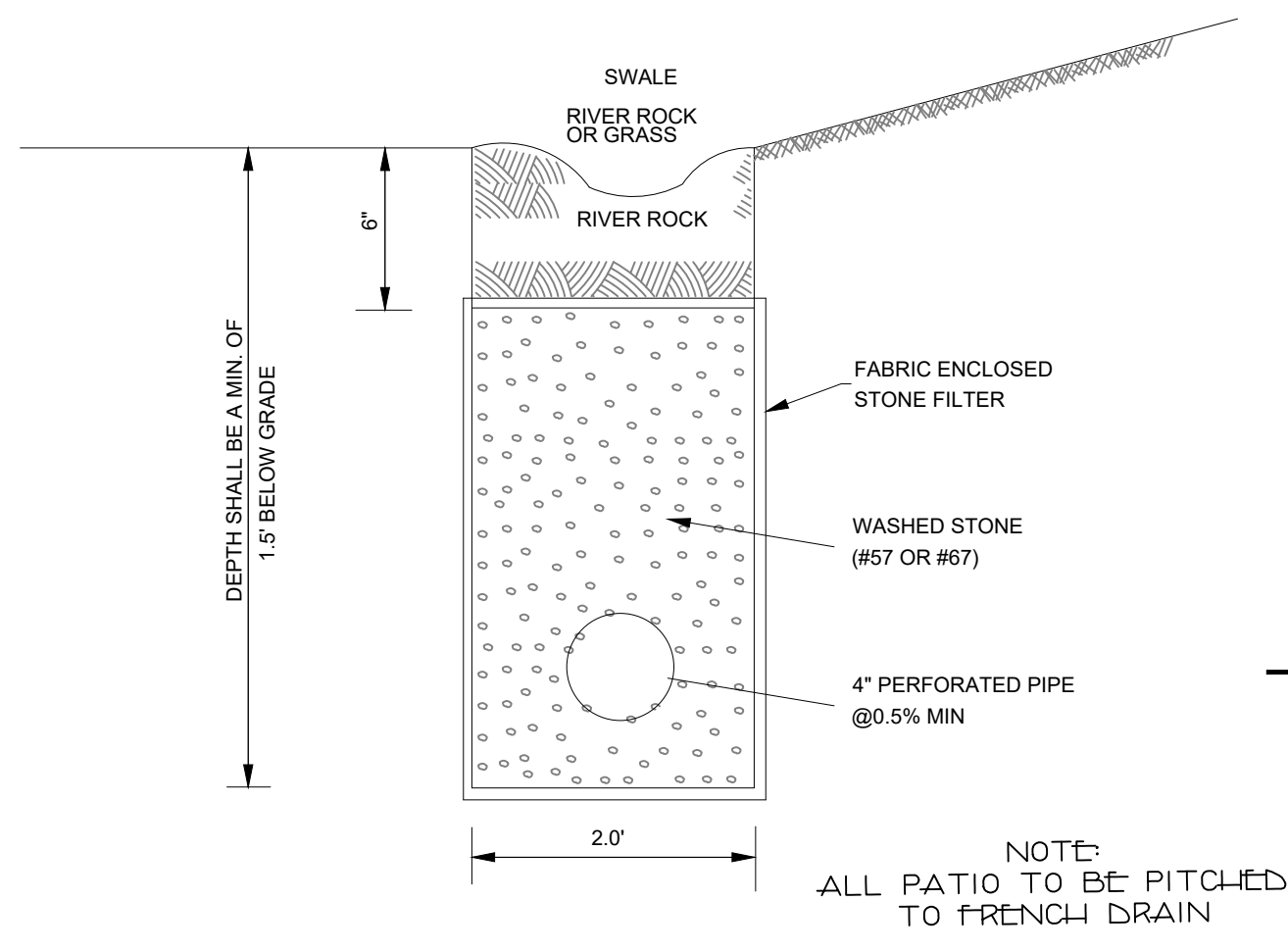
PAVEMENT DETAIL
NOT TO SCALE



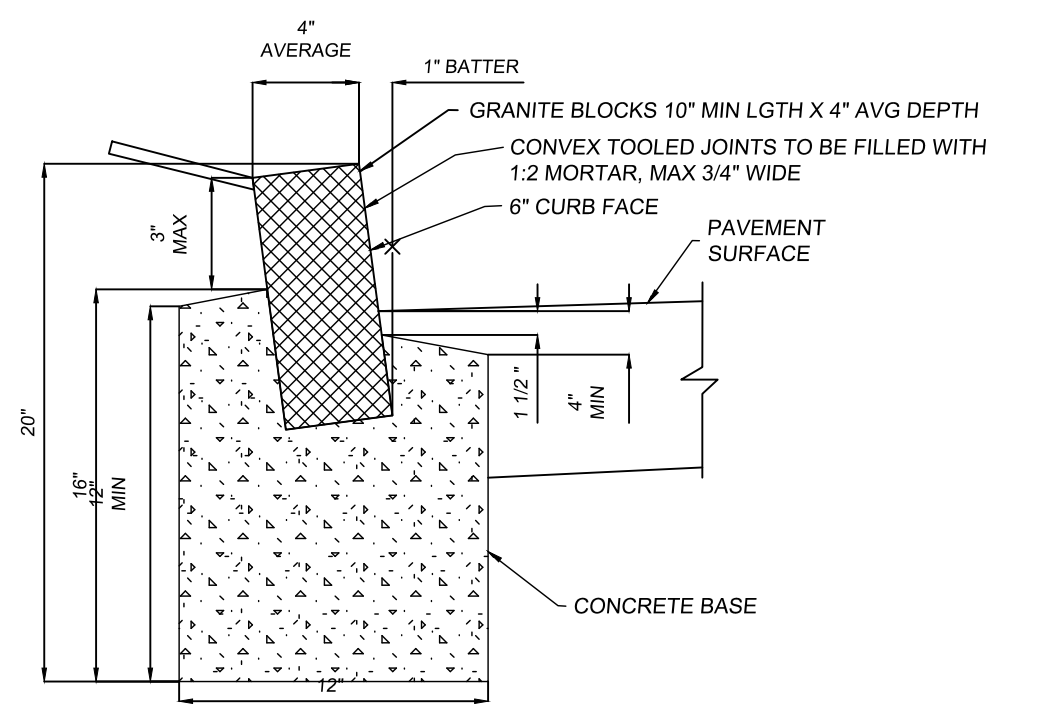
DETAIL OF NEW CONCRETE CURB AND PAVEMENT
N.T.S.



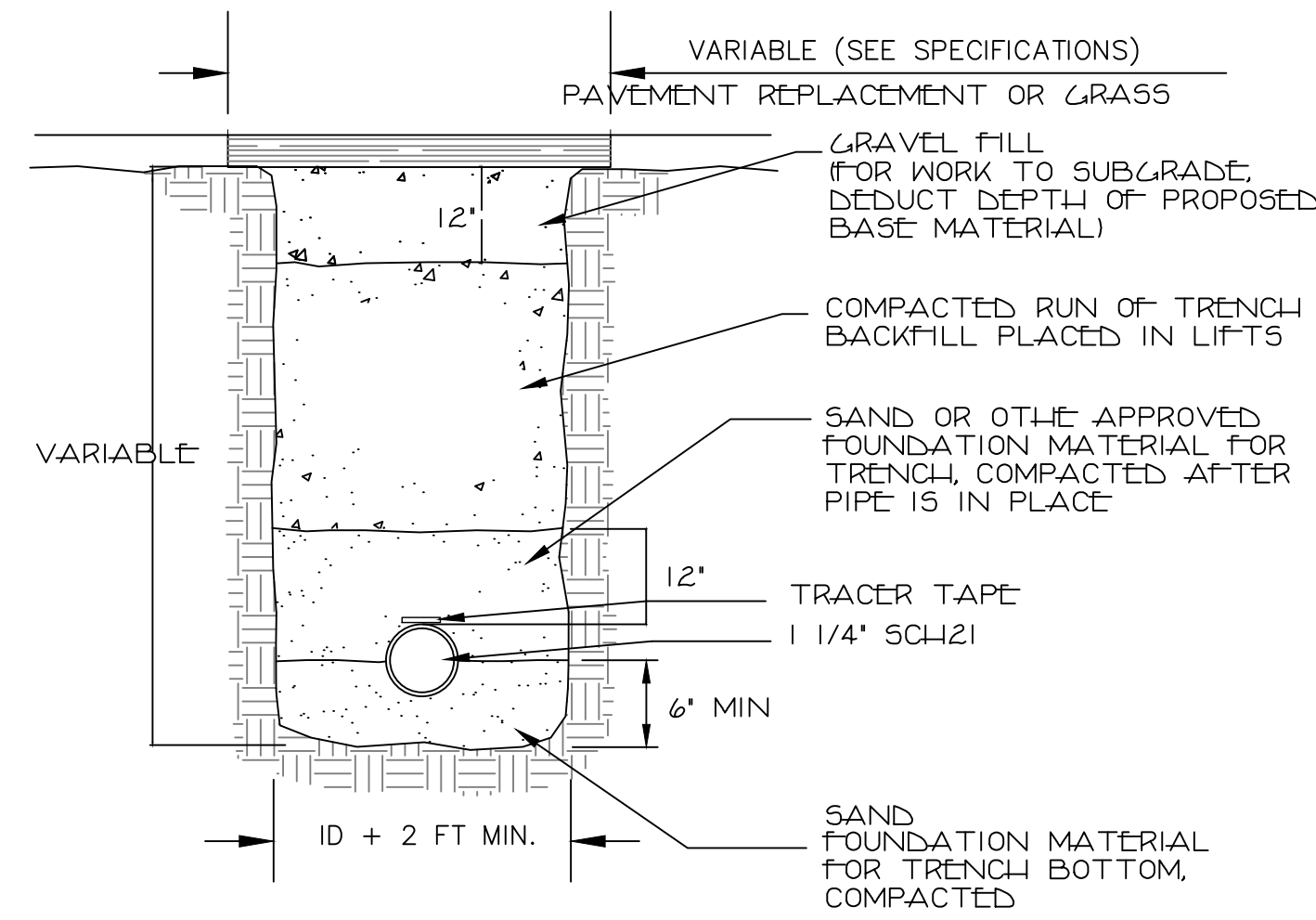
ENVIRONMENTAL ONE-CHAMBER PUMP
N.T.S.



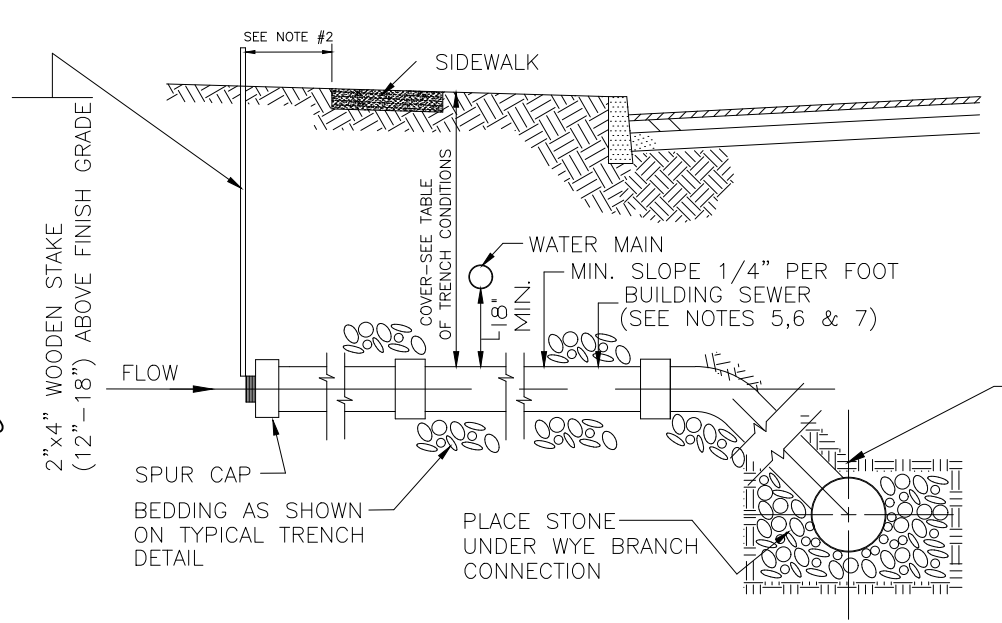
FRENCH DRAIN
NOT TO SCALE



GRANITE BELGIAN BLOCK CURB
NOT TO SCALE



TYPICAL TRENCH SECTION
N.T.S.

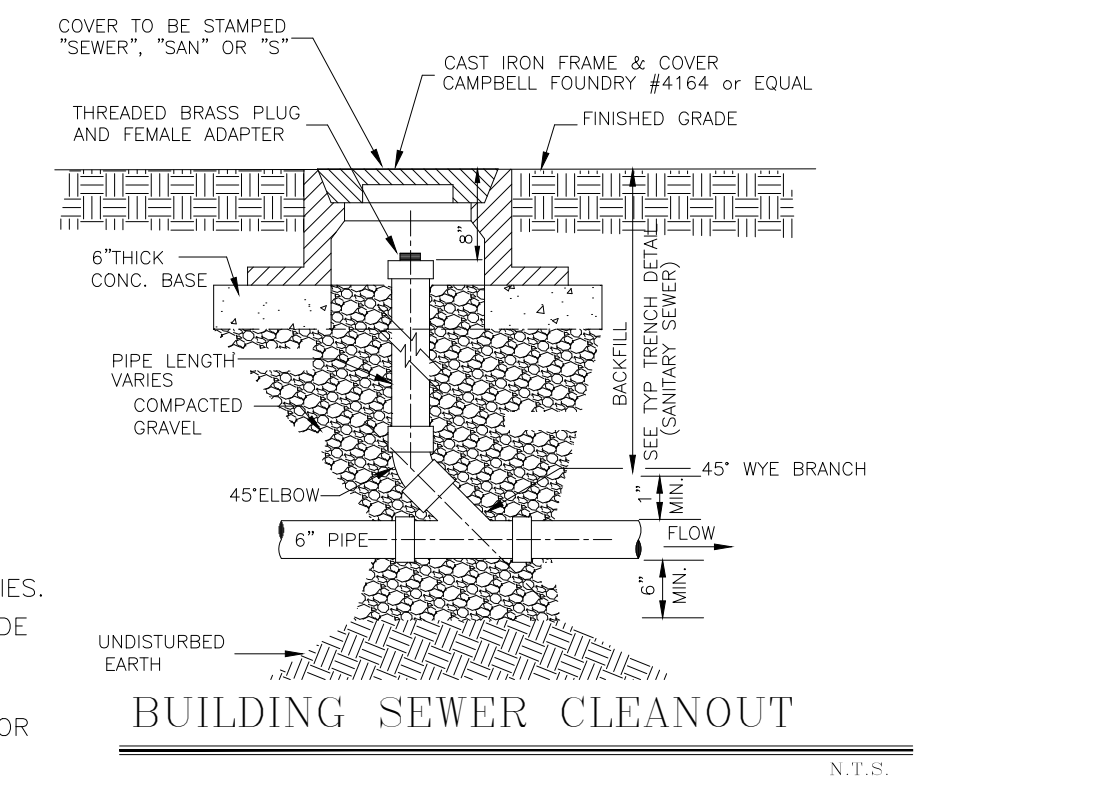


BUILDING SEWER CONNECTION
N.T.S.

SPECIAL CONDITIONS FOR SHALLOW TRENCH CONDITIONS
COVER LESS THAN 4'-0"

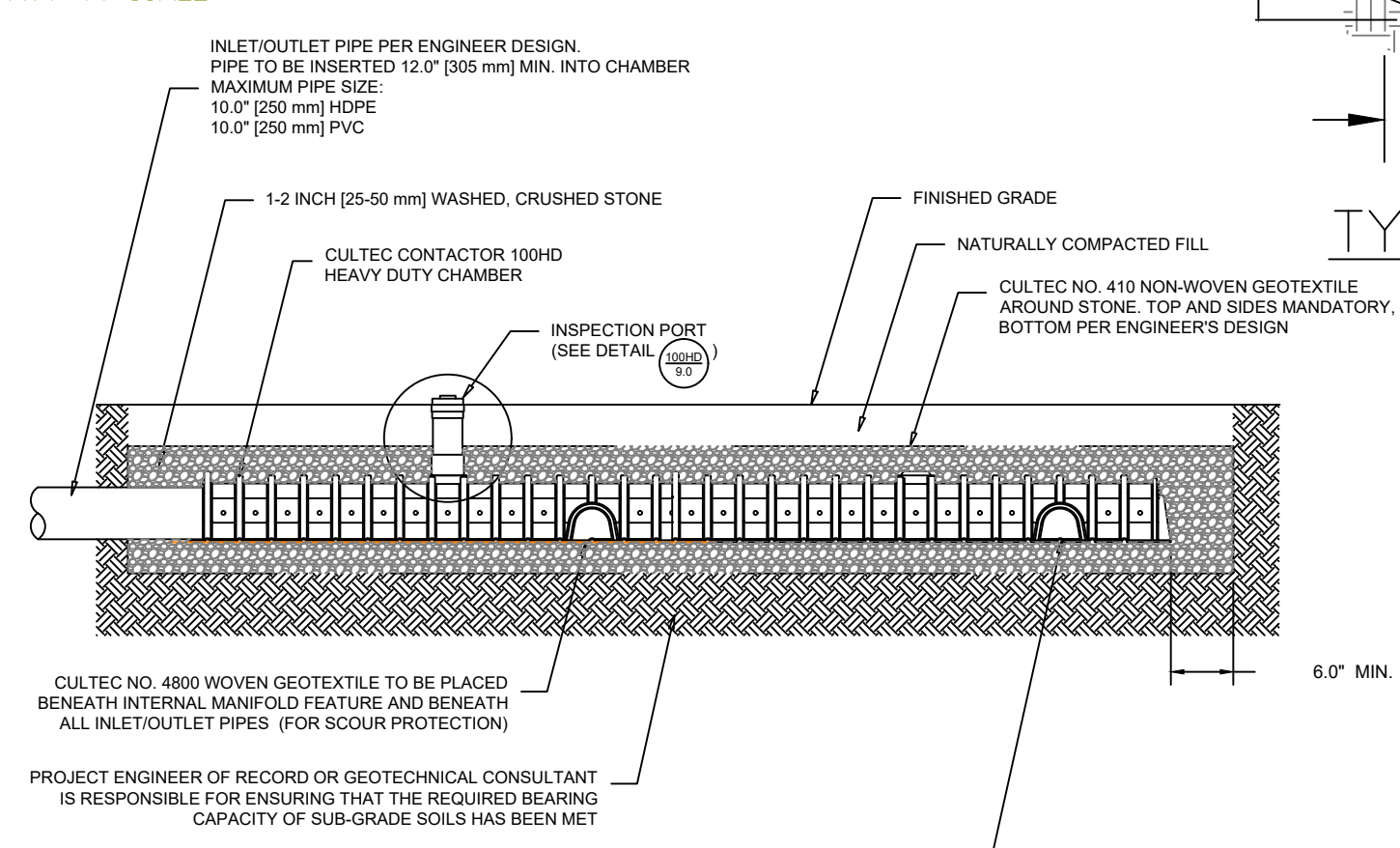
PIPE CLASS 52 DUCTILE IRON OR CAST IRON EXTRA HEAVY OR APPROVED EQUAL.

BUILDING SEWER CLEANOUT
N.T.S.

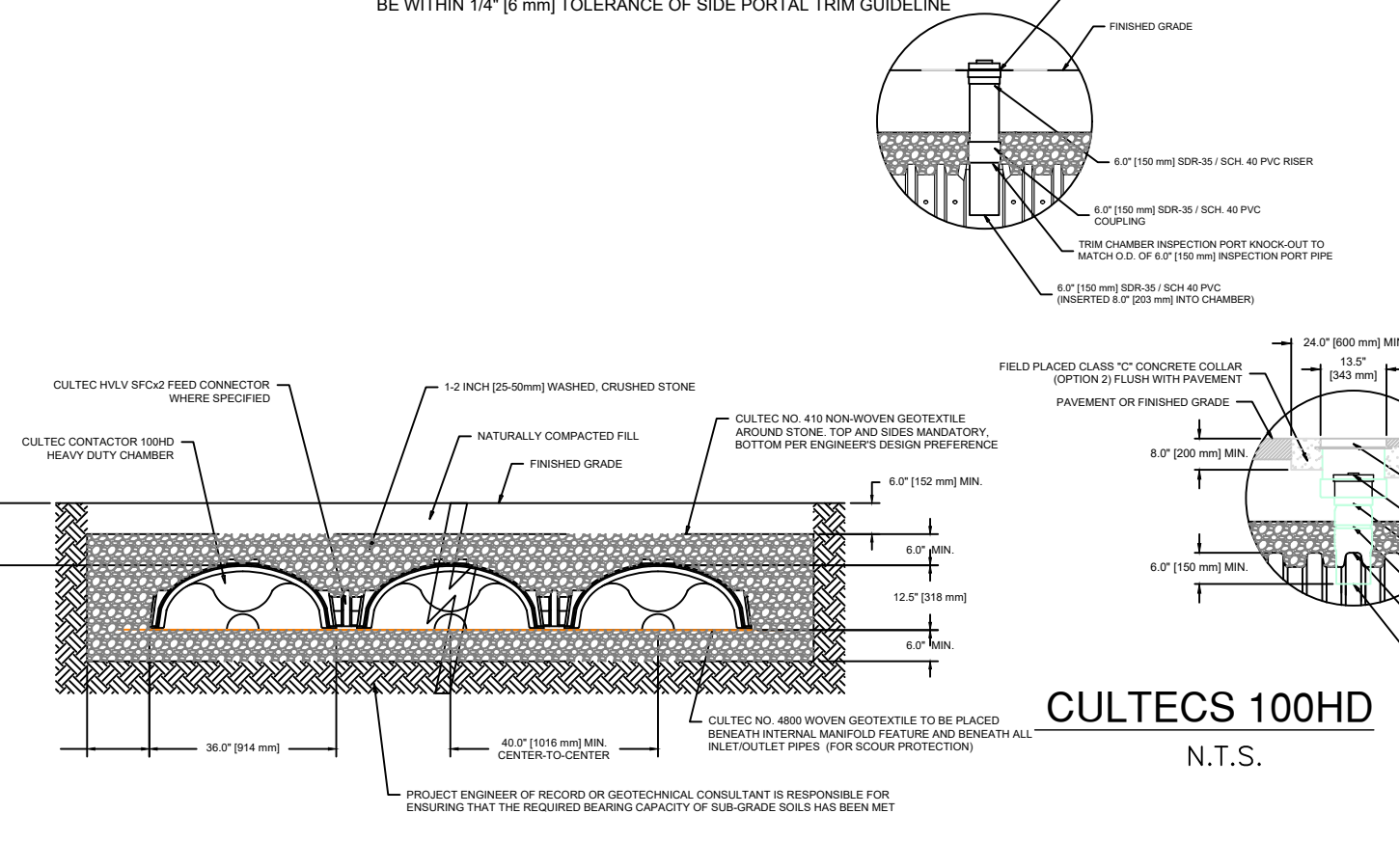


BUILDING SEWER CLEANOUT
N.T.S.

- NOTES:**
- ALL APPROVED BUILDING SEWER PIPE MATERIALS FOR EACH CONNECTION MADE, SHALL BE CONSTRUCTED FROM THE SAME MATERIAL.
 - MINIMUM HORIZONTAL SEPARATION BETWEEN SPUR CAP AND SIDEWALK SHALL BE 2.0 FT. IN ALL CASES THE SPUR CAP LOCATION SHALL EXTEND A MINIMUM HORIZONTAL DISTANCE OF 2.0 FT. ONTO ALL BUILDING LOT PROPERTIES.
 - TRANSITION BETWEEN DIFFERENT PIPE MATERIAL (AS APPROVED) SHALL BE MADE BY INSTALLING A TYPE 1, STYLE 62 DRESSER COUPLING OR DRESSER STYLE 262 HMAX COUPLING (OR APPROVED EQUAL).
 - WYE BRANCH CONNECTION SHALL BE A FITTING CONSTRUCTED SPECIFICALLY FOR THE INSTALLED MAIN LINE SEWER MATERIAL CLASS (OR APPROVED EQUAL).
 - THE BUILDINGS SEWER SHOWN FROM THE MAIN LINE SOURCE WYE BRANCH CONNECTION FITTING TO THE SPUR CAP SHALL MEET THE SPECIFICATIONS SHOWN FOR I) BUILDING LATERAL SEWER.
 - 4" BUILDING LATERAL SEWER MAY BE APPROVED FOR CONSTRUCTION OF SINGLE (1) AND TWO (2) FAMILY DWELLING ONLY. ALL OTHER BUILDING LATERAL SEWERS (INCLUDING ALL COMMERCIAL USES) SHALL BE 6" IN DIAMETER.

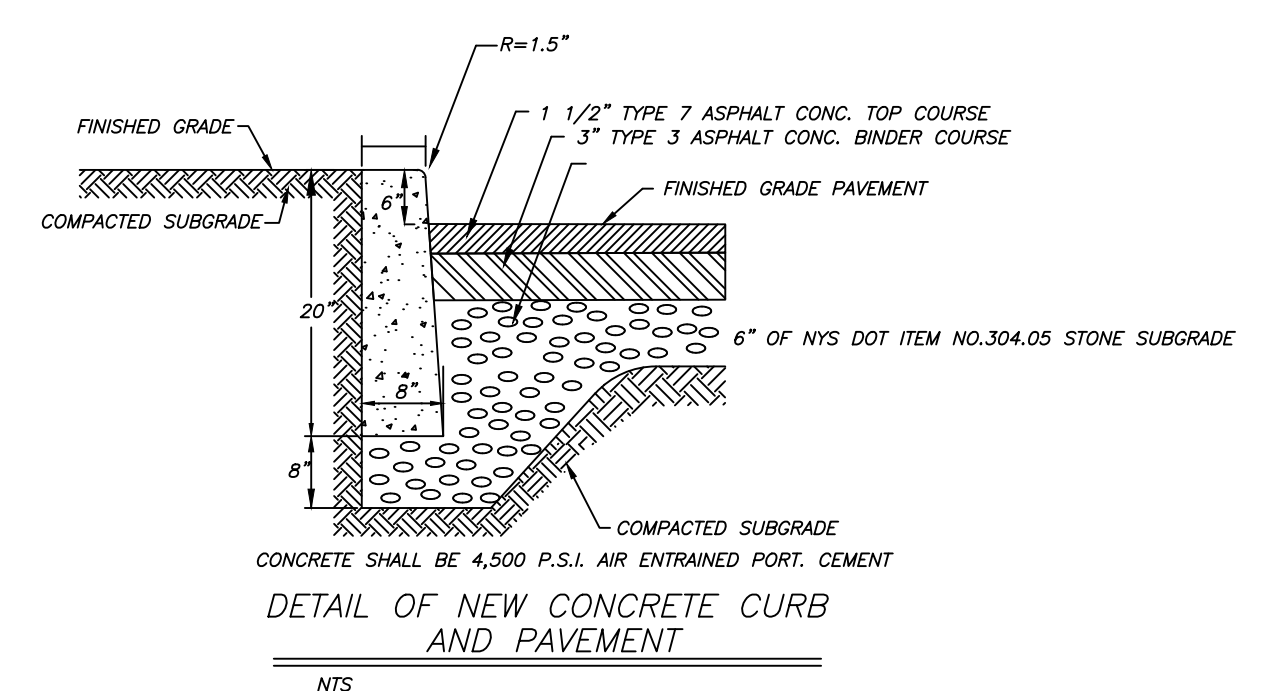


CULTECS 100HD
N.T.S.

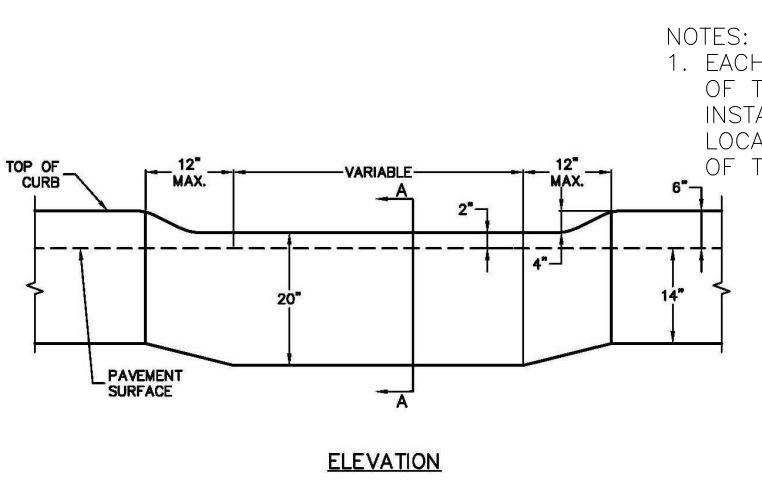


CULTECS 100HD
N.T.S.

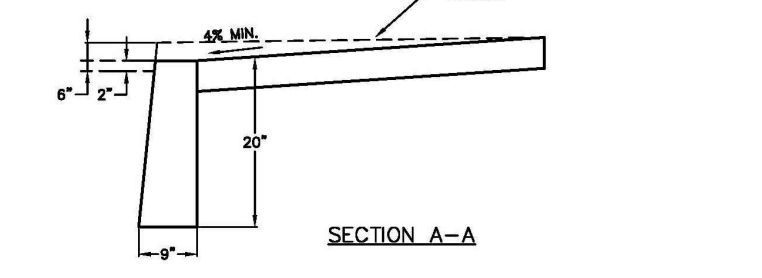
- NOTES:**
- SET CULTECS IN 25.0'x77.5' OVERALL EXCAVATION, BACKFILL WITH ALL CLEAN STONE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING SEASONAL HIGH WATER TABLE. NO CULTECS AND/OR STONE SHALL BE SET BELOW SEASONAL HIGH WATER, AND ENGINEER MUST BE CONTACTED IN WRITING SHOULD WATER BE ENCOUNTERED.
- CULTEC MAINTENANCE NOTES**
- CULTECS SHALL BE MAINTAINED BY THE OWNERS OF THE LOTS ON WHICH THEY ARE SITUATED.
 - SAB OWNERS SHALL INSPECT CULTECS ON A TWICE YEARLY BASIS AND REMOVE ANY ACCUMULATED SEDIMENT (OR AFTER ANY SIGNIFICANT STORM).
 - IF EVIDENCE PERSISTS THAT THE CULTECS ARE NOT FUNCTIONING PROPERLY (I.E. WATER BACKING-UP IN SYSTEM, ETC.), THE OWNERS SHALL INSPECT THE CULTECS AS SOON AS REASONABLY POSSIBLE AND MAKE NECESSARY REPAIRS TO ENSURE PROPER FUNCTION OF THE SYSTEM.



DEPRESSED CURB DETAIL
N.T.S.



ELEVATION



SECTION A-A

DEPRESSED CURB DETAIL
N.T.S.

NOTES:

- CONCRETE TO TEST 4000 PSI MIN. ON 28 DAY COMPRESSIVE TEST.
- IF EVIDENCE PERSISTS THAT THE CULTECS ARE NOT FUNCTIONING PROPERLY (I.E. WATER BACKING-UP IN SYSTEM, ETC.), THE OWNERS SHALL INSPECT THE CULTECS AS SOON AS REASONABLY POSSIBLE AND MAKE NECESSARY REPAIRS TO ENSURE PROPER FUNCTION OF THE SYSTEM.
- CONTRACTOR TO NOTIFY UTILITY ENGINEER FROM POILING.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS MAP NOT LEAVING THE SEAL OF THE SURVEYOR OR ENGINEER SHALL NOT BE VALID.

CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. USE OF UNSEALED COPIES OF THIS DOCUMENT IN ANY COURT, FINANCIAL OR LEGAL TRANSACTION OR FILING WITH ANY GOVERNMENT AGENCY OR OFFICE IS AN UNAUTHORIZED USE AND VIOLATION OF FEDERAL COPYRIGHT LAW.

PAUL GDANSKI, PE, PLLC
PAUL GDANSKI, PE, PLLC

CULTEC Stormwater Design Calculator

Date: February 21, 2025

CONTACTOR 300HD

Height	12.5	inches	Width Chambers	82.50	inches
Width	36.0	inches	Depth of Chamber	12.50	inches
Length	24.0	feet	Width Feed Pipes	1.25	feet
Number Chambers	1		Number Feed Pipes	2	
Base Chamber Volume	18.0	cu. feet	Base Chamber Volume	18.0	cu. feet
Gravel Chamber Volume	32.5	cu. feet	Gravel Chamber Volume	32.5	cu. feet

Material List

Field Number of Chambers Required	1	pieces
Base Chamber	1	pieces
Feed Pipes	2	pieces
CULTEC No. 400 Non-Woven Geotextile	11.0	sq. yds.
CULTEC No. 400 Woven Geotextile	11.0	sq. yds.
Gravel	32.5	cu. feet

Site Summary

Number of Feed Pipes	2	pieces
Number of Chambers	1	pieces
Chamber Area	21.60	sq. feet
Chamber Area Length	12.50	feet
Chamber Area Width	12.50	feet
Base Chamber Volume	18.00	cu. feet
Gravel Chamber Volume	32.50	cu. feet
Length of Support Area	24.00	feet

Notes:

- Depth of Chamber: 12.50 inches
- Width of Chamber: 82.50 inches
- Width of Feed Pipes: 1.25 feet
- Number of Feed Pipes: 2
- Number of Chambers: 1
- Chamber Area: 21.60 sq. feet
- Chamber Area Length: 12.50 feet
- Chamber Area Width: 12.50 feet
- Base Chamber Volume: 18.00 cu. feet
- Gravel Chamber Volume: 32.50 cu. feet
- Length of Support Area: 24.00 feet

2/23/25 PER TEST

REVISIONS

2/5/25 ADD ADDITION
11/25/24 REVISE CABANA
11/9/24 ADD CABANA
7/1/24 CHANGE POOL/PATIO
9/26/23 REVISE
7/27/23 MOVE GARAGE
6/20/23 ADD POOL/PATIO
12/16/22 PER COMMENTS
11/30/22 ADD DRIVE

PLOT PLAN FOR 38 WILLOW TREE ROAD 41.07-2-33

LOCATED IN THE VILLAGE OF WESLEY HILLS ROCKLAND COUNTY, NEW YORK

GRAPHIC SCALE: 1" = 20'

PAUL GDANSKI, PE, PLLC
633 WOODMONT LANE
SLOATSBURG, N.Y. 10974
TEL: (917) 418-0999

38WILLOW
SEPT. 29, 2025
1 OF 1

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Cherns-Katz Cabana			
Project Location (describe, and attach a location map): 38 Willow Tree Road, Wesley Hills, NY			
Brief Description of Proposed Action: Free standing cabana building that requires variance for exceeding the allowable ground floor area of 900 sf from the Village of Wesley Hills ZBA.			
Name of Applicant or Sponsor: Todd Rosenblum		Telephone: 845-364-0337	
		E-Mail: todd@adaparch.com	
Address: 221 Quaker Road			
City/PO: Pomona		State: NY	Zip Code: 10970
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Village of Wesley Hills ZBA			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		97,898 sf acres	
b. Total acreage to be physically disturbed?		3,000 sf acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		195,263 sf acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:

Shoreline Forest Agricultural/grasslands Early mid-successional

Wetland Urban Suburban

15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

16. Is the project site located in the 100-year flood plan?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

17. Will the proposed action create storm water discharge, either from point or non-point sources?

If Yes,

NO	YES
<input type="checkbox"/>	<input checked="" type="checkbox"/>

a. Will storm water discharges flow to adjacent properties?

<input checked="" type="checkbox"/>	<input type="checkbox"/>
-------------------------------------	--------------------------

b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?

<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	-------------------------------------

If Yes, briefly describe:

Existing catch basins and drywells.

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?

If Yes, explain the purpose and size of the impoundment:

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?

If Yes, describe:

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

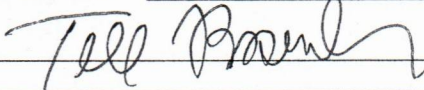
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?

If Yes, describe:

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor/name: Todd Rosenblum Date: 5/21/25

Signature:  Title: Architect

GML Report

Property Information:	
Parcel ID: 41.07-2-33	Date Parcel: February 2024
OLD ID: 9-27A10	Address: 38 WILLOW TREE RD
City: MONSEY	State: NY
Zip: 10952	Book Page: N/A
Deed Date: 9/14/2022 12:00:00 AM	Instrument: 2022-00033278
Municipality: WESLEY HILLS	Deed Acres: 0
GIS Calculated Acres: 2.222	
GML Criteria:	
Requires GML Review: NO	Adjacent Town Boundary: NO
Adjacent Village Boundary: NO	Orange County Boundary: NO
County Facility: NO	NYS Facility: NO
County Park: NO	State Park: NO
County Regulated Streams: NO	Long Path Hiking Trail: NO
ROW-County Highways: NO	ROW-NYS Highway: NO
ROW-NYS Thruway: NO	ROW-Palisades Interstate Parkway: NO
X Coordinate: -74.07287020	Y Coordinate: 41.15888325

Source: Rockland County GIS Portal

VILLAGE OF WESLEY HILLS

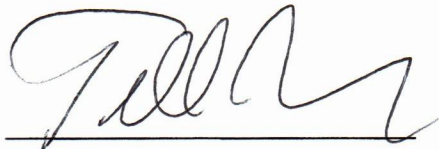
432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

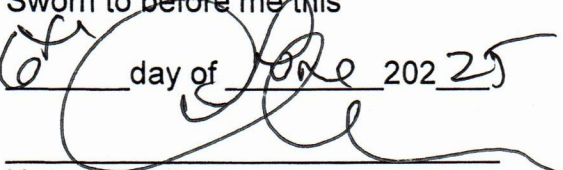
AFFIDAVIT OF POSTING

STATE OF NEW YORK }
COUNTY OF ROCKLAND } SS:
VILLAGE OF WESLEY HILLS }

TODD ROSENBLUM being duly sworn, deposes and says that he/she is the applicant in the matter of an application before the Village of Wesley Hills Planning Board affecting property located at 98 WILLOW TREE RD, Wesley Hills, Town of Ramapo, Rockland County, New York.

That on the SIXTH day of JUNE 2025, he/she posted the posters provided by the Planning Board of the Village of Wesley Hills giving notice of the hearing on this application in a conspicuous place visible from every street along the frontage of the plot affected by this application.



Sworn to before me this 05 day of June 2025

Notary Public

CAMILLE GUIDO-DOWNEY
NOTARY PUBLIC STATE OF NEW YORK
RESIDING IN ROCKLAND COUNTY
NO. 01GU6337245
MY COMMISSION EXPIRES 02/22/2028

Mrs Ahuva Katz
38 Willow Tree Rd
Wesley Hills, NY 10952

RECEIVED
VILLAGE OF WESLEY HILLS
JUL 14 2025
BUILDING,
PLANNING & ZONING

July 14, 2025

Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

Re: Katz-Cherns Accessory Building, 38 Willow Tree Road, Wesley Hills

Dear Zoning Board of Appeals members,

Please see the attached list of rooms that will be going into the cabana

Thank you for your attention in this matter.

Respectfully submitted,

Ahuva Katz



Lounge
Gym / Shul
Spa Lobby
Spa lobby Bath
Changing Room
Laundry / Mop Room
General Spa Area
General Spa Area Bath
Steam Room
Sauna
Mikva Room
Shower Room 1
Shower Room 2

A handwritten signature in black ink, consisting of several loops and a long horizontal stroke.

Mr. Sam Levinson
2 Wilder Road
Monsey, NY 10952

RECEIVED
VILLAGE OF WESLEY HILLS
JUL 14 2025
BUILDING,
PLANNING & ZONING

June 19, 2025

Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

Re: *Katz-Cherns Accessory Building, 38 Willow Tree Road, Wesley Hills*

Dear Zoning Board of Appeals members,

Ahuva Katz has discussed the need for a variance related to the existing accessory building (cabana). I am aware that a variance for exceeding the allowable 900 sf for an accessory building is required. I have no objection and would therefore request that the Zoning Board of Appeals grant this variance.

Thank you for your attention in this matter.

Respectfully submitted,



Mr. Sam Levinson

Mr. David Berman
11 Carefree Ln
Wesley Hills, NY 10901

RECEIVED
VILLAGE OF WESLEY HILLS

JUL 14 2025

BUILDING,
PLANNING & ZONING

July 9, 2025

Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

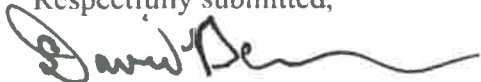
Re: Katz-Cherns Accessory Building, 38 Willow Tree Road, Wesley Hills

Dear Zoning Board of Appeals members,

Ahuva Katz has discussed the need for a variance related to the existing accessory building (cabana). I am aware that a variance for exceeding the allowable 900 sf for an accessory building is required. I have no objection and would therefore request that the Zoning Board of Appeals grant this variance.

Thank you for your attention in this matter.

Respectfully submitted,



David Berman

Mr Michael Greenfield
8 Willows Rd
Wesley Hills, NY 10952

RECEIVED
VILLAGE OF WESLEY HILLS
JUL 14 2025
BUILDING,
PLANNING & ZONING

July 9, 2025

Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

Re: *Katz-Cherns Accessory Building, 38 Willow Tree Road, Wesley Hills*

Dear Zoning Board of Appeals members,

Ahuva Katz has discussed the need for a variance related to the existing accessory building (cabana). I am aware that a variance for exceeding the allowable 900 sf for an accessory building is required. I have no objection and would therefore request that the Zoning Board of Appeals grant this variance.

Thank you for your attention in this matter.

Respectfully submitted,

Michael Greenfield



Mr Matittyahu Nadav
483 Rt 306
Wesley Hills, NY 10952

RECEIVED
VILLAGE OF WESLEY HILLS

JUL 14 2025

BUILDING,
PLANNING & ZONING

July 9, 2025

Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

Re: Katz-Cherns Accessory Building, 38 Willow Tree Road, Wesley Hills

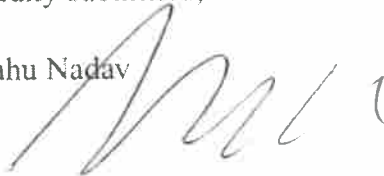
Dear Zoning Board of Appeals members,

Ahuva Katz has discussed the need for a variance related to the existing accessory building (cabana). I am aware that a variance for exceeding the allowable 900 sf for an accessory building is required. I have no objection and would therefore request that the Zoning Board of Appeals grant this variance.

Thank you for your attention in this matter.

Respectfully submitted,

Matittyahu Nadav



Mr. Avery Eisenreich
52 Wesley Chapel Rd
Wesley Hills, NY 10901

RECEIVED
VILLAGE OF WESLEY HILLS

JUL 14 2025

BUILDING,
PLANNING & ZONING

July 9, 2025

Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

Re: Katz-Cherns Accessory Building, 38 Willow Tree Road, Wesley Hills

Dear Zoning Board of Appeals members,

Ahuva Katz has discussed the need for a variance related to the existing accessory building (cabana). I am aware that a variance for exceeding the allowable 900 sf for an accessory building is required. I have no objection and would therefore request that the Zoning Board of Appeals grant this variance.

Thank you for your attention in this matter.

Respectfully submitted,



Avery Eisenreich

Mr Joseph Mause
6 Sherri Ln
Wesley Hills, NY 10977

RECEIVED
VILLAGE OF WESLEY HILLS
JUL 10 2025
BUILDING,
PLANNING & ZONING

July 10, 2025

Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952


Re: *Katz-Cherns Accessory Building, 38 Willow Tree Road, Wesley Hills*

Dear Zoning Board of Appeals members,

Ahuva Katz has discussed the need for a variance related to the existing accessory building (cabana). I am aware that a variance for exceeding the allowable 900 sf for an accessory building is required. I have no objection and would therefore request that the Zoning Board of Appeals grant this variance.

Thank you for your attention in this matter.

Respectfully submitted,


Joseph Mause

Mr Elchanan Wissbord
1 Tobey Ln
Wesley Hills, NY 10952

RECEIVED
VILLAGE OF WESLEY HILLS
JUL 10 2025
BUILDING,
PLANNING & ZONING

July 9, 2025

Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

Re: Katz-Cherns Accessory Building, 38 Willow Tree Road, Wesley Hills

Dear Zoning Board of Appeals members,

Ahuva Katz has discussed the need for a variance related to the existing accessory building (cabana). I am aware that a variance for exceeding the allowable 900 sf for an accessory building is required. I have no objection and would therefore request that the Zoning Board of Appeals grant this variance.

Thank you for your attention in this matter.

Respectfully submitted,

Elchanan Wissbord



Mr Meshulam Martin
428 Rt 306
Wesley Hills, NY 10952

RECEIVED
VILLAGE OF WESLEY HILLS
JUL 10 2025
BUILDING,
PLANNING & ZONING

July 9, 2025

Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

Re: Katz-Cherns Accessory Building, 38 Willow Tree Road, Wesley Hills

Dear Zoning Board of Appeals members,

Ahuva Katz has discussed the need for a variance related to the existing accessory building (cabana). I am aware that a variance for exceeding the allowable 900 sf for an accessory building is required. I have no objection and would therefore request that the Zoning Board of Appeals grant this variance.

Thank you for your attention in this matter.

Respectfully submitted.

Meshulam Martin



RECEIVED
VILLAGE OF WESLEY HILLS
JUL 10 2025
BUILDING
PLANNING & ZONING

Mr. Lipa Hager
2 Deerwood Rd
Wesley Hills, NY 10977

July 9, 2025

Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

Re: *Katz-Cherns Accessory Building, 38 Willow Tree Road, Wesley Hills*

Dear Zoning Board of Appeals members,

Ahuva Katz has discussed the need for a variance related to the existing accessory building (cabana). I am aware that a variance for exceeding the allowable 900 sf for an accessory building is required. I have no objection and would therefore request that the Zoning Board of Appeals grant this variance.

Thank you for your attention in this matter.

Respectfully submitted,

Lipa Hager



Mr. Milton Schwartz
5 North Sherri Ln
Wesley Hills, NY 10977

RECEIVED
VILLAGE OF WESLEY HILLS

JUL 10 2025

BUILDING,
PLANNING & ZONING

July 9, 2025

Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

Re: *Katz-Cherns Accessory Building, 38 Willow Tree Road, Wesley Hills*

Dear Zoning Board of Appeals members,

Ahuva Katz has discussed the need for a variance related to the existing accessory building (cabana). I am aware that a variance for exceeding the allowable 900 sf for an accessory building is required. I have no objection and would therefore request that the Zoning Board of Appeals grant this variance.

Thank you for your attention in this matter:

Respectfully submitted,

Milton Schwartz



Shaina Gutman
80 Willow Tree Rd
Wesley Hills, NY 10952

RECEIVED
VILLAGE OF WESLEY HILLS
JUL 10 2025
BUILDING,
PLANNING & ZONING

July 9, 2025

Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

Re: Katz-Cherns Accessory Building, 38 Willow Tree Road, Wesley Hills

Dear Zoning Board of Appeals members,

Ahuva Katz has discussed the need for a variance related to the existing accessory building (cabana). I am aware that a variance for exceeding the allowable 900 sf for an accessory building is required. I have no objection and would therefore request that the Zoning Board of Appeals grant this variance.

Thank you for your attention in this matter.

Respectfully submitted,


Shaina Gutman

Mr Yeshaya Schiller
3 Lime Kiln Ct
Wesley Hills, NY 10952

RECEIVED
VILLAGE OF WESLEY HILLS
JUL 10 2025
BUILDING,
PLANNING & ZONING

July 9, 2025

Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

Re: Katz-Cherns Accessory Building, 38 Willow Tree Road, Wesley Hills

Dear Zoning Board of Appeals members,

Ahuva Katz has discussed the need for a variance related to the existing accessory building (cabana). I am aware that a variance for exceeding the allowable 900 sf for an accessory building is required. I have no objection and would therefore request that the Zoning Board of Appeals grant this variance.

Thank you for your attention in this matter.

Respectfully submitted,

Yeshaya Schiller



Mr. Dovid Zlotnick
9 Baker Ln
Wesley Hills, NY 10901

RECEIVED
VILLAGE OF WESLEY HILLS
JUL 10 2025
BUILDING,
PLANNING & ZONING

July 9, 2025

Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

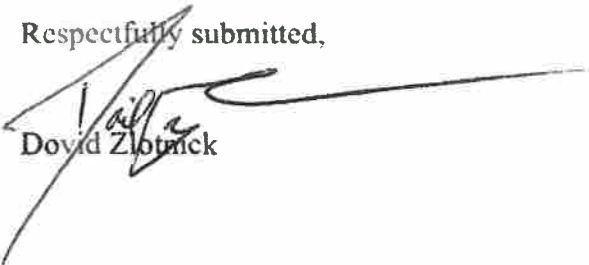
Re: *Katz-Cherns Accessory Building, 38 Willow Tree Road, Wesley Hills*

Dear Zoning Board of Appeals members,

Ahuva Katz has discussed the need for a variance related to the existing accessory building (cabana). I am aware that a variance for exceeding the allowable 900 sf for an accessory building is required. I have no objection and would therefore request that the Zoning Board of Appeals grant this variance.

Thank you for your attention in this matter.

Respectfully submitted,


Dovid Zlotnick

Mrs Esther Safrin
1 Doe Dr
Wesley Hills, NY 10901

RECEIVED
VILLAGE OF WESLEY HILLS
JUL 10 2025
BUILDING,
PLANNING & ZONING

July 9, 2025

Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

Re: *Katz-Cherns Accessory Building, 38 Willow Tree Road, Wesley Hills*

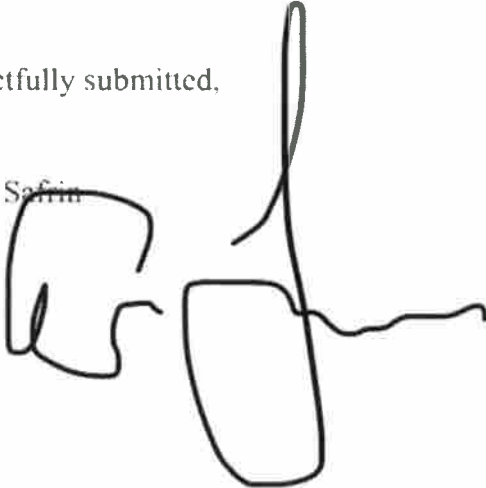
Dear Zoning Board of Appeals members,

Ahuva Katz has discussed the need for a variance related to the existing accessory building (cabana). I am aware that a variance for exceeding the allowable 900 sf for an accessory building is required. I have no objection and would therefore request that the Zoning Board of Appeals grant this variance.

Thank you for your attention in this matter.

Respectfully submitted,

Esther Safrin



Mr. Tuvia Grama
14 Arcadian Dr
Wesley Hills, NY 10977

RECEIVED
VILLAGE OF WESLEY HILLS
JUL 10 2025
BUILDING,
PLANNING & ZONING

July 9, 2025

Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

Re: *Katz-Cherns Accessory Building, 38 Willow Tree Road, Wesley Hills*

Dear Zoning Board of Appeals members,

Ahuva Katz has discussed the need for a variance related to the existing accessory building (cabana). I am aware that a variance for exceeding the allowable 900 sf for an accessory building is required. I have no objection and would therefore request that the Zoning Board of Appeals grant this variance.

Thank you for your attention in this matter.

Respectfully submitted,



Tuvia Grama

Mr. Shlomo Kertzner
164 East Willow Tree Rd
Wesley Hills, NY 10977

RECEIVED
VILLAGE OF WESLEY HILLS
JUL 10 2025
BUILDING,
PLANNING & ZONING

July 9, 2025

Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

Re: Katz-Cherns Accessory Building, 38 Willow Tree Road, Wesley Hills

Dear Zoning Board of Appeals members,

Ahuva Katz has discussed the need for a variance related to the existing accessory building (cabana). I am aware that a variance for exceeding the allowable 900 sf for an accessory building is required. I have no objection and would therefore request that the Zoning Board of Appeals grant this variance.

Thank you for your attention in this matter.

Respectfully submitted,


Shlomo Kertzner

Mrs Ilana Babayov
460 Rt 306
Wesley Hills, NY 10952

RECEIVED
VILLAGE OF WESLEY HILLS

JUL 10 2025

BUILDING,
PLANNING & ZONING

July 9, 2025

Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

Re: Katz-Cherns Accessory Building, 38 Willow Tree Road, Wesley Hills

Dear Zoning Board of Appeals members,

Ahuva Katz has discussed the need for a variance related to the existing accessory building (cabana). I am aware that a variance for exceeding the allowable 900 sf for an accessory building is required. I have no objection and would therefore request that the Zoning Board of Appeals grant this variance.

Thank you for your attention in this matter.

Respectfully submitted,

Ilana Babayov



Mr. Shimon Yehuda Sitzer
166 East Willow Tree Rd
Wesley Hills, NY 10977

RECEIVED
VILLAGE OF WESLEY HILLS

JUL 10 2025

BUILDING,
PLANNING & ZONING

July 9, 2025

Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

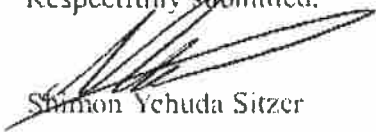
Re: Katz-Cherns Accessory Building, 38 Willow Tree Road, Wesley Hills

Dear Zoning Board of Appeals members,

Ahuva Katz has discussed the need for a variance related to the existing accessory building (cabana). I am aware that a variance for exceeding the allowable 900 sf for an accessory building is required. I have no objection and would therefore request that the Zoning Board of Appeals grant this variance.

Thank you for your attention in this matter.

Respectfully submitted,



Shimon Yehuda Sitzer

Mr. Naftali Zelman
28 Bruck Ct
Wesley Hills, NY 10977

RECEIVED
VILLAGE OF WESLEY HILLS
JUL 10 2025
BUILDING,
PLANNING & ZONING

July 9, 2025

Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

Re: *Katz-Cherns Accessory Building, 38 Willow Tree Road, Wesley Hills*

Dear Zoning Board of Appeals members,

Ahuva Katz has discussed the need for a variance related to the existing accessory building (cabana). I am aware that a variance for exceeding the allowable 900 sf for an accessory building is required. I have no objection and would therefore request that the Zoning Board of Appeals grant this variance.

Thank you for your attention in this matter.

Respectfully submitted,


Naftali Zelman

Mr Itzhak Bereby
34 Willow Tree Rd
Wesley Hills, NY 10952

RECEIVED
VILLAGE OF WESLEY HILLS
JUL 10 2025
BUILDING,
PLANNING & ZONING

July 9, 2025

Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

Re: Katz-Cherns Accessory Building, 38 Willow Tree Road, Wesley Hills

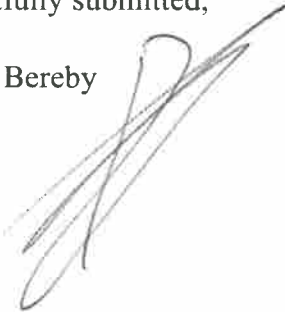
Dear Zoning Board of Appeals members,

Ahuva Katz has discussed the need for a variance related to the existing accessory building (cabana). I am aware that a variance for exceeding the allowable 900 sf for an accessory building is required. I have no objection and would therefore request that the Zoning Board of Appeals grant this variance.

Thank you for your attention in this matter.

Respectfully submitted,

Itzhak Bereby



Mr Yehuda Nadoff
68 Willow Tree Rd
Wesley Hills, NY 10952

RECEIVED
VILLAGE OF WESLEY HILLS
JUL 10 2025
BUILDING,
PLANNING & ZONING

July 9, 2025

Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

Re: Katz-Cherns Accessory Building, 38 Willow Tree Road, Wesley Hills

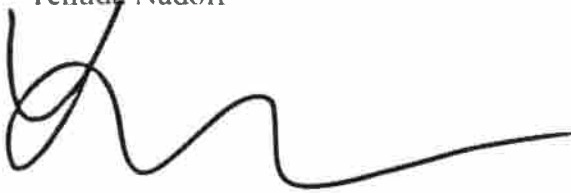
Dear Zoning Board of Appeals members,

Ahuva Katz has discussed the need for a variance related to the existing accessory building (cabana). I am aware that a variance for exceeding the allowable 900 sf for an accessory building is required. I have no objection and would therefore request that the Zoning Board of Appeals grant this variance.

Thank you for your attention in this matter.

Respectfully submitted,

Yehuda Nadoff



Mr. Roei Gamil
42 Willow Tree Rd
Wesley Hills, NY 10952

RECEIVED
VILLAGE OF WESLEY HILLS
JUL 8 2025
BUILDING
PLANNING & ZONING

July 8, 2025

Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

Re: Katz-Cherns Accessory Building, 38 Willow Tree Road, Wesley Hills

Dear Zoning Board of Appeals members,

Ahuva Katz has discussed the need for a variance related to the existing accessory building (cabana). I am aware that a variance for exceeding the allowable 900 sf for an accessory building is required. I have no objection and would therefore request that the Zoning Board of Appeals grant this variance.

Thank you for your attention in this matter.

Respectfully submitted,



Roei Gamil

Mr. Aaron Zutler
13 Baker Ln
Wesley Hills, NY 10901

June 19, 2025

Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

RECEIVED
VILLAGE OF WESLEY HILLS
JUL 8 2025
BUILDING,
PLANNING & ZONING

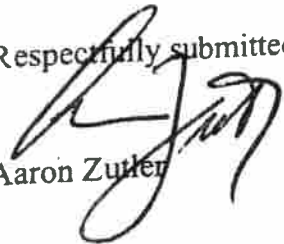
Re: *Katz-Cherns Accessory Building, 38 Willow Tree Road, Wesley Hills*

Dear Zoning Board of Appeals members,

Ahuva Katz has discussed the need for a variance related to the existing accessory building (cabana). I am aware that a variance for exceeding the allowable 900 sf for an accessory building is required. I have no objection and would therefore request that the Zoning Board of Appeals grant this variance.

Thank you for your attention in this matter.

Respectfully submitted,


Aaron Zutler

Mr. Yehuda Ginsberg
6 Vanessa Dr
Wesley Hills, NY 10901

RECEIVED
VILLAGE OF WESLEY HILLS
JUL 8 2025
BUILDING,
PLANNING & ZONING

June 19, 2025

Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

Re: *Katz-Cherns Accessory Building, 38 Willow Tree Road, Wesley Hills*

Dear Zoning Board of Appeals members,

Ahuva Katz has discussed the need for a variance related to the existing accessory building (cabana). I am aware that a variance for exceeding the allowable 900 sf for an accessory building is required. I have no objection and would therefore request that the Zoning Board of Appeals grant this variance.

Thank you for your attention in this matter.

Respectfully submitted,

Yehuda Ginsberg

A handwritten signature in black ink, consisting of several overlapping loops and a long horizontal stroke extending to the right.

Gila Jacobowitz
40 Willow Tree Road
Wesley Hills, NY 10952

RECEIVED
VILLAGE OF WESLEY HILLS
JUN 20 2025
BUILDING,
PLANNING & ZONING

June 19, 2025

Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952

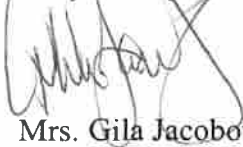
Re: *Katz-Cherns Accessory Building, 38 Willow Tree Road, Wesley Hills*

Dear Zoning Board of Appeals members,

Ahuva Katz has discussed the need for a variance related to the existing accessory building (cabana). I am aware that a variance for exceeding the allowable 900 sf for an accessory building is required. I have no objection and would therefore request that the Zoning Board of Appeals grant this variance.

Thank you for your attention in this matter.

Respectfully submitted,



Mrs. Gila Jacobowitz

File Attachments for Item:

5. Suggestion from the Zoning Board Attorney to include a Statement of Compliance regarding GML reviews in the ZBA application packet.

STATE OF NEW YORK)
COUNTY OF ROCKLAND) SS::
VILLAGE OF \VESLEY HILLS)

_____, (print full name of owner) being duly

sworn, deposes and says:

That (he)(she) is the owner of the property that is the subject matter of this application.

That (he)(she) agrees that (he)(she) and (his)(her) agents will comply with all recommendations made by the Rockland County Planning Department, the Rockland County Highway Department and all other review agencies relating to this application unless such recommendations are overridden by the Wesley Hills Zoning Board of Appeals.

(Sign full name of owner before Notary Public)

Sworn to before me this

day of 2025

(Notary Public)

File Attachments for Item:

6. June 18, 2025



ZONING BOARD OF APPEALS MEETING MINUTES

June 18, 2025, at 7:30 PM

432 Route 306, Wesley Hills, NY 10952

Phone: 845-354-0400 | Fax: 845-354-4097

MEMBERS PRESENT:

Stefanie Collantes, Acting Chairwoman
Richard Weinberger, Member
Randi Marlin, Member
Anita Hajioff, Ad Hoc

MEMBERS ABSENT:

Jonathan Gewirtz, Chairman
Barry Rozenberg, Ad Hoc
Stuart Zelmanovitz, Member

OTHERS PRESENT:

Doris Ulman, Assistant Village Attorney
Alicia Schultz, Deputy Village Clerk

Chairman Gewirtz opened the meeting at 7:30 pm followed by a roll call.

ITEM #1- PUBLIC HEARING – 38 Willow Tree Road

Chairwoman Collantes read the following public hearing notice into the record:

Application submitted by Ahuva Katz Cherns for an interpretation of Section 230-14O(5) of the Code of the Village of Wesley Hills, and if appropriate, for a variance from the provisions of Section 230-14O(5) of the Code of the Village of Wesley Hills, to permit the maintenance and use of a cabana that is 2,337 square feet instead of the maximum permitted of 900 square feet.

The subject premises are situated on the north side of Willow Tree Road approximately 700 feet west of State Route 306, known as 38 Willow Tree Road, designated on the Tax Map as Section 41.07 Block 2 Lot 33, in an R-50 Zoning District.

Todd Rosenblum, the applicant’s architect, was present and affirmed to tell the truth. Mr. Rosenblum stated that the Board has seen this property recently, as the applicant was granted a side yard variance and a total side yard variance for an addition to the home in April 2025. Mr. Rosenblum stated that the building permit for the cabana was issued in December 2024, and the approved plan shows the square footage of the cabana at 2,337 square feet. Mr. Rosenblum stated that when the application for the addition was being reviewed by the Village Engineer, one of their comments was that the Village Code reads that an accessory building is not to be more than 900 square feet in size without Zoning Board approval, and an accessory structure is to be no more than 2,500 square feet without Planning Board approval. Mr. Rosenblum stated that the Building Inspector mistakenly issued the permit under the “accessory structure” definition as opposed to the “accessory building” definition, as stated in the Inspector’s referral letter to the Zoning Board. Mr.

Rosenblum stated that the structure has been under construction for (6) months, and the foundation and framing of the cabana were completed by February 2025. Mr. Rosenblum reminded the Board that this is a larger property, so the accessory structures/buildings are not on top of each other, the applicant owns the neighboring property, and the properties to the front and rear of the home are a church and a wooded area. Mr. Rosenblum added that this is not a self-created hardship, that the applicant was issued a permit for this project by the Village, commenced construction and was surprised to learn of the discrepancy with their application.

Doris Ulman reads Section 230-14O(5) and (6) of the Code into the record. Ms. Ulman stated that the difference between them is that a building has walls (i.e. cabana, shed) and a structure does not (i.e. pool, sports court).

Chairwoman Collantes stated that the site visit previously conducted by the Zoning Board was not a complete walk through of the property, and they did not focus on the construction of the cabana; therefore, the Board will schedule a site visit for July 13, 2025.

Chairwoman Collantes questioned if anyone from the public would like to speak.

Nate Samuels, 7 Steinway Court, was present and affirmed to tell the truth. Mr. Samuels stated that he was also in front of the Zoning Board recently for a project on his home. Mr. Samuels believes that this application for a cabana is outrageous in size, that the inspector issued the permit with the knowledge that the cabana was to be considered a building rather than a structure, and approving the application for an accessory building of this size would set a precedent for larger buildings being constructed which opens the door for multi-family housing in the Village.

Chairwoman Collantes read the Building Inspector's referral letter to the Board dated May 28, 2025, into the record.

Chairwoman Collantes questioned if anyone else from the public would like to speak.

No one from the public chose to speak.

Randi Marlin made a motion to adjourn this application to the July 16, 2025 meeting and schedule a site visit for July 13, 2025, seconded by Anita Hajioff. Upon vote, this motion carried unanimously.

ITEM #2- CONTINUED PUBLIC HEARING – 4 Grand Park Drive

Chairwoman Collantes read the following public hearing notice into the record:

Application submitted by Moshe Lichtenstein on behalf of Four Grand Park LLC for variances from the provisions of Section 230-17 Attachment I and Section 230 34D(2) of the Code of the Village of Wesley Hills to permit the construction, maintenance and use of a single family residence and semi-circular driveway having impervious surface ratio of .203 instead of the maximum permitted of .20, front yard impervious surface ratio of .255 instead of the maximum permitted of .24 and driveway gradient of 12% for the first 20 feet instead of maximum permitted of 3%.

The subject premises are situated on the east side of Grand Park Drive approximately 160 feet north of Grandview Avenue, known as 4 Grand Park Drive, designated on the Tax Map as Section 41.14 Block 1 Lot 9, in an R-50 Zoning District.

Stanley Mayerfeld, the applicant's architect, was present and affirmed to tell the truth. Mr. Mayerfeld stated that the proposed plan requires THREE (3) variances for the driveway, as they need to shift and grade the

slope of the semi-circular driveway. Mr. Mayerfeld asked the Board to override paragraph (1) of the Rockland County Planning Department letter because applicant is using pervious pavers wherever feasible.

Chairman Gewirtz read letters of support from the following addresses:

1. 1 Grand Park Drive
2. 3 Grand Park Drive
3. 5 Grand Park Drive
4. 6 Grand Park Drive

Chairwoman Collantes questioned if anyone from the public would like to speak.

No one from the public chose to speak.

Chairwoman Collantes made a motion to approve the following resolution and to override paragraph (1) of the Rockland County Planning Department letter, seconded by Anita Hajioff:

In the Matter of the Application of
 Moshe Lichtenstein on behalf of Four Grand Park LLC
 Premises situated on the east side of Grand Park Drive
 Approximately 160 feet north of Grandview Avenue, known
 As 4 Grand Park Drive, designated on the Tax Map as Section
 41.14 Block 1 Lot 9, in an R-50 Zoning District

WHEREAS, application has been made to the Zoning Board of Appeals of the Village of Wesley Hills by Moshe Lichtenstein on behalf of Four Grand Park LLC for variances from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of a single family residence and semi-circular driveway having impervious surface ratio of .203 instead of the maximum permitted of .20, front yard impervious surface ratio of .255 instead of the maximum permitted of .24 and driveway gradient of 12% instead of the maximum permitted of 3%, and

WHEREAS, after due notice, a public hearing on said application was held by the Zoning Board of Appeals on May 21, 2025, which hearing was continued on June 16, 2025, and

WHEREAS, the applicant appeared by his architect and his engineer, who testified as follows:

That the impervious surface ratio variances requested are small because applicant is using pervious pavers wherever feasible;

That the 3% slope of the driveway starts at 13 feet instead of 20 feet and does not create any safety problems;

That there will be no increase in water runoff resulting from the project and the applicant will comply with all recommendations of the Village Engineer, and

WHEREAS, members of the Zoning Board of Appeals visited the site and viewed the location of the proposed driveway, and

WHEREAS, the Village Engineering Consultant issued a letter stating that the proposed driveway slope of 3% in the first 13 feet instead of the first 20 feet from the edge of curb is insignificant and will not create safety or drainage hazards; and

WHEREAS, the applicant submitted several letters in support of the application and no one appeared in opposition,

NOW, THEREFORE: IT IS HEREBY DETERMINED that the proposed action is a Type II action and no SEQRA determination is required, and be it further

RESOLVED, that the application submitted by Moshe Lichtenstein on behalf of Four Grand Park LLC for variances from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills to permit the construction, maintenance and use of a single family residence and semicircular driveway having impervious; surface ratio of .203 instead of the maximum permitted of .20, front yard impervious surface ratio of .255 instead of the maximum permitted of .24 and driveway gradient of 12% instead of the maximum permitted of 3%, site grading plan C-030.00 dated May 5, 2025, is hereby approved, subject to the following:

1. GML review letter from the Rockland County Department of Planning dated June 11, 2025 except that the Zoning Board of Appeals overrides Paragraph 1 of such letter because the applicant has used pervious pavers where feasible and the impervious surface ratio variances requested are minimal;
2. Rockland County Sewer District No. 1 review letter dated May 12, 2025;
3. Rockland County Center for Environmental Health letter dated June 18, 2025; and be it further

RESOLVED, that the Zoning Board of Appeals hereby makes the following Findings of Fact:

1. That the impervious surface ratio variances requested are minimal and the applicant is using pervious pavers where feasible;
2. That the Village Engineering Consultant has advised the Board that the slope differential is minimal and the Board has viewed the slope on site and agrees with the Engineer's opinion;
3. That no environmental or ecological detriment to neighboring properties or to the community has been identified or alleged;
4. That the benefit to the applicant by granting the variances is substantial whereas no detriment to adjoining properties or to the neighborhood has been identified.

Upon vote, this motion carried unanimously.

ITEM #3- CONTINUED PUBLIC HEARING – 91 Spook Rock Road

Chairwoman Collantes read the following public hearing notice into the record:

Application submitted by Jacob Fried for variances from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of a covered porch, pavers and deck having front yard of 47 feet instead of the minimum required of 50 feet, impervious surface ratio of .29 instead of the maximum permitted of .20 and front yard impervious surface ratio of .42 instead of the maximum permitted of .15.

The subject premises are situated on the west side of Spook Rock Road, known as 91 Spook Rock Road, designated on the Tax Map as Section 40.16 Block 1 Lot 10.2, in an R-50 Zoning District.

Paul Baum, the applicant’s attorney, was present and affirmed to tell the truth. Mr. Baum stated that this lot was brought into existence due to a subdivided lot and is a flag lot. Mr. Baum stated that the subdivision itself was granted variances, and the lot is slightly undersized. Mr. Baum stated that the flag lot driveway is rather long, was widened for safety purposes and straightened to include, for one lot only, and contributes to the larger variance.

Chairwoman Collantes questioned if anyone from the public would like to speak.

No one from the public chose to speak.

Chairwoman Collantes stated that the increased impervious surface ratio is for improving the driveway and parking area, and made a motion to approve the following resolution, seconded by Randi Marlin:

In the Matter of the Application of
Jacob Fried
Premises situated on the west side of Spook Rock
Road, known as 91 Spook Rock Road, designated
On the Tax Map as Section 40.16 Block 1 Lot 10.2
In an R-50 Zoning District

WHEREAS, application has been made to the Zoning Board of Appeals of the Village of Wesley Hills by Jacob Fried for variances from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of a covered porch having front yard of 47 feet instead of the minimum required of 50 feet, impervious surface ratio of .29 instead of the maximum permitted of .20 and front yard impervious surface ratio of .42 instead of the maximum permitted of .15, and

WHEREAS, after due notice, a public hearing was held on April 24, 2025, which hearing was continued on May 21, 2025 and Jtu1e 16, 2025, and

WHEREAS, the applicant appeared in person and by his attorney, and testified as follows:

That this lot is a flag lot that was part of a two lot subdivision that was approved and received variances in 2017;

That the original driveway is being widened for safety and straightened so that it is completely on the applicant's lot;

That the turnaround/parking area is being enlarged to accommodate an enclosed garbage area;

That the front yard variance is caused by the construction of a roof over the existing stairs and will not extend the front of the existing residence;

Although this lot is not visible from the street the applicant will provide extensive screening; and

WHEREAS, members of the Zoning Board of Appeals visited the site and viewed the existing and proposed improvements; and

WHEREAS, no one appeared in opposition to the application,

NOW, THEREFORE, IT IS HERREBY DETERMINED that the proposed action is a Type II action and that no SEQRA determination is required, and be it further

RESOLVED, that the application submitted by Jacob Fried for variances from the provisions of Section 23017 Attachment I of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of an addition to a single-family residence having front yard of 47 feet instead of the minimum required of 50 feet, impervious surface ratio of .29 instead of the maximum permitted of .20 and front yard impervious surface ratio of .42 instead of the maximum permitted of .15 are hereby granted subject to the following conditions:

1. Compliance with Rockland County Planning Department GML review letter dated May 8, 2025;
2. Compliance with Rockland County Highway Department letter dated April 8, 2025;
3. Compliance with Rockland County Sewer District No. 1 letter dated April 11, 2025;

And be it further

RESOLVED, that the Zoning Board of Appeals hereby makes the following Findings of Fact

1. That the front yard variance is minimal and does not increase the footprint of the existing residence;
2. That the front yard impervious surface ratio is only a 7% increase over the existing and serves both the front lot at 89 Spook Rock and the rear lot at 91 Spook Rock so that its impact is no greater than if there were two separate driveways for the two lots;
3. That if not for the long driveway there would be no need for the overall impervious surface ratio variance;
4. That no environmental or ecological impacts to adjoining properties or to the neighborhood has been identified;
5. That the benefit to the applicant by granting the variances is substantial whereas no detriment to the neighborhood has been identified.

Upon vote, this motion carried unanimously.

ITEM #4- APPROVAL OF MINUTES – APRIL 24, 2025

Chairwoman Collantes made a motion to approve the Zoning Board of Appeals minutes of April 24, 2025, seconded by Anita Hajioff. Upon vote, this motion carried unanimously.

ADJOURNMENT

Chairwoman Collantes made a motion to adjourn the meeting, seconded by Anita Hajioff. Upon vote, this motion carried unanimously.

Respectfully submitted,
Alicia Schultz