



ZONING BOARD OF APPEALS MEETING AGENDA

April 24, 2025 at 7:30 PM

432 Route 306, Wesley Hills, NY 10952

Phone: 845-354-0400 | Fax: 845-354-4097

CALL TO ORDER

ROLL CALL

PUBLIC HEARING

1. Application submitted by Ilana Rosen for variances from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of a detached garage having a front yard of 8.1 feet instead of the minimum required of 50 feet on Hillcrest Road, a front yard of 14.4 feet instead of the minimum required of 50 feet on East Lane and front yard impervious surface ratio of .263 instead of the maximum permitted of .20 on Hillcrest Road.

The subject premises are situated on the west side of East Lane approximately 400 feet south of Pomona Road, known as 29 East Lane, designated on the Tax Map as Section 42.05 Block 1 Lot 4, in an R-35 Zoning District.

CONTINUED PUBLIC HEARING

2. Application submitted by Ahuva Katz Chems for variances from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills to permit the construction, maintenance and use of an addition to a single-family residence, garage, inground pool and cabana having a side yard of 22.8 feet instead of the minimum required of 30 feet and total side yard of 52.8 feet instead of the minimum required of 75 feet.

The subject premises are situated on the north side of Willow Tree Road approximately 700 feet west of State Route 306, known as 38 Willow Tree Road, designated on the Tax Map as Section 41.07 Block 2 Lot 33, in an R-50 Zoning District.

3. Application submitted by Shoshana Kohn for variances from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of an addition to a single family residence having a front yard of 41.5 feet instead of the minimum required of 50 feet, side yard of 9.6 feet instead of the minimum required of 30 feet, total side yard of 35 feet instead of the minimum required of 75 feet, building coverage of .175 instead of the maximum permitted of .108, impervious surface ratio of .255 instead of the maximum permitted of .20 and front yard impervious surface ratio of .265 instead of the maximum permitted of .15.

The subject premises are situated on the south side of Buena Vista Road approximately 500 feet west of Cains Road, known as 22 Buena Vista Road, designated on the Tax Map as Section 32.19 Block 1 Lot 45, in an R-50 Zoning District.

- 4.** Application submitted by Pablo Umansky for variances from the provisions of Section 230-17 Attachment I and Section 230-14O(a)(4) and (5) of the Code of the Village of Wesley Hills to permit the construction, maintenance and use of a two story addition and terraces to a single family residence having a side yard of 11.5 feet instead of the minimum required of 25 feet, building coverage of .12 instead of the maximum permitted of .10, impervious surface ratio of .35 instead of the maximum permitted of .25 and an accessory building (garage) that is 1340 square feet instead of the maximum permitted of 900 square feet.

The subject premises are situated on the south side of East Willow Tree Road approximately 175 feet west of Arcadian Drive, known as 57 East Willow Tree Road, designated on the Tax Map as Section 41.12 Block 2 Lot 4, in an R-35 Zoning District.

- 5.** Application submitted by Elana Motechin for variances from the provisions of Sections 230-17 Attachment I and 230-

140(4)(a) to permit the construction, maintenance and use of a single family residence and inground swimming pool having a rear setback of 30 feet instead of the minimum required of 35 feet, building coverage of .34 instead of the maximum permitted of .10, building height of 28.9 feet instead of the maximum permitted of 25 feet, impervious surface ratio of .43 instead of the maximum permitted of .25, swimming pool side setback of 7.4 feet instead of the minimum required of 15 feet and swimming pool rear setback of 8.3 feet instead of the minimum required of 15 feet.

The subject premises are situated on the north side of Roven Road 0 feet from the intersection with Carefree Lane, known as 18 Roven Road, designated on the Tax Map as Section 41.06 Block 1 Lot 38, in an R-50 Zoning District.

APPROVAL OF MINUTES

- 6.** February 19, 2025
- 7.** March 19, 2025

ADJOURNMENT

File Attachments for Item:

1. Application submitted by Ilana Rosen for variances from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of a detached garage having a front yard of 8.1 feet instead of the minimum required of 50 feet on Hillcrest Road, a front yard of 14.4 feet instead of the minimum required of 50 feet on East Lane and front yard impervious surface ratio of .263 instead of the maximum permitted of .20 on Hillcrest Road.

The subject premises are situated on the west side of East Lane approximately 400 feet south of Pomona Road, known as 29 East Lane, designated on the Tax Map as Section 42.05 Block 1 Lot 4, in an R-35 Zoning District.

NARRATIVE SUMMARY

**29 East Lane
S/B/L 42.05-1-4**

RECEIVED
VILLAGE OF WESLEY HILLS
FEB 28 2025

This narrative summary is submitted in support of the application by Ilana Rosen for a variance to permit the construction of a new detached garage on the property located at 29 East Lane. The property is located in the Pomona Country Club Homeowners Association. East Lane is a private road. The property also abuts Hillcrest Road which is an unimproved paper street. The premises are in the R-35 Zoning District and are presently improved with a single-family dwelling.

The existing single-family home has a garage that is across the street from the house and about 250' feet away. The applicant wants to add a garage that is closer to her home and more functional.

SEQRA

The project should be classified as a Type II action pursuant to 6 NYCRR 617.5(c)(12) (construction, expansion or placement of minor accessory/appurtenant residential structures, including garages, carports, patios, decks, swimming pools, tennis courts, satellite dishes, fences, barns, storage sheds or other buildings not changing land use or density). No environmental review is required for Type II action.

GML REVIEW

The property is within 500' of McNamara Road, a county highway and the border of the Village of New Hempstead. A review by the Rockland County Department of Planning is required pursuant to General Municipal Law Section 239-m.

VARIANCES

The application requests that the following variance be granted:

	<u>Required</u>	<u>Proposed</u>
Front Yard (East Lane)	50'	14.4'
Front Yard (Hillcrest Road)	50'	8.1'
Front Yard Impervious Surface Ratio (Hillcrest Road)	.20	.263

BALANCING OF THE EQUITIES

In making its determination to grant a variance, a zoning board of appeals must take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination the zoning board of appeals is also required to consider the following factors:

- a. An undesirable change will not be produced in the character of the neighborhood, nor a detriment created to nearby properties by the granting of the area variances.

The neighborhood is located on private roads. Hillcrest Road is a paper street and no road exists. The encroachment into the front yard of Hillcrest will not impact the neighborhood as it will not be visible or noticeable. The yard to East Lane is an existing non-conforming condition and nothing is being done to change the existing setback. The front yard impervious surface ratio is really not applicable to this matter because a road does not exist and it is only a paper street. These variances will not create any detriment to nearby properties.

b. The benefit sought by the applicant cannot be achieved by some method feasible for the applicant to pursue, other than an area variance.

The applicant desires to have a garage closer to her home. This is the best placement of the garage on the lot so that it is functional. The proposed structure will not create any undesirable change in the character of the neighborhood. The garage will not infringe upon, or create a detriment to, any adjacent property owners.

c. That the requested area variances are not substantial.

Even though the front yard variance to Hillcrest Road seems significant from a numerical point of view, from a practical point, there is no street that abuts the property. Even if a numerical deviation from a bulk requirement is deemed “substantial”, the weight to be given to that finding is dependent on, and cannot be separated from, the impact that the deviation will have on the community.¹ The variance request should not be looked at in a vacuum free from any outside influences or information. Looking at just the numerical value is not an adequate indicator of substantiality, which must be judged by the totality of relevant circumstances and not just in the abstract. The front yard to East Lane is an existing condition. The slight increase in the front yard impervious ration is not significant.

d. That the proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.

The proposed variance will not have an adverse effect or impact on the physical or environmental conditions of the neighborhood or district. The project is considered a Type II action and is deemed not to have a significant impact on the environment and is otherwise precluded from environmental review.

f. That the alleged difficulty was not self-created.

The new garage will not detract from the community. Even if the Zoning Board finds the difficulty to be self-created, this factor is not dispositive of the applicant’s variance requests. Instead, any perceived self-created harm is greatly outweighed by the fact that the area variance will not result in any adverse impacts, will not be a detriment to nearby properties, and will not

¹ See, *Lodge Hotel, Inc. v. Town of Erwin Zoning Bd. of Appeals*, 21 Misc.3d 1120(A), (Sup Ct 2007), aff’d, 43 A.D.3d 1447 (4th Dep’t 2007) (“Looking at the variance request in such a vacuum is not an adequate indicator of the substantiality of Petitioner’s application. Substantiality cannot be judged in the abstract; rather, the totality of relevant circumstances must be evaluated in determining whether the variance sought is, in actuality, a substantial one.”) See also, *Aydellott v. Town of Bedford Zoning Board of Appeals*, 6/25/03 N.Y.L.J. 21 (col.4) (Supreme Court, Westchester Co., 2003) (When reviewing the application in the context of the overall impact it would have on the neighborhood, it is clear that the variance request is not substantial, especially when considering that the structure will have the outside appearance of a two-story building.)

create an undesirable change in the character of the neighborhood.

CONCLUSION

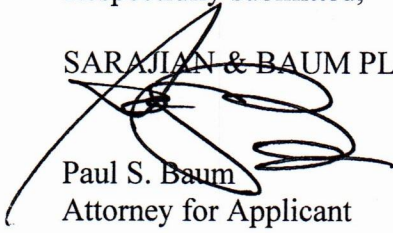
The property is unique in that it is in a private community and served by private roads. It abuts a paper street that will never be built. The lot is split by a private road and the existing garage is located across the street and about 250' away from the residence and is not practical. The requested variances will not negatively impact any of the neighbors or create a detriment to the community. Under the particular circumstances of this case, the benefit to the applicant from the grant of the variances significantly outweighs any detriment to the health, safety and welfare of the neighborhood. The balance of equities lies in favor of granting the variances.

For all the foregoing reasons, it is respectfully requested that the Zoning Board of Appeals grant the applicant the requested variances.

Dated: February 24, 2025

Respectfully submitted,

SARAJIAN & BAUM PLLC

A handwritten signature in black ink, appearing to read "Paul S. Baum", is written over the typed name and firm name.

Paul S. Baum
Attorney for Applicant

GML Report

Property Information:

Parcel ID: 42.05-1-4	Date Parcel: February 2024
OLD ID: 10-4A1B1	Address: 29 EAST LN
City: SUFFERN	State: NY
Zip: 10901	Book Page: N/A
Deed Date: 12/22/1999 12:00:00 AM	Instrument: 1999-00065610
Municipality: WESLEY HILLS	Deed Acres: 0
GIS Calculated Acres: 1.579	

R-35 Zone

GML Criteria:

Requires GML Review: YES	Adjacent Town Boundary: NO
Adjacent Village Boundary: YES	Orange County Boundary: NO
County Facility: NO	NYS Facility: NO
County Park: NO	State Park: NO
County Regulated Streams: NO	Long Path Hiking Trail: NO
ROW-County Highways: YES	ROW-NYS Highway: NO
ROW-NYS Thruway: NO	ROW-Palisades Interstate Parkway: NO
X Coordinate: -74.05565876	Y Coordinate: 41.16187123

ROCKLAND COUNTY SEWER DISTRICT NO. 1

4 Route 340
Orangeburg, New York 10962
Phone: (845) 365-6111 Fax: (845) 365-6686
RCSD@co.rockland.ny.us

RECEIVED
VILLAGE OF WESLEY HILLS

MAR 20 2025

BUILDING,
PLANNING & ZONING

Michael Specht
Chairman

Michael R. Saber, P.E.
Executive Director

March 13, 2025

Ms. Alicia Schultz
Deputy Village Clerk
Village of Wesley Hills
432 Route 306
Monsey, NY 10952

Re: Ilana Rosen
29 East Lane
Tax Lot 11/42.05-1-4 (formerly 10./4/A1B1)

Dear Ms. Schultz:

Our office has received and reviewed a site plan that was last revised on February 3, 2025, which Paul Gdanski, P.E. PLLC prepared for the above referenced project. We thank you for the opportunity to comment on this application. Our comments are as follows:

1. Rockland County Sewer District No. 1 does not object to the plan as shown. Approval of this application and variances for detached garage on a 68,951 square foot lot in the R-35 District does not affect any sanitary sewers. The site has a septic system, and there are no sanitary sewers in the vicinity of this lot.
2. Details for septic system construction are subject to approval by the Rockland County Health Department and the Town of Ramapo.
3. If future sanitary sewer lines are extended to the site, the property owner will be required to connect to the sewerage system.

Please inform us of all developments in this project. If you have any questions, please contact this office at 845-365-6111.

Very truly yours,

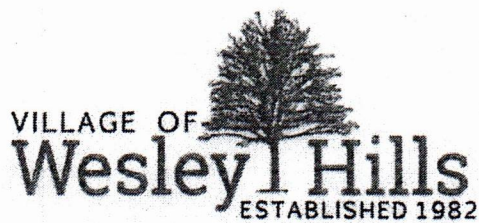


Lorelei Greene Tinston
Engineer I

cc: M. Saber M. Dolphin D. Gregory
Michael Sadowski, P.E. – Town of Ramapo DPW
Paul Gdanski, P.E. PLLC – 633 Woodmont Lane, Sloatsburg, NY 10974
Ilana Rosen – 3 Marcia Lane, Spring Valley, NY 10977

File: TOR 42.05-1-4 – 29 East Lane
Reader

Rocklandgov.com



432 Route 306

Wesley Hills, N.Y. 10952-1221

Phone 845-354-0400 FAX 845-354-4097 www.wesleyhills.org

RECEIVED
VILLAGE OF WESLEY HILLS

FEB 28 2025

BUILDING,
PLANNING & ZONING

Date: February 6, 2025

Tax Parcel ID: 42.05-1-4

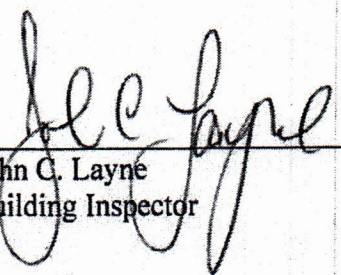
Address: 29 East Lane

Applicant: Rosen

BUILDING AND ZONING DEPARTMENT:

Please be advised that your request for a building permit is denied. The following variances are required:

1. Front Yard on Hillcrest Road-50 required, 14.4 provided.
2. Front Yard on East Lane – 50 required, 8.1 provided.
3. Maximum Front Yard on Hillcrest Road - .20 required, .263 provided.

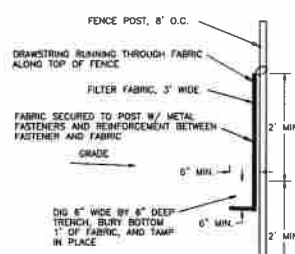
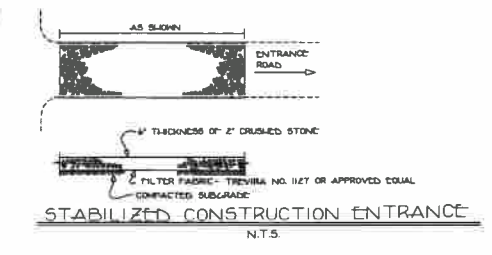
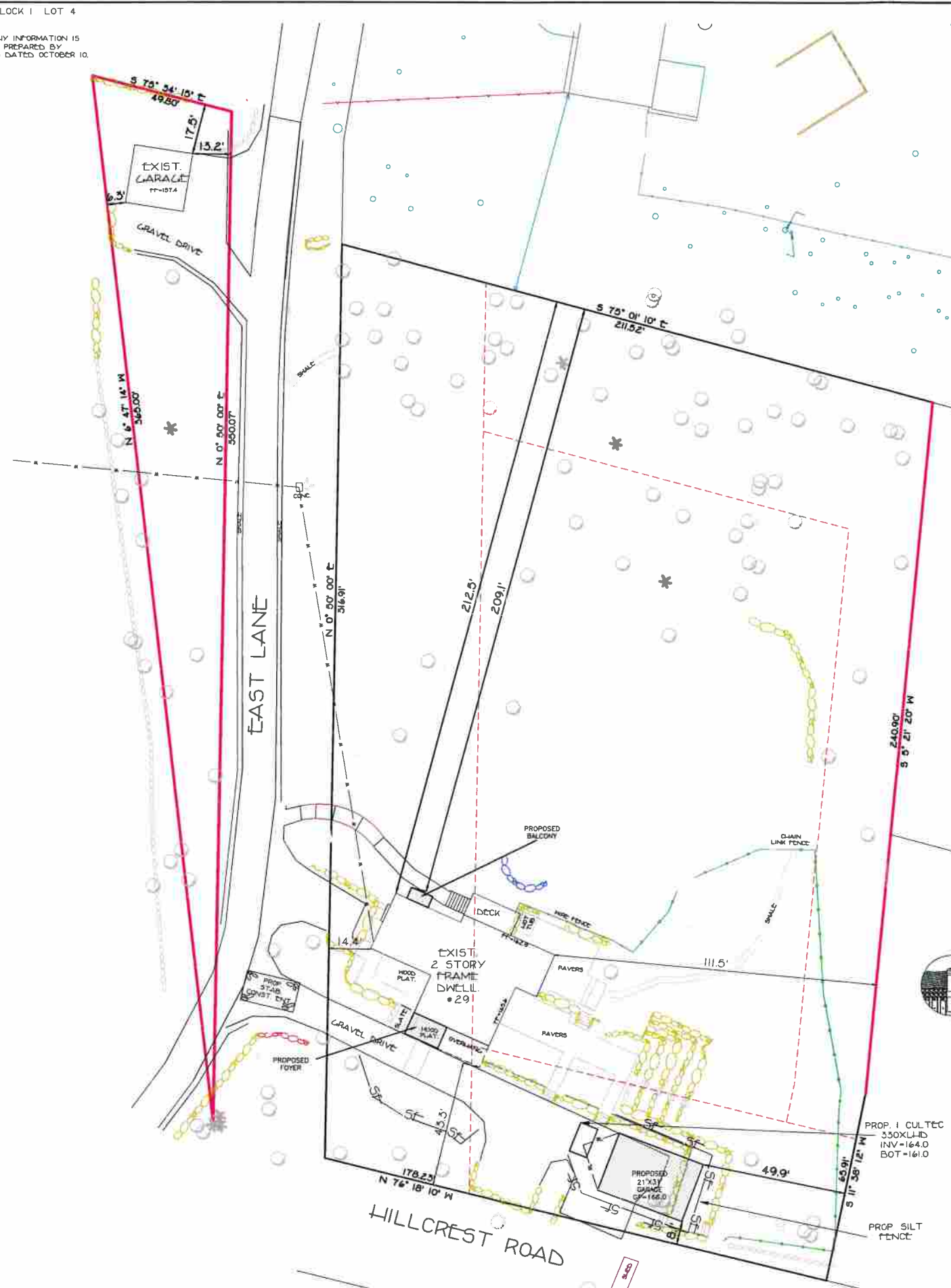


John C. Layne
Building Inspector

cc: Zoning Board of Appeals

Mayor: Marshall Katz Deputy Mayor: Milton Schwartz
Trustees: Yisroel Cherns, Joseph Mause, Tova Krull
Village Clerk-Treasurer: Camille Guido-Downey Village Attorney: Benjamin Selig, Bruce Minsky

TAX SECTION 42.05 BLOCK 1 LOT 4
 REFERENCES:
 ALL BOUNDARY & TOPOGRAPHY INFORMATION IS REFERENCED FROM A SURVEY PREPARED BY ANTHONY R. CELENTANO, PLS DATED OCTOBER 10, 2024. PROVIDED BY OWNER.

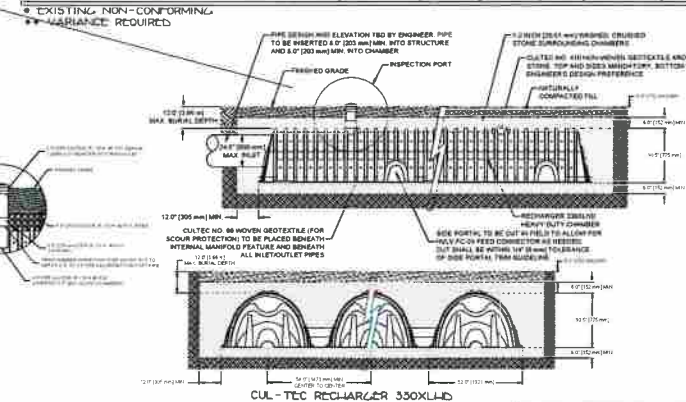


IMPERVIOUS COVERAGE:
 DWELLING=1804 SF
 GRAVEL DRIVEWAY & FRONT WALK=3088 SF
 REAR DECK=184 SF
 REAR PAVERS=526 SF
 SIDE PAVERS & STAIRS=771 SF
 WOOD PLATFORM=465 SF
 WALK=282 SF
 GARAGE ACROSS STREET=412 SF
 DRIVE ACROSS STREET=1248 SF
 PROP. GARAGE INCREASE=295 SF
 PROP. ADDITION INCREASE=47 SF
 EXIST. TOTAL=8760 SF
 PROP. TOTAL=9102 SF

BUILDING COVERAGE:
 EXISTING:
 DWELLING=1804 SF
 DECK=184 SF
 GARAGE=412 SF
 TOTAL=2400 SF
 COV=2400 SF/68.9512 SF=0.0348
 PROPOSED:
 DWELLING=1804 SF
 DECK=185 SF
 GARAGE=412 SF
 PROP. GARAGE=651 SF
 PROP. ADDITION=100 SF
 TOTAL=3185 SF/68.9512 SF=0.0462

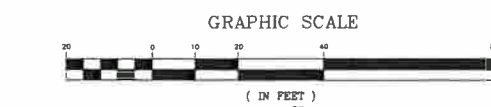
VILLAGE OF WESLEY HILLS BULK REQUIREMENTS
 ZONE R-35
 SINGLE FAMILY DWELLING

	MINIMUM LOT AREA (SF)	MINIMUM LOT FRONTAGE (FT)	MINIMUM LOT WIDTH (FT)	MINIMUM EFFECTIVE SQUARE SIDE (FT)	FRONT YARD LANE (FT) EAST	FRONT YARD LANE (FT) HILL	SIDE YARD (FT)	TOTAL SIDE YARD (FT)	REAR YARD (FT)	MAXIMUM IMPERVIOUS SURFACE RATIO	MAXIMUM FRONT YARD IMPERVIOUS SURFACE RATIO HILLCREST	MAXIMUM FRONT YARD IMPERVIOUS SURFACE RATIO EAST	MAXIMUM BUILDING COVERAGE	MAXIMUM BUILDING HEIGHT (STORIES/FT)	MAXIMUM EXPOSED BUILDING WEIGHT (FT)
REQD	35,000	100	125	125	50	50	25	60	50	0.25	0.20	0.20	0.10	2.5 / 25	40
EXIST	68,951.2	495.14	315.7	125	14.4*	43.5*	111.5	NA	212.5	0.127	0.329*	0.125	0.0348	18.5	40
PROP.	68,951.2	495.14	315.7	125	14.4*	81.9*	49.9	NA	209.1	0.132	0.283*	0.125	0.0462	18.5	40



UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND UTILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE, AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.

DATE	REVISIONS



UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 2403 OF THE NEW YORK STATE SEALS AND STAMPS ACT. THE SEAL OF THE SURVEYOR OR ENGINEER SHALL NOT BE USED FOR ANY OTHER PURPOSE. ANY ALTERATION OR ADDITION TO THIS PLAN WITHOUT THE SIGNATURE OF THE SURVEYOR OR ENGINEER IS UNLAWFUL.

PLOT PLAN FOR ROSEN VILLAGE OF WESLEY HILLS TOWN OF RAMAPO ROCKLAND COUNTY, NEW YORK

DESIGNED PG / DRAWN PG / CHECKED PG / APPROVED PG

PAUL GDANSKI P.E., PLLC
 653 WOODMONT LANE
 SLOATSBURG, NY 10974
 TEL (917) 418-0999
 EMAIL: PGSKI@ARTLINK.NET

DATE: 29EAST
 DATE: FEB 3, 2025
 SCALE: 1" = 20'
 DATE: 1 OF 1

**ROCKLAND COUNTY DEPARTMENT OF PLANNING
REFERRAL FORM FOR GENERAL MUNICIPAL LAW REVIEWS**

Item 1.

Municipality: Village of Wesley Hills

Date Sent: 3/4/2025

Board: ___ Planning X ZBA ___ Town/Village

Meeting Date: 4/16/2025

File Name Ilana Rosen
Contact Person Alicia Schultz, Deputy Village Clerk
Address 432 Route 306
 Wesley Hills, NY 10952

Referral Agencies

(Please indicate the agencies that have also received copies of this application)

- X RC Highway Department
- ___ RC Division of Environmental Resources
- ___ RC Drainage Agency
- X RC Department of Environmental Health (Sewers, Water, Mosquito Code, Underground Tanks)
- X RC Sewer District #1
- ___ NYS Department of Environmental Conservation
- ___ NYS Department of Transportation
- ___ NYS Thruway Authority
- ___ NY-NJ Trail Conference (Long Path)
- ___ Palisades Interstate Park Commission
- ___ US Army Corps of Engineers
- ___ Cornell Cooperative Extension of Rockland County
- X Adjacent Municipality- Village of New Hempstead
- ___ Other- _____

Pursuant to the General Municipal Law Article 12-B, Section

- 239 (n):** ___ Subdivision
239 (l) & (m): ___ Site Plan X Variance ___
___ Special Permit ___ Zone Change/Amendment
Other- _____

Location of Parcel(s): 29 East Lane

Acreage of Parcel (s): 1.579

Existing Sq. Footage _____ **Proposed Sq. Footage** _____

The Property in Question Lies Within 500 Feet of:

- X County Road
- ___ County Stream
- ___ County Park
- ___ County or State Facility
- ___ State Road, Thruway, or Parkway
- ___ State Park
- X Village, Town, or County Boundary
(Town of Ramapo)

Map 42.05 **Block** 1 **Lot(s)** 4 **Map Date:** February 3, 2025

Current Zoning: R-35

Brief Project Description: Moving/replacing garage on property in need of (3) variances.

Variances Needed *(if applicable)*

Required

Proposed

Item 1.

Minimum front yard- Hillcrest Rd	50'	14.4'
Minimum front yard- East Lane	50'	8.1'
Max. FY imp surface ratio- Hillcrest Rd	0.20	0.263

Rockland County Department of Planning 9/13 {G:\All\GML\GML Referral Form}

FEB 28 2025

BUILDING,
PLANNING & ZONING

PART I

Name of Municipality VILLAGE OF WESLEY HILLS

Date 2/27/25

Please check all that apply:

<input type="checkbox"/> Planning Board	<input type="checkbox"/> Architectural Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Municipal Board	
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Pre-preliminary/Sketch
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Zoning Code Amendment	<input type="checkbox"/> Zone Change
<input checked="" type="checkbox"/> Variance * (Fill out Part II of this form.)	

Project Name: 29 East Lane garage,

Applicant: Ilana Rosen Phone # 845-499-0725
 Address 3 Marcia Ln. Spring Valley NY 10977
Street Name & Number (Post Office) State Zip code

Property Owner: Ilana Rosen Phone # 845-499-0725
 Address 3 Marcia Ln. Spring Valley NY 10977
Street Name & Number (Post Office) State Zip code

Engineer/Architect/Surveyor: Paul Gdanski, P.E. PLLC Phone # 917-418-0999
 Address 633 Woodmont Ln. Slootsburg NY 10974
Street Name & Number (Post Office) State Zip code

Attorney: Paul Baum Esq Phone # 845-205-4556
 Address 155 W. Main St. New City NY 10956
Street Name & Number (Post Office) State Zip code

Contact Person: Paul Baum Esq Phone # 845-205-4556
 Address 155 W. Main St. New City NY 10956
Street Name & Number (Post Office) State Zip code

Tax Map Designation:

Section 42.05 Block 1 Lot(s) 4

Section _____ Block _____ Lot(s) _____

Location: On the west side of East Lane,
400 feet South of Pomona Lane.

Acreage of Parcel 1.54 **Zoning District** Wesley Hills

School District Rango **Postal District** Subton, 10901

Project Description: *(If additional space required, please attach a narrative summary.)*

Current garage is too far from the house.
Project is to build new garage next to the house.
See attached

If subdivision: NA

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ___ If so, what amount? _____

Project History: Has this project ever been reviewed before? no

If so, list case number, name, date, and the board you appeared before.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

Sec 42.05 Block 1, lot 4

"Permission is hereby granted to the Village of Wesley Hills, its agents, servants and employees to enter upon the above described property solely for the purposes incidental to the within application at reasonable times upon reasonable notice to the owner or tenant in possession."

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 K, L, M, AND N.

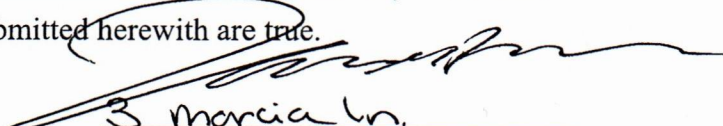
- State or County Road
- Long Path
- Municipal Boundary
- State or County Park
- County Stream
- County Facility

List name(s) of facility checked above. McNamara Rd (CR67)
and village of New Hempstead

Applicant's Signature and Certification

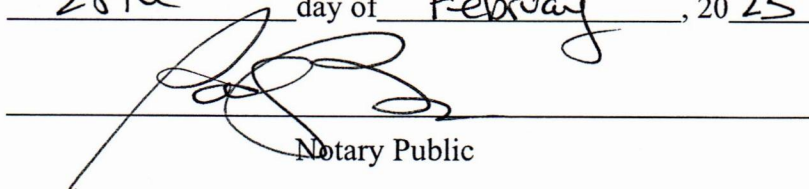
State of New York)
County of Rockland) SS.:
Town/Village of Ramapo / New Hempstead

I, Dana Podes, hereby depose and say that all the above statements contained in the papers submitted herewith are true.



Mailing Address 3 Marcia Ln.
Spring Valley NY 10977

SWORN to before this
28th day of February, 2025


Notary Public

PAUL S. BAUM, NOTARY PUBLIC
Qualified Orange County, New York
No. 02BA4947831 Expires 2/27/2027

Affidavit of Ownership/Owner's Consent

State of New York)
County of Rockland) SS.:
Town/Village of Ranapo / Coney Hill)

I, Ilana Rubin being duly sworn, hereby
depose and say that I reside at: 3 Marcia Ln, Spring Valley
NY 10977
in the county of Rockland in the state of NY.

I am the * ✓ owner in fee simple of premises located at:
29 East Lane, Sutherland, NY 10901

described in a certain deed of said premises recorded in the Rockland County Clerk's
Office in Liber _____ of conveyances, page Instrument No. 2024-33331.

Said premises have been in my/its possession since 11/14/24. Said premises are
also known and designated on the Town of Ranapo Tax Map as:
section 42.05 block 1 lot(s) 4

I hereby authorize the within application on my behalf, and that the statements of fact
contained in said application are true, and agree to be bound by the determination of the
board.

Owner [Signature]
Mailing Address 3 Marcia Ln.
Spring Valley NY 10977

SWORN to before this
28th day of February, 20 25

[Signature]
Notary Public

PAUL S. BAUM, NOTARY PUBLIC
Qualified Orange County, New York
No. 02BA4947831 Expires 2/27/2027

* If owner is a corporation, fill in the office held by deponent and name of corporation,
and provide a list of all directors, officers and stockholders owning more than 5% of
any class of stock.

Affidavit Pursuant to Section 809 of the General Municipal Law

State of New York
County of Rockland) SS.:
Town/Village of Ramapo/Wesley Hills)

I, Ilana H. Rosen, being duly sworn, hereby depose and say that all the following statements and the statements contained in the papers submitted herewith are true and that the nature and extent of any interests set forth are disclosed to the extent that they are known to the applicant.

1. Print or type full name and post office address

Ilana H. Rosen
3 marcia ln
Spring Valley NY 10977

certifies that he is owner or agent of all that certain lot, piece or parcel of land and/or building described in this application **and if not the owner that he has been duly and properly authorized to make this application and to assume responsibility for the owner in connection with this application for the relief below set forth:**

2. To the Wesley Hills Zoning board of the Town/Village of
(Board, Commission or Agency)
Ramapo/Wesley Hills, Rockland County, New York:

Application, petition or request is hereby submitted for:

- Variance or modification from the requirement of Section 230-~~17~~ ;
- Special permit per the requirements of Section _____ ;
- Review and approval of proposed subdivision plat;
- Exemption from a plat or official map;
- An order to issue a certificate, permit or license;
- An amendment to the Zoning Ordinance or Official Map or change thereof;
- Other (explain) _____ ;

To permit construction, maintenance and use of Garage which has less than the minimum front yard on Hillcrest Rd. Variance also sought for front yard to East lane and increase in maximum front yard impervious surface ratio on Hillcrest Rd.

3. Premises affected are in a R-35 zone and from the town of Ramapo tax map, the property is know as Section 42.05, Block, 1, Lot(s) 4.

4. There is no state officer, Rockland County Officer or employee or town/village officer or employee nor his or her spouse, brother, sister, parent, child or grandchild, or a spouse of any of these relatives who is the applicant or who has an interest in the person, partnership or association making this application, petition or request, or is an officer, director, partner or employee of the applicant, or that such officer or employee, if this applicant is a corporation, legally or beneficially owns or controls any stock of the applicant in excess of 5% of the total of the corporation if its stock is listed on the New York or American Stock Exchanges; or is a member or partner of the applicant, if the applicant is an association or a partnership; nor that such town/village officer or employee nor any member of his family in any of the foregoing classes is a party to an agreement with the applicant, express or implied, whereby such officer or employee may receive any payment or other benefit, whether or not for service rendered, which is dependent or contingent upon the favorable approval of this application, petition or request.

5. That to the extent that the same is known to your applicant, and to the owner of the subject premises **there is disclosed herewith** the interest of the following officer or employee of the State of New York or the County of Rockland or of the Town/Village of Cooley Hills in the petition, request or application or in the property or subject matter to which it relates:

(if none, so state)

a. Name and address of officer or employee None

b. Nature of interest _____

c. If stockholder, number of shares _____

d. If officer or partner, nature of office and name of partnership _____

e. If a spouse or brother, sister, parent, child, grandchild or the spouse of any of these blood relatives of such state, county or town/village officer or employee, state name and address of such relative and nature of relationship to officer and employee and nature and extent of office, interest or participation or association having an interest in such ownership or in any business entity sharing in such ownership. _____

f. In the event of corporate ownership: A list of all directors, officers and stockholders of each corporation owning more than five (5%) percent of any class of stock, must be attached, if any of these are officers or employees of the State of New York, or of the County of Rockland, or of the Town/Village of _____.

I, _____, do hereby depose and say that all the above statements and statements contained in the papers submitted herewith are true, knowing that a person who knowingly and intentionally violates this section is guilty of a misdemeanor.

Mailing Address 3 Maraca Ln
Spring Valley NY 10977

SWORN to before this

28th day of February, 2025
[Signature]
Notary Public

PAUL S. BAUM, NOTARY PUBLIC
Qualified Orange County, New York
No. 02BA4947831 Expires 2/27/2027

VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

AFFIDAVIT OF OWNERSHIP

STATE OF NEW YORK }
COUNTY OF ROCKLAND } SS:
VILLAGE OF WESLEY HILLS }

Iana H. Rosen being duly sworn, deposes and

says that he/she resides at 3 Maria Ln.

Spring Valley NY 10977

in the County of Rockland, State of New York; that he/she is the owner in fee of all that certain lot, piece or parcel of land situated, lying and being in the Village of Wesley Hills, and designated on the Town of Ramapo Map as Section No. 42.05 Lot No. 1 and that he/she hereby authorizes the attached application to be submitted in his/her behalf and that the statements of fact contained in said application are true.

The applicant is the (owner) (contract vendee) of the said property.

Owner: [Signature]

Address: 3 Maria Ln

Spring Valley NY 10977

Sworn to before me this

28th day of February 2025

[Signature]
Notary Public

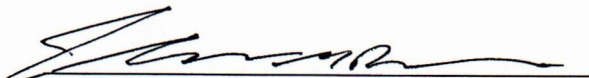
PAUL S. BAUM, NOTARY PUBLIC
Qualified Orange County, New York
No. 02BA4947831 Expires 2/27/2027

DISCLAIMER

APPLICANT TAKES FULL RESPONSIBILITY FOR RESEARCHING THE TAX MAP FOR THE LIST OF NAMES OF PROPERTY OWNERS ON THE ENCLOSED *AFFIDAVIT OF MAILING LIST*, AND SUPPLYING THE NECESSARY AMOUNT OF SELF-ADDRESSED STAMPED ENVELOPES.

THE APPLICANT'S ENVELOPES MUST COINCIDE WITH THE LIST. THE CLERK'S RESPONSIBILITY IS LIMITED TO CHECKING NAMES ON THE ENVELOPES AGAINST THE AFOREMENTIONED AFFIDAVIT BEFORE MAILING THEM.

RECEIPT OF THIS DISCLAIMER IS ACKNOWLEDGED



APPLICANT

2/27/25

DATED

PART II

Application before the Zoning Board of Appeals

Application, petition or request is hereby submitted for:

- Variance from the requirement of Section 230-17 _____;
- Special permit per the requirements of Section _____;
- Review of an administrative decision of the Building Inspector;
- An order to issue a Certificate of Occupancy;
- An order to issue a Building Permit;
- An interpretation of the Zoning Ordinance or Map;
- Certification of an existing non-conforming structure or use;
- Other (*explain*) _____;

To permit construction, maintenance and use of Garage which had less
than the minimum front yard on Hillcrest Rd. Variances
also sought for front yard to 2nd lane and increase in
maximum front yard impervious surface ratio on Hillcrest Rd

File Attachments for Item:

2. Application submitted by Ahuva Katz Chems for variances from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills to permit the construction, maintenance and use of an addition to a single-family residence, garage, inground pool and cabana having a side yard of 22.8 feet instead of the minimum required of 30 feet and total side yard of 52.8 feet instead of the minimum required of 75 feet.

The subject premises are situated on the north side of Willow Tree Road approximately 700 feet west of State Route 306, known as 38 Willow Tree Road, designated on the Tax Map as Section 41.07 Block 2 Lot 33, in an R-50 Zoning District.



February 13, 2025

Zoning Board of Appeals
 Village of Wesley Hills
 432 Route 306
 Wesley Hills, New York 10952

RECEIVED
 VILLAGE OF WESLEY HILLS

FEB 19 2025

BUILDING,
 PLANNING & ZONING

Re: *The Katz Residence, 38 Willow Tree Road, Wesley Hills, NY*

To the Wesley Hills Zoning Board of Appeals,

My client, Ahuva Katz, is requesting variances to construct an addition to the existing single family residence. The proposed project requires variances for exceeding the allowable *Side Yard Setback and Total Side Yard Setback* as stated in Section 230 and the Villages Table of Dimensional Requirements.

We believe that the threshold of “practical difficulty” has been met and therefore the variances should be granted. In making its determination, the Zoning Board of Appeals should consider the following factors:

- A) Due to the nature of the variances being sought, the benefits to the applicant, if the variances are granted, outweigh any detriment to the health, safety, and welfare of the neighborhood or community.
- B) Due to the nature of the variances, no undesirable changes will be produced in the character of the neighborhood and no detriment to nearby properties will be created by the granting of the variances.
- C) The benefits sought by the applicant cannot be achieved by some other feasible method due to the layout of the existing house, existing site improvements, and the Owner’s programmatic needs.
- D) The Side Yard Variance is from the allowable 30.0’ to 22.8’ (7.2’ overage). The Total Side Yard Variance is from the allowable 75.0’ to 59.8’ (15.2’ overage).
- E) These variances will be mitigated in several ways. The mitigating factors are as follows:
 - 1. The side yard variance at 22.8’ is located on the eastern side, adjacent to another property owned by Ahuva Katz, so the impact on others will be avoided.
 - 2. The side yard to the existing house on the west side of the property is 37’, which is 7’ above the minimum allowable.
 - 3. The two properties, under one ownership, are both quite large and therefore the proposed addition will not appear out of character with its neighbors. Including the proposed addition, the two houses will still be over 100’ apart from each other.

The proposed variances will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood due to the reasons outlined in items A-E. Thank you for your attention in this matter.

Sincerely,



RECEIVED
VILLAGE OF WESLEY HILLS

PART I

FEB 19 2025

Name of Municipality VILLAGE OF WESLEY HILLS BUILDING, PLANNING & ZONING DATE 2/12/25

Please check all that apply:

<input type="checkbox"/> Planning Board	<input type="checkbox"/> Architectural Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Municipal Board	
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Pre-preliminary/Sketch
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Zoning Code Amendment	<input type="checkbox"/> Zone Change
<input checked="" type="checkbox"/> Variance * (Fill out Part II of this form.)	

Project Name: CHEMNS RESIDENCE ADDITION

Applicant: AHUVA KATZ CHEMNS Phone # -

Address 38 WILLOW TREE ROAD MONSEY NY 10952

Street Name & Number (Post Office) State Zip code

Property Owner: AHUVA KATZ CHEMNS Phone # -

Address 38 WILLOW TREE ROAD MONSEY NY 10952

Street Name & Number (Post Office) State Zip code

Engineer/Architect/Surveyor: PAUL GDANSKI Phone # -

Address 3512 WHITTIER COURT MAWAH NJ 07430

Street Name & Number (Post Office) State Zip code

ARCHITECT

Attorney: TODD ROSENBLUM Phone # -

Address 221 QUAKER RD POMONA NY 10970

Street Name & Number (Post Office) State Zip code

Contact Person: TODD ROSENBLUM Phone # 845-304-0337

Address _____

Street Name & Number (Post Office) State Zip code

Tax Map Designation: 41.07-2-33

Section _____ Block _____ Lot(s) _____
Section _____ Block _____ Lot(s) _____

Location: On the NORTH side of WILLOW TREE ROAD,
700 feet WEST of NYS ROUTE 306.

Acreeage of Parcel 97,898 SF Zoning District R50
School District EAST RAMAPO Postal District MONSEY

Project Description: (If additional space required, please attach a narrative summary.)

SEE ATTACHED NARRATIVE LETTER.

If subdivision:

- 1) Is any variance from the subdivision regulations required? NA
- 2) Is any open space being offered? If so, what amount? NA

Project History: Has this project ever been reviewed before? NO

If so, list case number, name, date, and the board you appeared before.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

36 WILLOW TREE ROAD
41.07-2-32

"Permission is hereby granted to the Village of Wesley Hills, its agents, servants and employees to enter upon the above described property solely for the purposes incidental to the within application at reasonable times upon reasonable notice to the owner or tenant in possession."

This property is within 500 feet of: NA
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 K, L, M, AND N.

- State or County Road
- Long Path
- Municipal Boundary
- State or County Park
- County Stream
- County Facility

List name(s) of facility checked above. _____

Applicant's Signature and Certification

State of New York)
County of Rockland) SS.:
Town/Village of WESLEY HILLS

I, AHUVA KATZ *AK*, hereby depose and say that all the above statements contained in the papers submitted herewith are true.

Mailing Address

AHUVA KATZ
38 WILLOW TREE RD.
MONSEY, NY 10952

SWORN to before this
13th day of Feb, 2025

Lauren Hirsch
Notary Public



Affidavit of Ownership/Owner's Consent

State of New York
County of Rockland) SS.:
Town/Village of WESLEY HILLS

I, AHUVA KATZ being duly sworn, hereby
depose and say that I reside at: 38 WILLOW TREE ROAD

in the county of ROCKLAND in the state of NEW YORK.

I am the * _____ owner in fee simple of premises located at:
38 WILLOW TREE ROAD

described in a certain deed of said premises recorded in the Rockland County Clerk's
Office in Liber _____ of conveyances, page _____
BAKER ESTATES SEC 1 MAP # 5892 Book #1019 PAGE #40
5/19/86

Said premises have been in my/its possession since 9/13/22. Said premises are
also known and designated on the Town of RAMAPO Tax Map as:
section _____ block _____ lot(s) _____
41.07-2-33

I hereby authorize the within application on my behalf, and that the statements of fact
contained in said application are true, and agree to be bound by the determination of the
board.

Owner AHUVA KATZ
Mailing Address 38 WILLOW TREE RD
MORTSEY NY 10952

SWORN to before this
13th day of Feb, 2025

Lauren Hirsch
Notary Public

LAUREN HIRSCH
Notary Public - State of New Jersey
My Commission Expires Feb 16, 2026

* If owner is a corporation, fill in the office held by deponent and name of corporation,
and provide a list of all directors, officers and stockholders owning more than 5% of
any class of stock.

Affidavit Pursuant to Section 809 of the General Municipal Law

State of New York)
County of Rockland) SS.:
Town/Village of WESLEY HILLS

I, AHUVA KATZ, being duly sworn, hereby depose and say that all the following statements and the statements contained in the papers submitted herewith are true and that the nature and extent of any interests set forth are disclosed to the extent that they are known to the applicant.

1. Print or type full name and post office address

AHUVA KATZ
38 WILLOW TREE RD.
MONSIEY NY 10952

certifies that he is owner or agent of all that certain lot, piece or parcel of land and/or building described in this application **and if not the owner that he has been duly and properly authorized to make this application and to assume responsibility for the owner in connection with this application for the relief below set forth:**

2. To the ZONING BOARD OF APPEALS of the Town/Village of WESLEY HILLS (Board, Commission or Agency), Rockland County, New York:

Application, petition or request is hereby submitted for:

- Variance or modification from the requirement of Section 230 TOTAL SIDEYARD ^{SIDEYARD}
- Special permit per the requirements of Section _____;
- Review and approval of proposed subdivision plat;
- Exemption from a plat or official map;
- An order to issue a certificate, permit or license;
- An amendment to the Zoning Ordinance or Official Map or change thereof;
- Other (explain) _____;

To permit construction, maintenance and use of AN ADDITION TO AN EXISTING SINGLE FAMILY DWELLING.

3. Premises affected are in a R50 zone and from the town of RAMAPO tax map, the property is know as Section _____, Block, _____, Lot(s) _____.

41.07-2-33

4. There is no state officer, Rockland County Officer or employee or town/village officer or employee nor his or her spouse, brother, sister, parent, child or grandchild, or a spouse of any of these relatives who is the applicant or who has an interest in the person, partnership or association making this application, petition or request, or is an officer, director, partner or employee of the applicant, or that such officer or employee, if this applicant is a corporation, legally or beneficially owns or controls any stock of the applicant in excess of 5% of the total of the corporation if its stock is listed on the New York or American Stock Exchanges; or is a member or partner of the applicant, if the applicant is an association or a partnership; nor that such town/village officer or employee nor any member of his family in any of the foregoing classes is a party to an agreement with the applicant, express or implied, whereby such officer or employee may receive any payment or other benefit, whether or not for service rendered, which is dependent or contingent upon the favorable approval of this application, petition or request.

5. That to the extent that the same is known to your applicant, and to the owner of the subject premises **there is disclosed herewith** the interest of the following officer or employee of the State of New York or the County of Rockland or of the Town/Village of WESLEY HILLS in the petition, request or application or in the property or subject matter to which it relates:

(if none, so state)

a. Name and address of officer or employee YISROEL CHERAS
VILLAGE TRUSTEE

b. Nature of interest OWNER

c. If stockholder, number of shares _____

d. If officer or partner, nature of office and name of partnership _____

e. If a spouse or brother, sister, parent, child, grandchild or the spouse of any of these blood relatives of such state, county or town/village officer or employee, state name and address of such relative and nature of relationship to officer and employee and nature and extent of office, interest or participation or association having an interest in such ownership or in any business entity sharing in such ownership. _____

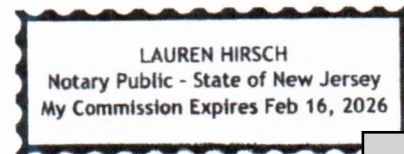
f. In the event of corporate ownership: A list of all directors, officers and stockholders of each corporation owning more than five (5%) percent of any class of stock, must be attached, if any of these are officers or employees of the State of New York, or of the County of Rockland, or of the Town/Village of WESLEY HILLS, I, AHUVA KATZ, do hereby depose and say that all the above

statements and statements contained in the papers submitted herewith are true, knowing that a person who knowingly and intentionally violates this section is guilty of a misdemeanor.

Mailing Address AHUVA KATZ
38 WILLOW TREE RD.
MONSEY NY 10952

SWORN to before this

13th day of Feb, 2025
Lauren Hirsch
Notary Public



VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

AFFIDAVIT OF OWNERSHIP

STATE OF NEW YORK }
COUNTY OF ROCKLAND } SS:
VILLAGE OF WESLEY HILLS }

AHUVA KATZ being duly sworn, deposes and
says that he/she resides at 300 WILLOW TREE RD

in the County of Rockland, State of New York; that he/she is the owner in
fee of all that certain lot, piece or parcel of land situated, lying and being
in the Village of Wesley Hills, and designated on the Town of Ramapo
Map as Section No. 41.07-2-33 Lot No. _____ and that he/she hereby
authorizes the attached application to be submitted in his/her behalf and
that the statements of fact contained in said application are true.

The applicant is the (owner) (contract vendee) of the said property.

Owner: AHUVA KATZ *CK*
Address: 300 WILLOW TREE RD
MONSEY NY 10952

Sworn to before me this
13th day of Feb. 2025
Lauren Hirsch
Notary Public




DISCLAIMER

APPLICANT TAKES FULL RESPONSIBILITY FOR RESEARCHING THE TAX MAP FOR THE LIST OF NAMES OF PROPERTY OWNERS ON THE ENCLOSED *AFFIDAVIT OF MAILING LIST*, AND SUPPLYING THE NECESSARY AMOUNT OF SELF-ADDRESSED STAMPED ENVELOPES.

THE APPLICANT'S ENVELOPES MUST COINCIDE WITH THE LIST. THE CLERK'S RESPONSIBILITY IS LIMITED TO CHECKING NAMES ON THE ENVELOPES AGAINST THE AFOREMENTIONED AFFIDAVIT BEFORE MAILING THEM.

RECEIPT OF THIS DISCLAIMER IS ACKNOWLEDGED

AHUVA KATZ 
APPLICANT

2/13/29
DATED

PART II

Application before the Zoning Board of Appeals

Application, petition or request is hereby submitted for:

- Variance from the requirement of Section 230 SIDE YARD & TOTAL SIDE YARD;
- Special permit per the requirements of Section _____;
- Review of an administrative decision of the Building Inspector;
- An order to issue a Certificate of Occupancy;
- An order to issue a Building Permit;
- An interpretation of the Zoning Ordinance or Map;
- Certification of an existing non-conforming structure or use;
- Other (*explain*) _____;

To permit construction, maintenance and use of AN ADDITION TO AN
EXISTING SINGLE FAMILY DWELLING



Item 2.

RECEIVED
OF WESLEY HILLS
FEB 21 2025
BUILDING
PLANNING & ZONING

11/41.11-1-19
WESLEY HILLS CENTER LLC
3 CAVALRY DRIVE
NEW CITY, NY 10956

11/41.11-1-12
BORGEN D & J & NADOFF Y &
IMER N, & NOMI
IMER & KORNGOLD JAY &
ANNETTE
2 WINDWARD LA

11/41.11-2-1
ONE HUNDRED SIXTY SIX
E WILLOW TREE REALTY LLC
166 EAST WILLOW TREE ROAD
WESLEY HILLS, NY 10977

11/41.07-2-30
RAMAPO TOWN OF
237 RT 59
SUFFERN, NY 10901

11/41.07-2-28
GORDON S MARTIN TRUSTEE
DATED 1/14/2000
2697 N OCEAN BLVD, F708
BOCA RATON, FL 33431

11/41.07-2-37
KATSOFF IRWIN & JUDY
11 BAKER LA
SUFFERN, NY 10901

11/41.07-2-35
GAMIL ROEI
42 WILLOW TREE RD
MONSEY, NY 10952

11/41.07-2-31
34 WILLOW TREE LLC
34 WILLOW TREE RD
WESLEY HILLS, NY 10952

11/41.07-2-34
JACOBOWITZ GILAH R
40 WILLOW TREE RD
MONSEY, NY 10952

11/41.07-1-31
REMEZ MICHAEL & ARONOFF
MIRIAM
2 PEARL DR
MONSEY, NY 10952

11/41.11-1-18
KAM REALTY CORP
475 RT 306
MONSEY, NY 10952

11/41.11-1-14
WESLEY HILLS VILLAGE OF
432 RT 306
MONSEY, NY 10952

11/41.11-1-13
NADOFF YEHUDA
68 WILLOW TREE RD
WESLEY HILLS, NY 10952

11/41.07-1-49
WEISBORD MIRIAM
RECHOV BE'ER SJEVA 4/10
BEIT SHEMESH ISRAEL 99096

11/41.07-2-27
NADAV MATITYAHU & AYELET
129 E WILLOWTREE RD
SPRING VALLEY, NY 10977

11/41.07-2-38
ZLOTNICK DOVID & MEIRA
9 BAKER LA
SUFFERN, NY 10901

11/41.07-2-26
MERMELSTEIN DEENA
485 ROUTE 306
MONSEY, NY 10952

11/41.07-2-32
CHERNS YISROEL
1 MARK DRIVE
SPRING VALLEY, NY 10977

11/41.07-2-46
D.F.C. BAKER LANE FAMILY
LIMITED PARTNERSHIP
12 BAKER LANE
SUFFERN, NY 10901

11/41.07-2-21
GINSBERG YEHUDA G &
DVORA N
6 VANESSA DR
SUFFERN, NY 10901

11/41.11-1-17
HOLY FAMILY SYRO-MALABAR
CATHOLIC CHURCH ROCKLAND
NY INC OF ST THOMAS SYRO-
MALABAR CATHOLIC DIOCESE
5 WILLOW TREE RD

11/41.11-1-16
HOLY FAMILY SYRO-MALABAR
CATHOLIC CHURCH ROCKLAND
NY INC OF ST THOMAS SYRO-
MALABAR CATHOLIC DIOCESE
5 WILLOW TREE RD

11/41.07-2-29
THREE SEVENTY SEVEN
ROUTE 306-MONSEY LLC
536 MAIN STREET
NEW PALTZ, NY 12561

11/41.07-2-44
KANN MICHAEL &
WEINGARTEN-KANN PHYLLIS
8 BAKER LA
SUFFERN, NY 10901

11/41.07-1-39
MEKAITAN ARIEL & ORTAL
2 TOBEY LA
MONSEY, NY 10952

11/41.07-2-36
ZUTLER AARON & DEBBIE
13 BAKER LA
SUFFERN, NY 10901

11/41.07-1-38
KIRSH MENDEL
1 PEARL DR
MONSEY, NY 10952

11/41.07-2-33
KATZ AHUVA
38 WILLOW TREE RD
MONSEY, NY 10952

11/41.07-2-45
PNZ 10B LLC
10 BAKER LA
SUFFERN, NY 10901

11/41.07-2-20
LEDU DANIEL & BARBARA
5 VANESSA DR
SUFFERN, NY 10901

11/41.07-2-12
IRVING FAMILY LIVING
TRUST
9 JUNIPER TERR
SUFFERN, NY 10901

11/41.07-2-11
TG TAG INVESTMENTS LLC
7 JUNIPER TERR
SUFFERN, NY 10901

11/41.07-2-22
CAPUANO ANDREW & HENEDINA
4 VANESSA DR
SUFFERN, NY 10901

11/41.07-2-19
TEICHMAN STEVEN & SHIRA
3 VANESSA DR
SUFFERN, NY 10901

11/41.07-2-13
COURT JEROME H + RAE
6 JUNIPER TERR
SUFFERN, NY 10901

11/41.07-2-14
JUNIPER TERRACE REALTY
LLC
77 BRENNER DRIVE
CONGERS, NY 10920

11/41.07-2-25
SUEZ WATER NY
461 FROM RD
PARAMUS, NJ 07652

11/41.07-2-24
KAPLAN WILLIAM & MARINA
22 LIME KILN RD
SUFFERN, NY 10901

11/41.07-2-23
KONIG JUSTIN & MALLORY
24 LIME KILN ROAD
SUFFERN, NY 10901

11/41.07-2-18
COHEN IZAK & SARA C
1 VANESSA DR
SUFFERN, NY 10901

11/41.07-2-17
RHODES REID S & BASYA
28 LIME KILN RD
SUFFERN, NY 10901

11/41.07-2-16
ZEIDMAN MITCHELL +
MICHELE
30 LIME KILN RD
SUFFERN, NY 10901

11/41.07-1-15
HEADLEY HAROLD &
JACQUELINE
15 LIME KILN RD
SUFFERN, NY 10901

11/41.07-1-12
FELDSTEIN WALTER
IRREVOCABLE TRUST
31 DANA ROAD
MONSEY, NY 10952

11/41.07-1-10
BERKOWITZ JEROME &
MARALYN
25 LIME KILN RD
SUFFERN, NY 10901

11/41.07-1-9
STREICHER NAOMI
PO BOX 343
POMONA, NY 10970

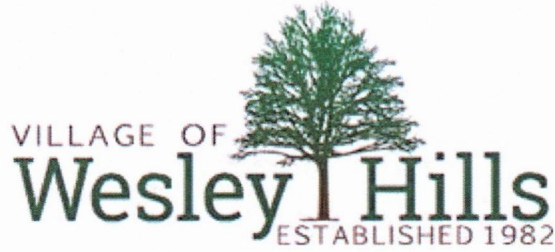
11/41.07-1-16
AFERGAN DAVID & MAZAL
13 LIME KILN RD
SUFFERN, NY 10901

11/41.07-1-8
REZNIK DAVID & HELENE
29 LIME KILN RD
SUFFERN, NY 10901

11/41.07-1-14
KAUFMAN YEHUDAH & RISA
17 LIME KILN RD
SUFFERN, NY 10901

11/41.07-1-13
STEINER DAVID A & LANA
19 LIME KILN RD
SUFFERN, NY 10901

11/41.07-1-11
WESLEY HILLS SYNAGOGUE
C/O J. CHESIR
23 LIME KILN RD
SUFFERN, NY 10901



432 Route 306
Wesley Hills, N.Y. 10952-1221
 Phone: 845-354-0400 Fax: 845-354-4097 www.wesleyhills.org

Dated: February 18, 2025
 Tax Parcel ID: 41.07-2-33
 Address: 38 Willow Tree Road
 Applicant: Ahuva Katz

BUILDING AND ZONING DEPARTMENT:

Please be advised that your application for a building permit for a cabana has been denied. The requirements of the Zoning Law of the Village of Wesley Hills have not been satisfied. The following variances are required:

- Minimum side yard of 22.8' when 30' is required
- Minimum total side yard of 59.8' when 75' is required

In addition, the Zoning Board of Appeals may review any existing non-conforming items and previously granted variances.

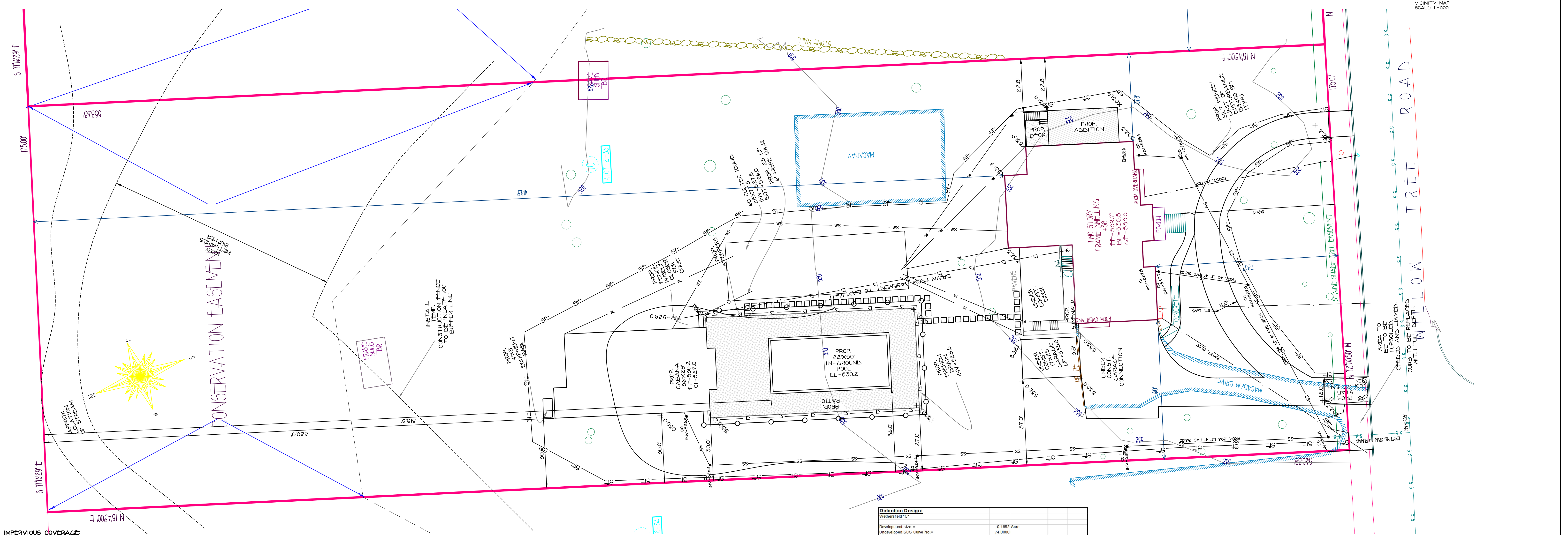
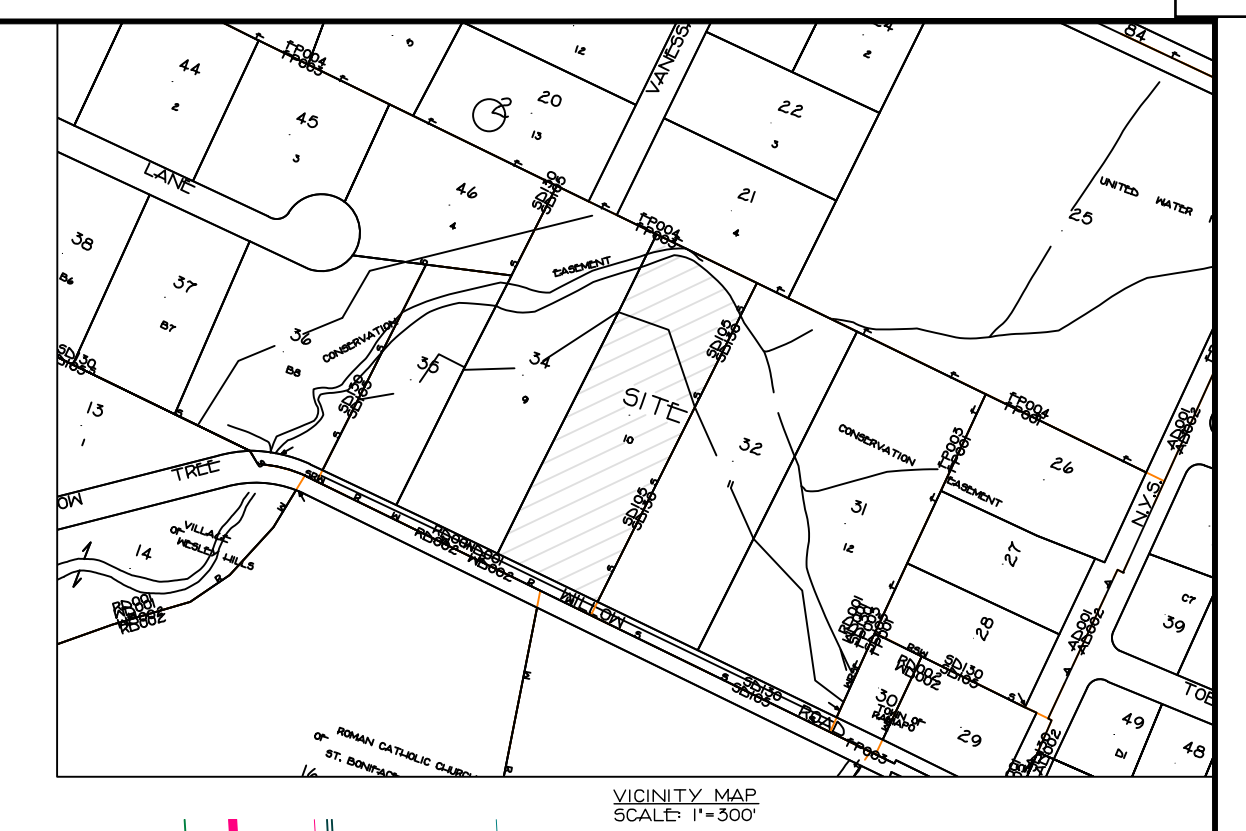
 John Layne
 Building Inspector

cc: Zoning Board of Appeals

REFERENCES:
 -ALL BOUNDARY & TOPOGRAPHIC INFORMATION IS REFERENCED FROM A SURVEY PREPARED BY ANTHONY R. CELENTANO, PLS. LAST REVISED JULY 1, 2022.

BEING LOT 10 ON A CERTAIN MAP ENTITLED "SUBDIVISION OF BAKER ESTATES SECTION 1" FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP #5892 BOOK #105 PAGE #49 ON 05/19/1986.

NOTES:
 1. 1" LOWEST FLOOR TO BE FINISHED IS BELOW THE UPSTREAM RIM ELEVATION AN EXTERIOR CHECK VALVE WILL BE REQUIRED.
 2. THE VILLAGE ENGINEER MUST BE GIVEN 48 HOURS NOTICE BEFORE PRIOR TO DRAINAGE INSTALLATION.
 3. SOIL PERCOLATION TESTING FOR THE DRYWELLS SHALL BE DONE PRIOR TO THE INSTALLATION OF THE DRYWELLS.



IMPERVIOUS COVERAGE:
 DWELLING & PORCH=3781 SF
 DRIVEWAY AND WALK=2,550 SFTBRI
 BASKETBALL COURT=2,530 SF
 EXIST. SLID=233 SF
 BASEMENT STAIRS=61 SF
 EXIST. TOTAL=6,625 SF
 PROP. DRIVEWAY=4,226 SF
 PROP. DECK=438 SF
 PROP. WALK=309 SF
 PROP. GARAGE & GARAGE CONNECTION=427 SF
 PROP. REAR SIDEWALK=176 SF
 PROP. CABANA=2,337 SF
 PROP. POOL=1,248 SF
 PROP. RATIO=2.707 SF
 PROP. STEPPERS=240 SF
 PROP. SLID=120 SF
 PROP. ADDITION=454 SF (12/5/25)
 PROP. DECK=150 SF (12/5/25)
 PROP. CONC. PAD=12 SF (12/5/25)
 PROP. TOTAL=19,569 SF
 INCREASE FROM PREVIOUS APPROVAL
 19,569 SF-11,502 SF=8,067 SF INCREASE

FRONT YARD IMPERVIOUS RATIO:
 EXIST.
 DRIVEWAY & WALK=2,555 SF
 AREA=11,621 SF
 F.Y.I.R.=2,555/11,621=0.218

PROP.
 DRIVEWAY & WALK=2,639 SF
 AREA=11,621 SF
 F.Y.I.R.=2,558/11,621=0.220

PER 12/26/22 APPROVAL
 PROP. TOTAL=5515 SF EXIST. PER A5-BUILT
 CABANA=2,337 SF
 ADDITION=454 SF
 DECK=150 SF
 TOTAL=8,456 SF
 COV=8,456 SF/97,898 SF=0.0864

VILLAGE OF WESLEY HILLS BULK REQUIREMENTS
 ZONE R-50
 SINGLE FAMILY DWELLING

	MINIMUM LOT AREA (SF)	MINIMUM FRONTAGE (FT)	MINIMUM LOT WIDTH (FT)	MINIMUM EFFECTIVE SQUARE SIDE (FT)	FRONT YARD (FT)	SIDE YARD (FT)	TOTAL SIDE YARD (FT)	REAR YARD (FT)	MAXIMUM IMPERVIOUS SURFACE RATIO	MAXIMUM FRONT YARD IMPERVIOUS SURFACE RATIO	MAXIMUM BUILDING COVERAGE PER ARCH	MAXIMUM BUILDING HEIGHT (STORIES/FT)	MAXIMUM EXPOSED BUILDING HEIGHT (FT)	SIDE POOL (FT)	REAR YARD (FT)	SIDE YARD (FT)	REAR YARD (FT)	REAR YARD (FT)
RECD	50,000	100	150	150	50	30	75	50	0.20	0.22	0.109/0.10	2.5 / 25	40	15	15	30	50	
EXIST.	97,898	175.0	175.0	150	66.4	37.8	97.8	418.3	0.118	0.218	0.040	2/25'	34'	NA	NA	NA	NA	
PROD.	97,898	175.0	175.0	150	66.4	22.8**	59.8**	418.3	0.20	0.220	0.0864	2/25'	34'	36.0/27.0	51.3/28.6	30.0	220.0	

**=VARIANCE REQUIRED

Detention Design:
 Wetherfield "C"

Development size =	0.1852 Acre
Undeveloped SCS Curve No. =	74.0000
Developed SCS Curve No. =	98.0000
1. Select Design Storm	100 year, 24-hour
	9.3000
2. Type of subsurface disposal system.	
Collector	100 HD w/6" stone
3. Determine Percolation Rate:	
Percolation Rate:	1.0000 inches
Drop	60.0000 minutes
4. Area of Percolation (Ap):	
Surface area of Cylinder:	
Ac=PI*Di*Hag	
Di=	1.0000 feet
Hag=	8.5000 inches
Ac=	2.2253 PI*2
Bottom Area	
Ab=PI*Di*2	
Ab=	0.7854 PI*2
Volume of Percolation:	
Area*Hag	
Ap*Hag	3.0107 PI*2
Soil Percolation Rate	0.0654 PI*3
Soil Percolation Rate	0.0004 PI*3PI*2/Ma
Size	0.9217 PI*2/day
Size	0.3913 PI*3PI*2/day
5. Calculate Required Storage Volume:	
100yr, 24 hour rainfall	9.3000 inches
From Table 2-1 of TR-55	
Existing CR=	74.0000 therefore depth V= 6.11 inches
Proposed CR=	98.0000 therefore depth V= 9.10 inches
DeltaV=	2.9900 inches
Area*DeltaV/Area	
Vs=	2010.0275 PI*3

UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS MAP NOT HAVING THE SEAL OF THE SURVEYOR OR ENGINEER SHALL NOT BE VALID.

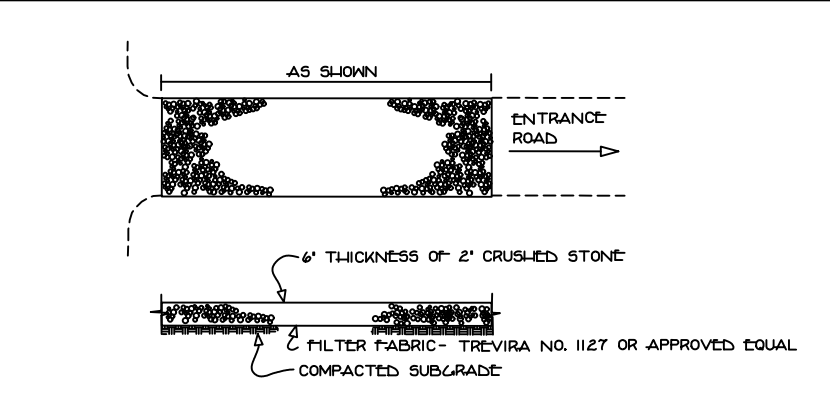
CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. USE OF UNSEALED COPIES OF THIS DOCUMENT IN ANY COURT, FINANCIAL OR LEGAL TRANSACTION OR FILING WITH ANY AGENCY OR OFFICE IS AN UNAUTHORIZED USE AND VIOLATION OF FEDERAL COPYRIGHT LAW.



REVISIONS	DATE
2/15/25 ADD ADDITION	2/15/25
11/25/24 REVISE CABANA	11/25/24
11/19/24 ADD CABANA	11/19/24
7/12/24 CHANGE POOL/PATIO	7/12/24
9/26/23 REVISE	9/26/23
7/27/23 MOVE GARAGE	7/27/23
6/20/23 ADD POOL/PATIO	6/20/23
12/16/22 PER COMMENTS	12/16/22
11/30/22 ADD DRIVE	11/30/22

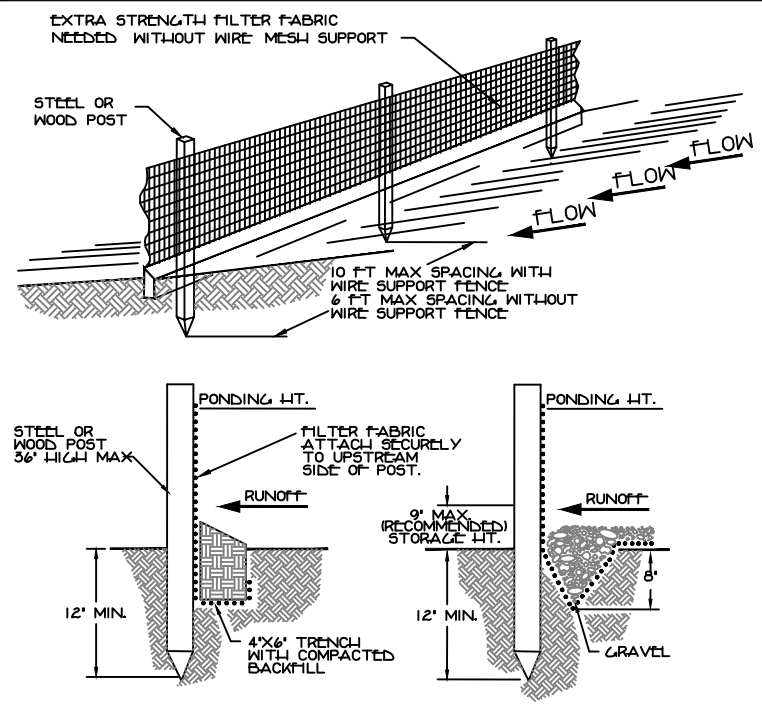
PLOT PLAN FOR
 38 WILLOW TREE ROAD
 41.07-2-33
 LOCATED IN THE
 VILLAGE OF WESLEY HILLS
 ROCKLAND COUNTY, NEW YORK

GRAPHIC SCALE
 0 10 20 30 40 50
 PAUL GDANSKI, PE, PLLC
 3512 WHITTIER COURT
 MAHWAH, N.J. 07430
 TEL: (917) 418-0999
 38WILLOW
 SHEET 20, 2022
 1" = 20'
 1 OF 2



STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

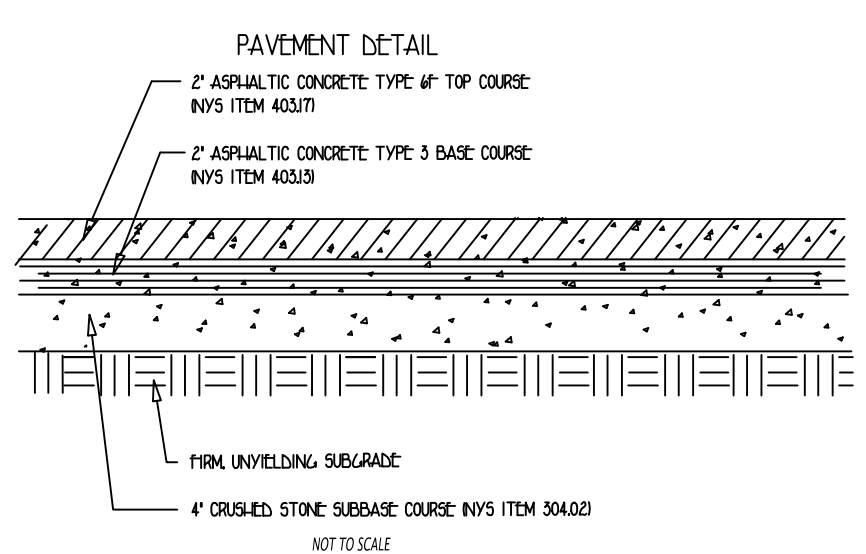
- CONSTRUCTION SPECIFICATIONS:**
- STONE SIZE - USE 1-4 INCH STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - NOT LESS THAN 50 FEET.
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - TWELVE (12) FOOT MINIMUM BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
 - GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



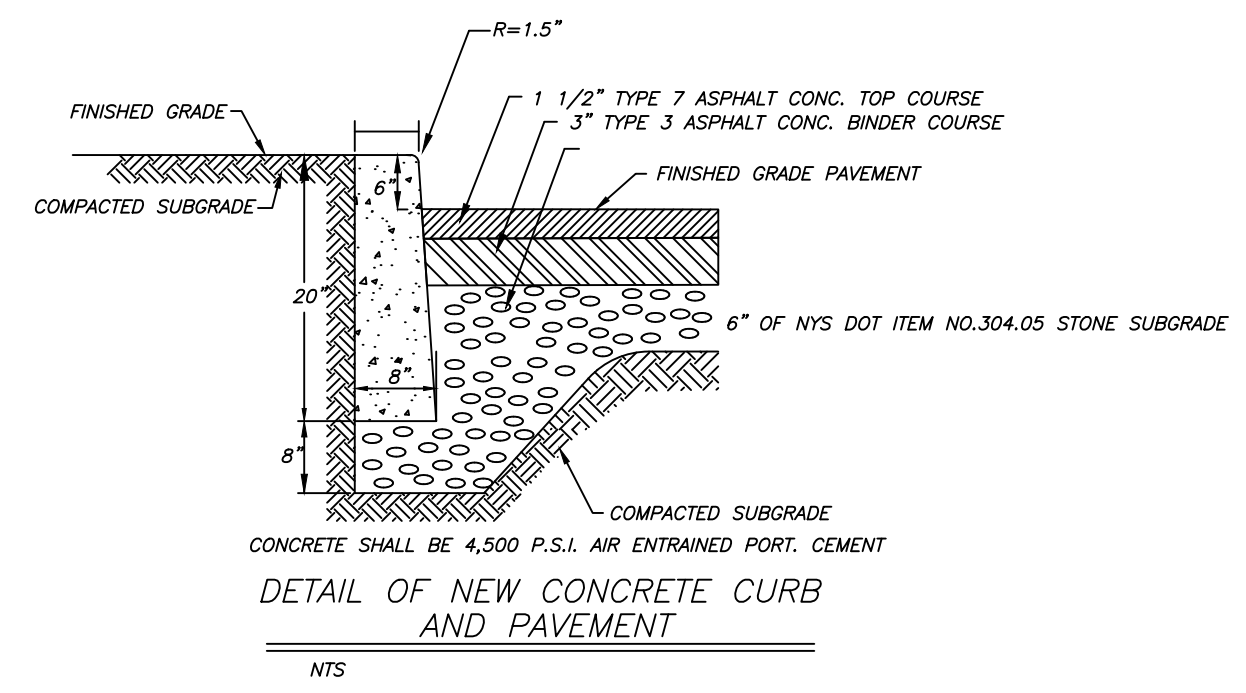
STANDARD DETAIL
TRENCH WITH NATIVE MATERIALS

- INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NEEDED.
- REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
- SET FENCE SHALL BE PLACED ON SLOPE CONTIGUOUS TO MAXIMIZE SPACING OF TREES.

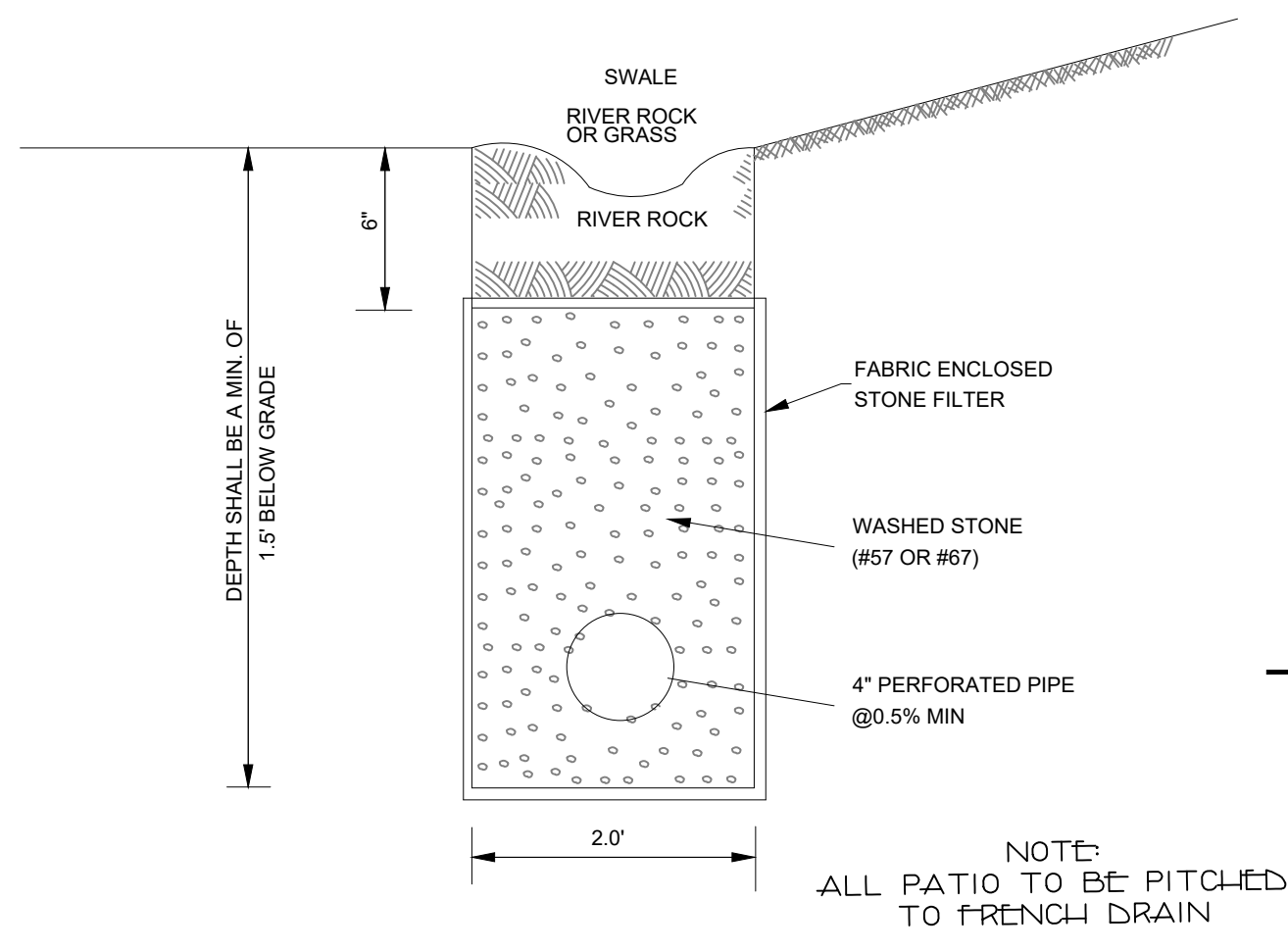
SILT FENCE
N.T.S.



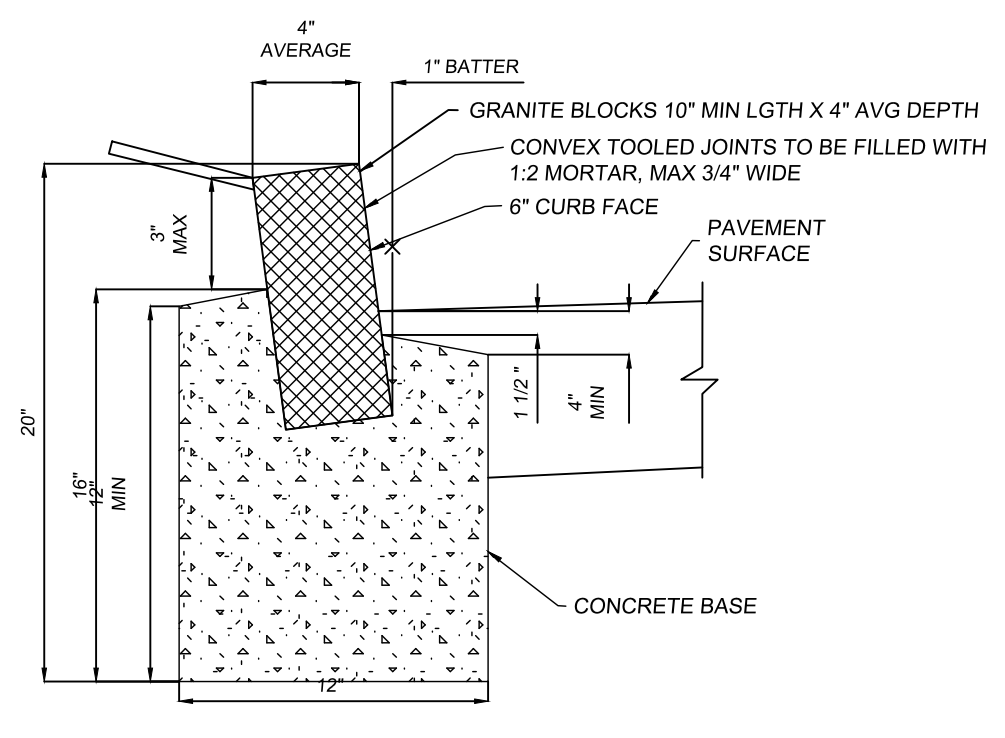
PAVEMENT DETAIL
N.T.S.



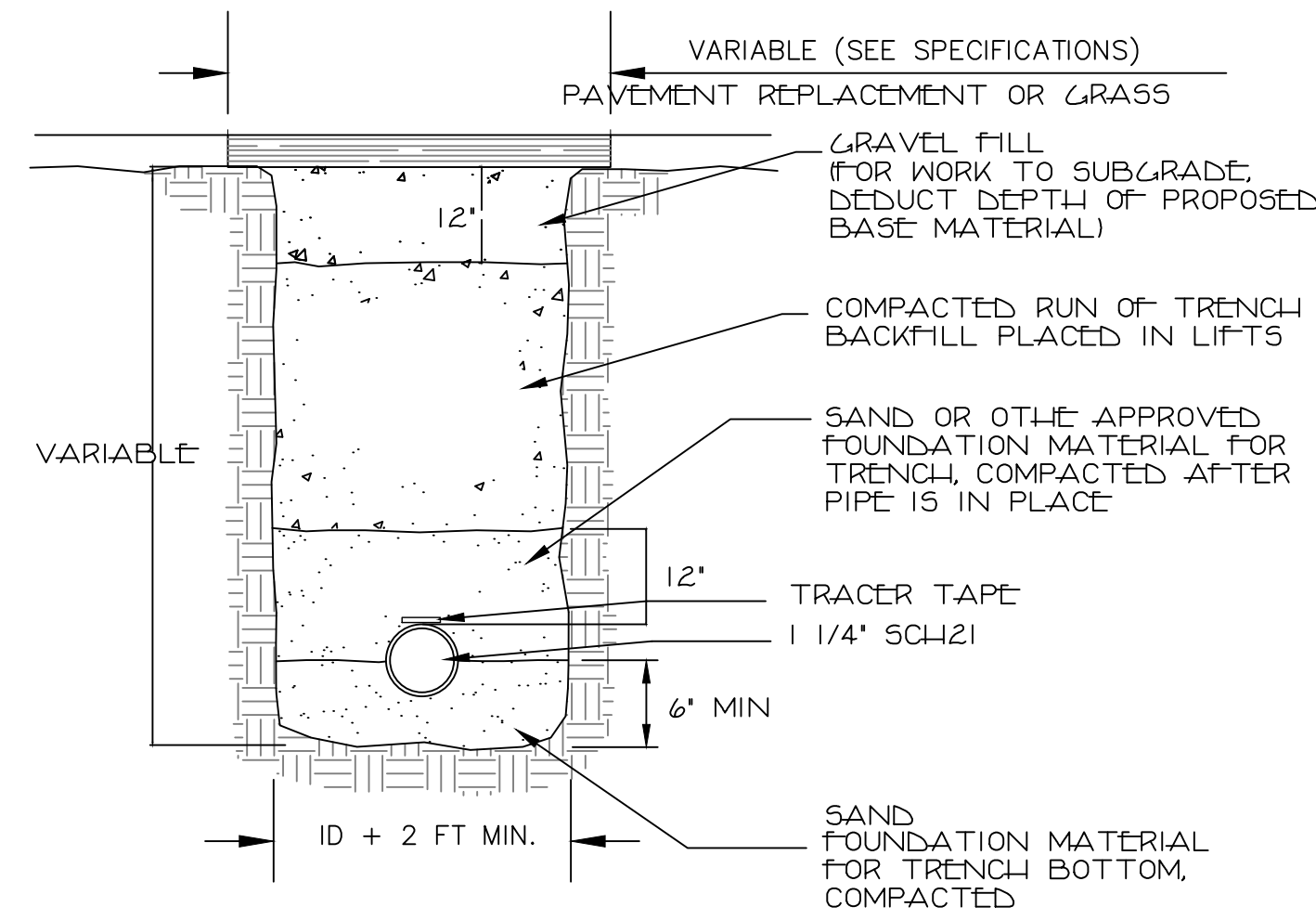
DETAIL OF NEW CONCRETE CURB AND PAVEMENT
N.T.S.



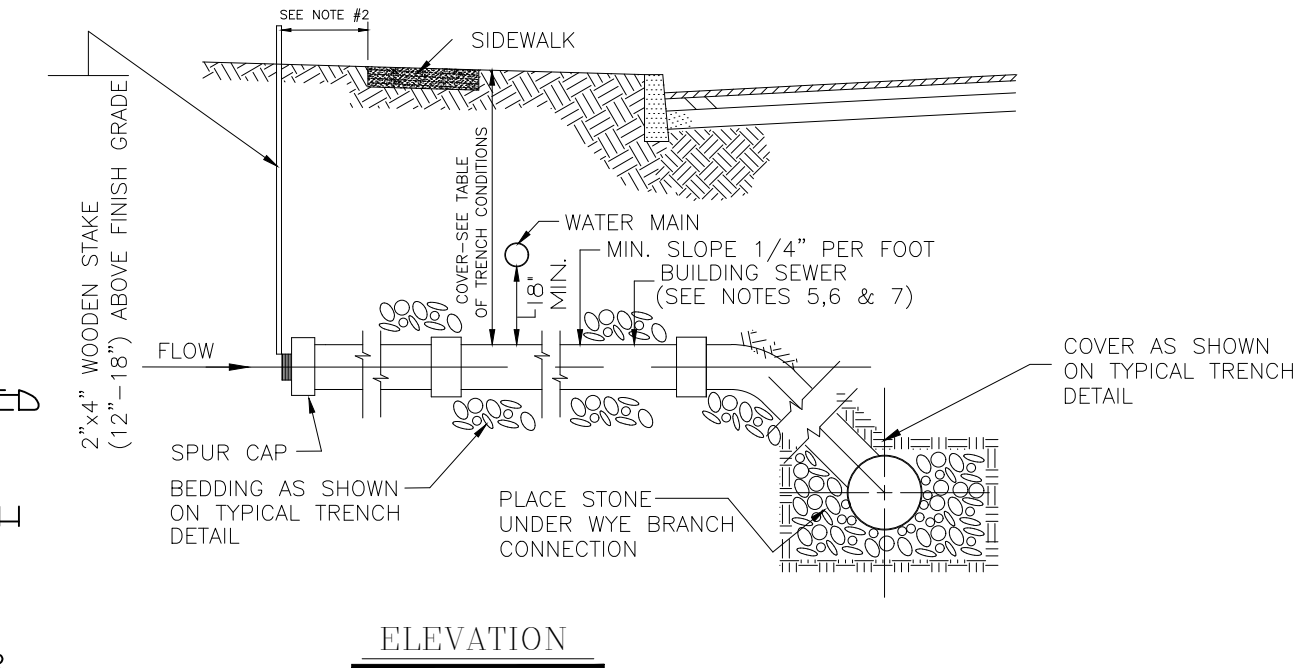
FRENCH DRAIN
NOT TO SCALE



GRANITE BELGIAN BLOCK CURB
NOT TO SCALE



TYPICAL TRENCH SECTION
N.T.S.



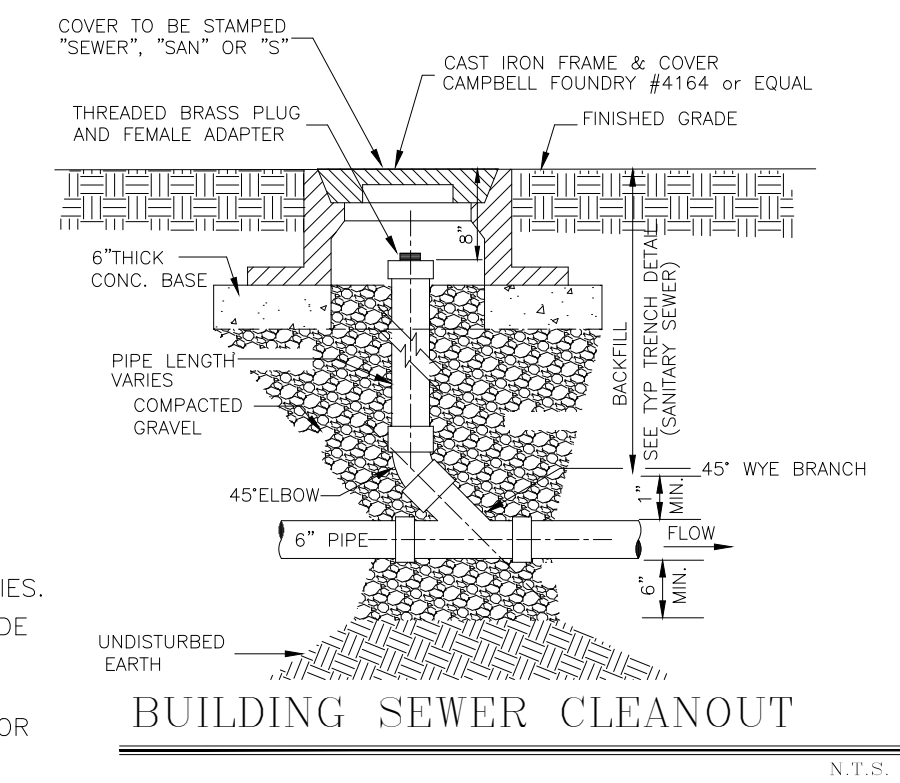
BUILDING SEWER CONNECTION
N.T.S.

SPECIAL CONDITIONS FOR SHALLOW TRENCH CONDITIONS
COVER LESS THAN 4'-0"

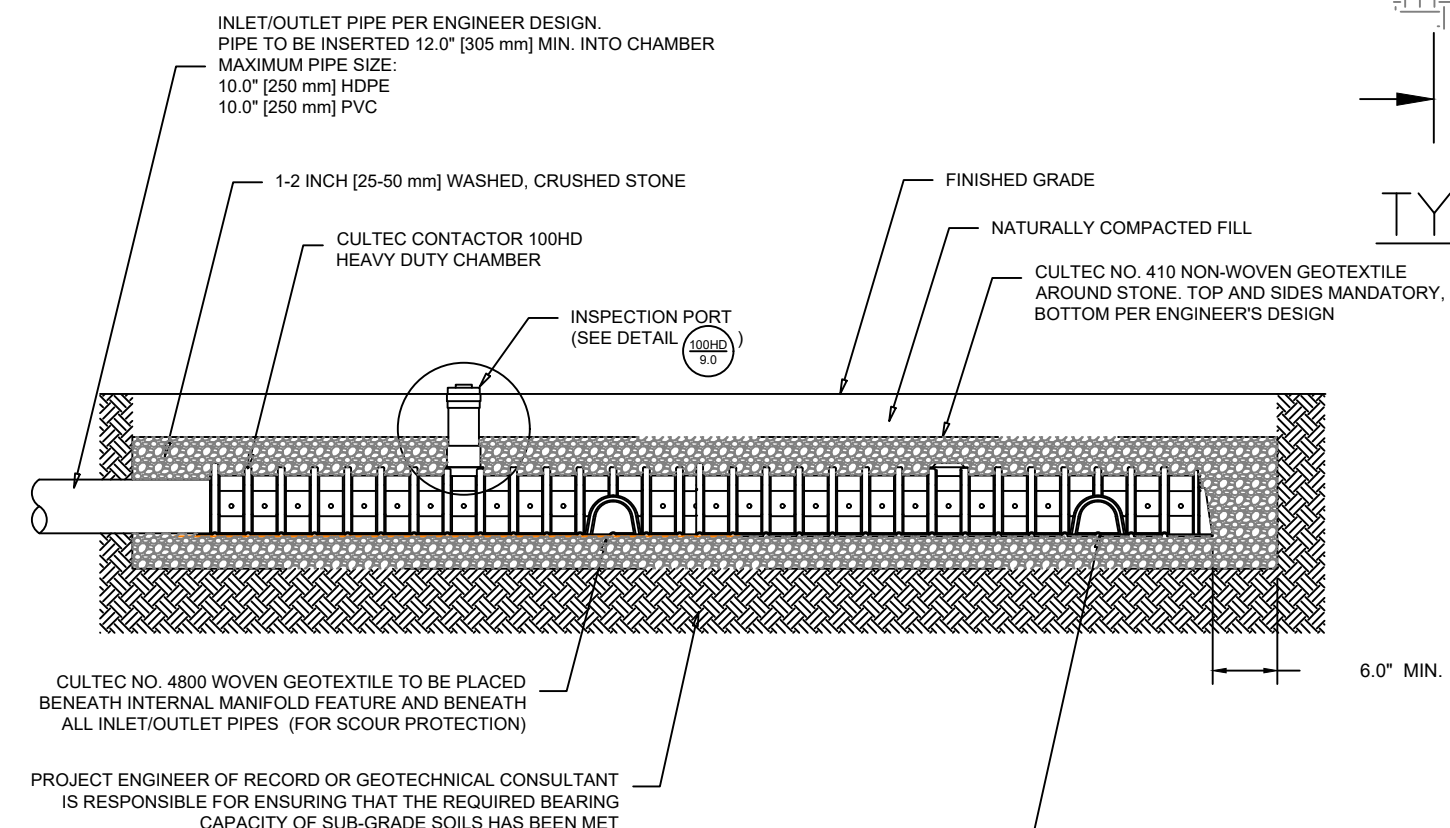
PIPE CLASS 52 DUCTILE IRON OR CAST IRON EXTRA HEAVY OR APPROVED EQUAL.

BUILDING SEWER CLEANOUT
N.T.S.

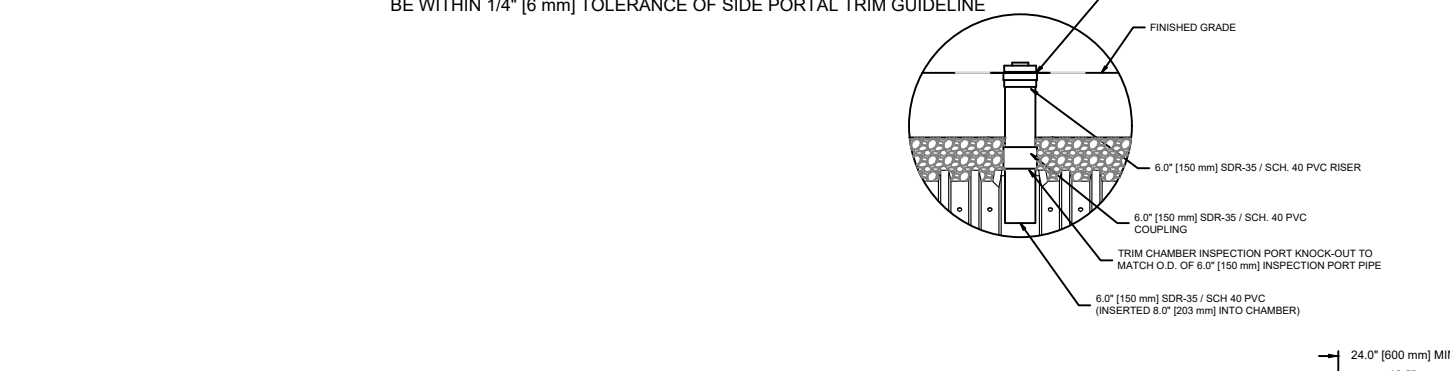
- NOTES:**
- ALL APPROVED BUILDING SEWER PIPE MATERIALS FOR EACH CONNECTION MADE, SHALL BE CONSTRUCTED FROM THE SAME MATERIAL.
 - MINIMUM HORIZONTAL SEPARATION BETWEEN SPUR CAP AND SIDEWALK SHALL BE 2.0 FT. IN ALL CASES THE SPUR CAP LOCATION SHALL EXTEND A MINIMUM HORIZONTAL DISTANCE OF 2.0 FT. ONTO ALL BUILDING LOT PROPERTIES.
 - TRANSITION BETWEEN DIFFERENT PIPE MATERIAL (AS APPROVED) SHALL BE MADE BY INSTALLING A TYPE 1, STYLE 62 DRESSER COUPLING OR DRESSER STYLE 262 HMAX COUPLING (OR APPROVED EQUAL).
 - WYE BRANCH CONNECTION SHALL BE A FITTING CONSTRUCTED SPECIFICALLY FOR THE INSTALLED MAIN LINE SEWER MATERIAL CLASS (OR APPROVED EQUAL).
 - THE BUILDINGS SEWER SHOWN FROM THE MAIN LINE SOURCE WYE BRANCH CONNECTION FITTING TO THE SPUR CAP SHALL MEET THE SPECIFICATIONS SHOWN FOR I) BUILDING LATERAL SEWER.
 - 4" BUILDING LATERAL SEWER MAY BE APPROVED FOR CONSTRUCTION OF SINGLE (1) AND TWO (2) FAMILY DWELLING ONLY. ALL OTHER BUILDING LATERAL SEWERS (INCLUDING ALL COMMERCIAL USES) SHALL BE 6" IN DIAMETER.



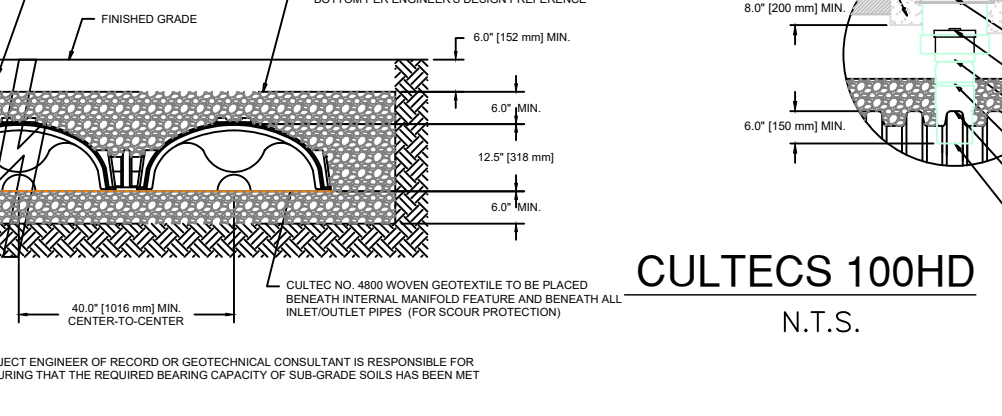
BUILDING SEWER CLEANOUT
N.T.S.



CULTECS 100HD
N.T.S.



CULTECS 100HD
N.T.S.



CULTECS 100HD
N.T.S.

- NOTES:**
- SET CULTECS IN 25.0'x77.5' OVERALL EXCAVATION, BACKFILL WITH ALL CLEAN STONE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING SEASONAL HIGH WATER TABLE. NO CULTECS AND/OR STONE SHALL BE SET BELOW SEASONAL HIGH WATER, AND ENGINEER MUST BE CONTACTED IN WRITING SHOULD WATER BE ENCOUNTERED.
- CULTEC MAINTENANCE NOTES**
- CULTECS SHALL BE MAINTAINED BY THE OWNERS OF THE LOTS ON WHICH THEY ARE SITUATED.
 - SAB OWNERS SHALL INSPECT CULTECS ON A TWICE YEARLY BASIS AND REMOVE ANY ACCUMULATED SEDIMENT (OR AFTER ANY SIGNIFICANT STORM).
 - IF EVIDENCE PERSISTS THAT THE CULTECS ARE NOT FUNCTIONING PROPERLY (I.E. WATER BACKING-UP IN SYSTEM, ETC.), THE OWNERS SHALL INSPECT THE CULTECS AS SOON AS REASONABLY POSSIBLE AND MAKE NECESSARY REPAIRS TO ENSURE PROPER FUNCTION OF THE SYSTEM.

CULTEC Stormwater Design Calculator

Date: February 21, 2025

CONTACTOR 300HD

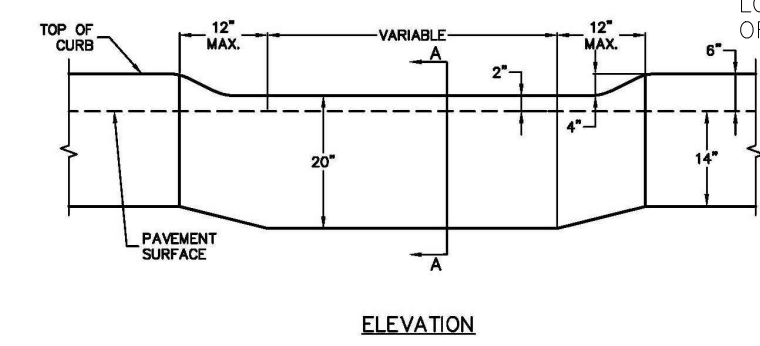
Parameter	Value	Unit
Height	12.5	inches
Width	36	inches
Length	24	feet
Number of Chambers	1	
Flow Depth	1.2	feet
Flow Velocity	18.1	ft/sec
Flow Discharge	32.5	cfs

Material List

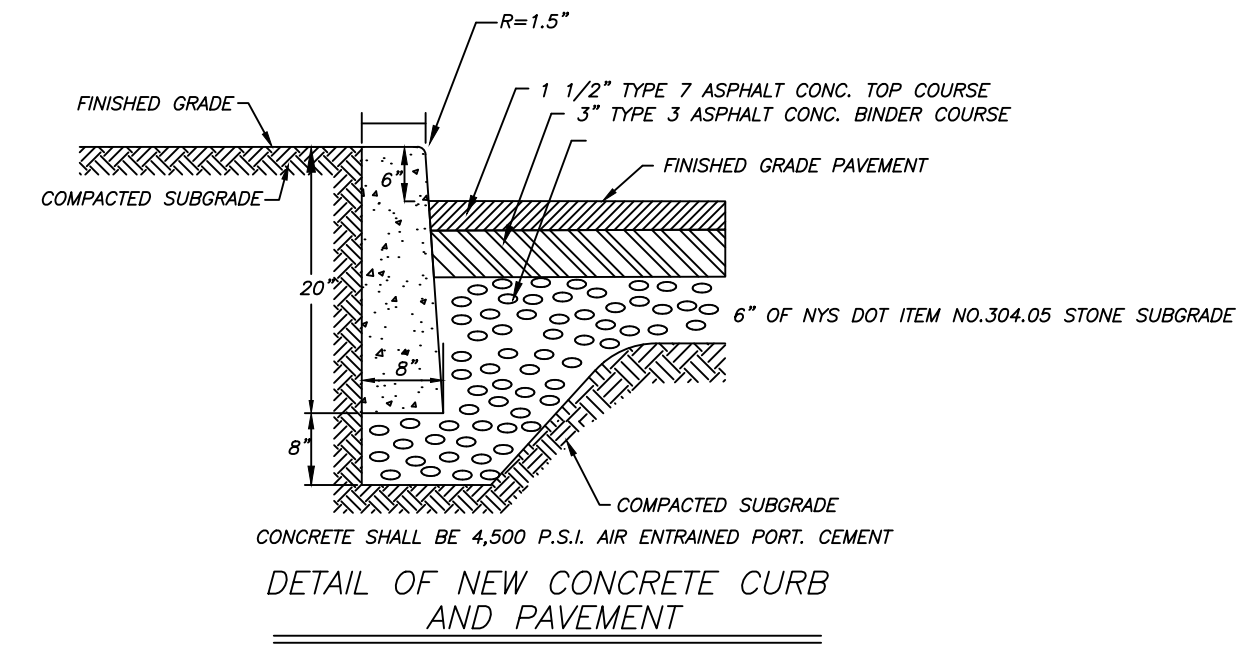
Item	Description	Quantity	Unit
1	CULTEC No. 4000 Woven Geotextile	100	sq. yds.
2	CULTEC No. 410 Non-Woven Geotextile	100	sq. yds.
3	CULTEC No. 4200 Woven Geotextile	100	sq. yds.
4	CULTEC No. 4300 Woven Geotextile	100	sq. yds.
5	CULTEC No. 4400 Woven Geotextile	100	sq. yds.
6	CULTEC No. 4500 Woven Geotextile	100	sq. yds.
7	CULTEC No. 4600 Woven Geotextile	100	sq. yds.
8	CULTEC No. 4700 Woven Geotextile	100	sq. yds.
9	CULTEC No. 4800 Woven Geotextile	100	sq. yds.
10	CULTEC No. 4900 Woven Geotextile	100	sq. yds.
11	CULTEC No. 5000 Woven Geotextile	100	sq. yds.

Notes:

- Set Cultecs in 25.0'x77.5' overall excavation, backfill with all clean stone.
- Contractor shall be responsible for determining seasonal high water table. No cultecs and/or stone shall be set below seasonal high water, and engineer must be contacted in writing should water be encountered.



DEPRESSED CURB DETAIL
N.T.S.



DETAIL OF NEW CONCRETE CURB AND PAVEMENT
N.T.S.

NOTES:

- EACH BUILDING SEWER SHALL HAVE A CLEANOUT INSTALLED APPROXIMATELY 2' DOWNSTREAM OF THE BUILDING PIPE TO BUILDING SEWER CONNECTION. THEREAFTER, CLEANOUTS SHALL BE INSTALLED ALONG THE BUILDING SEWER EVERY 100 FT. (MAX.). FOR THE PURPOSE OF CLEANOUT LOCATIONS DISTANCE SHALL BE MEASURED FROM THE FIRST CLEANOUT LOCATED DOWNSTREAM OF THE HOUSE PIPE TO BUILDING SEWER CONNECTION, HENCE DOWNSTREAM ALONG THE

2/23/25 PER TEST

REVISIONS
2/5/25 ADD ADDITION
11/25/24 REVISE CABANA
11/19/24 ADD CABANA
7/1/24 CHANGE POOL/PATIO
9/26/25 REVISE
7/27/23 MOVE GARAGE
6/20/23 ADD POOL/PATIO
12/16/22 PER COMMENTS
11/30/22 ADD DRIVE

PLOT PLAN FOR 38 WILLOW TREE ROAD 41.07-2-33

LOCATED IN THE VILLAGE OF WESLEY HILLS ROCKLAND COUNTY, NEW YORK

GRAPHIC SCALE: 1" = 20'

PAUL GDANSKI, PE, PLLC

633 WOODMONT LANE
SLOATSBURG, N.Y. 10974
TEL: (917) 418-0999

38WILLOW
DATE: SEPT. 29, 2025
SCALE: 1" = 20'
SHEET: 1 OF 1

Short Environmental Assessment Form

Part 1 - Project Information

RECEIVED
VILLAGE OF WESLEY HILLS
FEB 19 2025
BUILDING
PLANNING & ZONING

Item 2.

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information				
Name of Action or Project: Chems-Katz Addition				
Project Location (describe, and attach a location map): 38 Willow Tree Road, Wesley Hills, NY				
Brief Description of Proposed Action: Addition to an existing single family dwelling requiring a side yard and total side yard variance from the Village of Wesley Hills ZBA.				
Name of Applicant or Sponsor: Todd Rosenblum		Telephone: 845-364-0337 E-Mail: todd@adaparch.com		
Address: 221 Quaker Road				
City/PO: Pomona		State: NY	Zip Code: 10970	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Village of Wesley Hills ZBA and Building Department			NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		97,898 sf acres		
b. Total acreage to be physically disturbed?		1,000 sf acres		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		195,263 sf acres		
4. Check all land uses that occur on, are adjoining or near the proposed action:				
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)				
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):				
<input type="checkbox"/> Parkland				

		NO	YES	Item 2.
5. Is the proposed action,	a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If Yes, identify: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If No, describe method for providing potable water: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If No, describe method for providing wastewater treatment: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____				

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:

- Shoreline
- Forest
- Agricultural/grasslands
- Early mid-successional
- Wetland
- Urban
- Suburban

15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

16. Is the project site located in the 100-year flood plan?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

17. Will the proposed action create storm water discharge, either from point or non-point sources?

If Yes,

a. Will storm water discharges flow to adjacent properties?

NO	YES
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>

b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?

If Yes, briefly describe:

<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	-------------------------------------

Existing catch basins and dry wells.

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?

If Yes, explain the purpose and size of the impoundment:

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?

If Yes, describe:

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?

If Yes, describe:

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor/name: Todd Rosenblum

Date: 2/13/25

Signature:

Title: Architect

GML Report

Property Information:	
Parcel ID: 41.07-2-33	Date Parcel: February 2024
OLD ID: 9-27A10	Address: 38 WILLOW TREE RD
City: MONSEY	State: NY
Zip: 10952	Book Page: N/A
Deed Date: 9/14/2022 12:00:00 AM	Instrument: 2022-00033278
Municipality: WESLEY HILLS	Deed Acres: 0
GIS Calculated Acres: 2.222	

GML Criteria:	
Requires GML Review: NO	Adjacent Town Boundary: NO
Adjacent Village Boundary: NO	Orange County Boundary: NO
County Facility: NO	NYS Facility: NO
County Park: NO	State Park: NO
County Regulated Streams: NO	Long Path Hiking Trail: NO
ROW-County Highways: NO	ROW-NYS Highway: NO
ROW-NYS Thruway: NO	ROW-Palisades Interstate Parkway: NO
X Coordinate: -74.07287020	Y Coordinate: 41.15888325

Source: Rockland County GIS Portal



432 Route 306

Wesley Hills, N.Y. 10952-1221

Phone: 845-354-0400 Fax: 845-354-4097 www.wesleyhills.org

Email: BuildingDept@wesleyhills.org

PUBLIC HEARING NOTICE

PLEASE TAKE NOTICE that a public hearing will be held by the Zoning Board of Appeals of the Village of Wesley Hills on the 19th day of March, 2025 at 7:30 P.M. at the Village Hall, 432 Route 306, Wesley Hills, New York 10952 to consider the application submitted by Ahuva Katz Chems for variances from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills to permit the construction, maintenance and use of an addition to a single family residence, garage, inground pool and cabana having a side yard of 22.8 feet instead of the minimum required of 30 feet and total side yard of 52.8 feet instead of the minimum required of 75 feet.

The subject premises are situated on the north side of Willow Tree Road approximately 700 feet west of State Route 306, known as 38 Willow Tree Road, designated on the Tax Map as Section 41.07 Block 2 Lot 33, in an R-50 Zoning District.

Copies of the aforesaid application are available for public review at the office of the Village Clerk/Treasurer, Village of Wesley Hills, 432 Route 306, Wesley Hills, New York 10952 between the hours of 9 A.M. and 4 P.M. Mondays through Fridays, exclusive of holidays.

Dated: Wesley Hills, New York
March 3, 2025

Camille Guido-Downey
Village Clerk/Treasurer
Village of Wesley Hills

ACTUAL SIZE

VILLAGE OF WESLEY HILLS PUBLIC HEARING NOTICE

PLEASE TAKE NOTICE that a public hearing will be held by the Zoning Board of Appeals of the Village of Wesley Hills on the 19th day of March, 2025 at 7:30 P.M. at the Village Hall, 432 Route 306, Wesley Hills, New York 10952 to consider the application submitted by Ahuva Katz Chems for variances from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills to permit the construction, maintenance and use of an addition to a single family residence, garage, inground pool and cabana having a side yard of 22.8 feet instead of the minimum required of 30 feet and total side yard of 52.8 feet instead of the minimum required of 75 feet.

The subject premises are situated on the north side of Willow Tree Road approximately 700 feet west of State Route 306, known as 38 Willow Tree Road, designated on the Tax Map as Section 41.07 Block 2 Lot 33, in an R-50 Zoning District.

Copies of the aforesaid application are available for public review at the office of the Village Clerk/Treasurer, Village of Wesley Hills, 432 Route 306, Wesley Hills, New York 10952 between the hours of 9 A.M. and 4 P.M. Mondays through Fridays, exclusive of holidays.

Dated: Wesley Hills, New York
March 3, 2025

Camille Guido-Downey
Village Clerk/Treasurer
Village of Wesley Hills

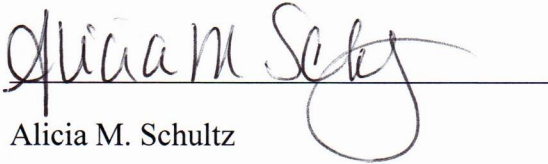
1x3-6/27858

**Village of Wesley Hills
432 Route 306
Wesley Hills, NY 10952**

Applicant Name: 38 Willow Tree Road

CERTIFICATION

I, Alicia Schultz, Deputy Village Clerk of the Village of Wesley Hills, hereby certify that on the 4th day of March, 2025, I mailed the attached notice by regular first class mail in all envelopes submitted to me by the Applicant addressed to all those names appearing on the affidavit of Property Owners by depositing same in an official depository under exclusion care and custody of the United States Postal Office within the State of New York.



Alicia M. Schultz

Deputy Village Clerk

VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

AFFIDAVIT OF POSTING

STATE OF NEW YORK }
COUNTY OF ROCKLAND } SS:
VILLAGE OF WESLEY HILLS }

TODD ROSENBLUM being duly sworn, deposes and says that he/she is the applicant in the matter of an application before the Village of Wesley Hills Planning Board affecting property located at 308 Willow Tree Rd, Wesley Hills, Town of Ramapo, Rockland County, New York.

That on the 13th day of MARCH 2025, he/she posted the posters provided by the Planning Board of the Village of Wesley Hills giving notice of the hearing on this application in a conspicuous place visible from every street along the frontage of the plot affected by this application.



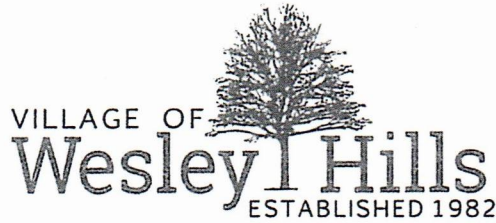
Sworn to before me this 13th day of March 2025
Tara S Roberts
Notary Public

TARA S ROBERTS
NOTARY PUBLIC STATE OF NEW YORK
RESIDING IN ROCKLAND COUNTY
NO. 01RO6429066
MY COMMISSION EXPIRES 02/07/2026

File Attachments for Item:

3. Application submitted by Shoshana Kohn for variances from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of an addition to a single family residence having a front yard of 41.5 feet instead of the minimum required of 50 feet, side yard of 9.6 feet instead of the minimum required of 30 feet, total side yard of 35 feet instead of the minimum required of 75 feet, building coverage of .175 instead of the maximum permitted of .108, impervious surface ratio of .255 instead of the maximum permitted of .20 and front yard impervious surface ratio of .265 instead of the maximum permitted of .15.

The subject premises are situated on the south side of Buena Vista Road approximately 500 feet west of Cains Road, known as 22 Buena Vista Road, designated on the Tax Map as Section 32.19 Block 1 Lot 45, in an R-50 Zoning District.



432 Route 306

Wesley Hills, N.Y. 10952-1221

Phone 845-354-0400 FAX 845-354-4097 www.wesleyhills.org

DATE: February 18, 2025

TO: Zoning Board of Appeals

RE: TAX PARCEL ID: 32.19-1-45
 ADDRESS: 22 Buena Vista Road
 APPLICANT: Kohn

FROM: John C. Layne, Building Inspector

Please be advised that your request for a building permit is denied. The following variances are required:

1. Minimum Lot Area-50,000 sf required, 16,000 sf provided (existing condition).
2. Minimum Lot Width – 150’ required, 100 provided (existing condition).
3. Minimum Effective Square – 150’ required, 25’ provided (existing condition).
4. Front Yard -50 required, 41.5 provided (partially existing condition).
5. Side Yard – 30 required, 9.6 provided (partially existing condition).
6. Total Side Yard - 75 required, 35 provided (partially existing condition).
7. Maximum Impervious Surface - .20 required, .2353 provided (partially existing condition).
8. Maximum Front Yard Impervious - .15 required, .263 provided (partially existing condition).
9. Maximum Building Coverage - .15 required, .178 provided (partially existing condition).

Kohn
22 Buena Vista Road
Suffern, NY 10901

RECEIVED
VILLAGE OF WESLEY HILLS
FEB 20 2025
BUILDING,
PLANNING & ZONING

Zoning Board of Appeals Narrative

To the Village of Wesley Hills Zoning Board,

We, the residents of 22 Buena Vista Rd, Suffern, NY 10901, respectfully submit this request for a zoning modification regarding lot size regulations to better accommodate the unique needs of our household and community. Our family consists of eight permanent members, including six children. We face daily challenges related to ADHD, anxiety, and a history of trauma. Additionally, we provide care and shelter to extended family members, including nieces and nephews who are orphans and rely on us for stability, as well as guests who often have no other place to eat or sleep.

Household and Family Composition

Our immediate family consists of the following members:

Father-Yuda Yunger (37 years old): Has ADHD, trauma history, and anxiety.

Mother- Shoshana Yunger (30 years old): Manages household responsibilities and supports the family's needs, including those of extended family members.

Our kids:

10-month-old girl, 3-year-old girl, 4-year-old girl, 8-year-old boy, 9-year-old girl, 10-year-old boy (Struggles with anxiety). Additionally, we provide regular care for our orphaned niece and nephew who stay with us frequently throughout the year.

Household and Community Needs

a. Large Family with Special Needs

Several of our children have ADHD, and our home requires structure and space to support their healthy development.

My wife and oldest son both struggle with anxiety, making a calm and organized living space essential for their mental well-being.

My ADHD and trauma history add to the importance of maintaining a well-organized and spacious environment to reduce stress and manage daily responsibilities.

Overcrowding intensifies these challenges and makes it difficult to maintain a peaceful and functional home.

b. Extended Family and Orphaned Relatives

My wife and I both have many siblings, both local and abroad, who visit frequently. We tend to host them, their spouses and children, when they're in town.

We also care for our niece and nephew who have lost their parents and rely on us for stability and security.

These children require proper accommodation for sleeping, studying, and maintaining a healthy routine, which our current space limitations make difficult.

c. Community Support and Hospitality

We regularly open our home to guests who have nowhere else to eat or sleep. On some weekends, our home expands to accommodate up to 25 people, the kids sharing space in the basement, and adding more beds to existing rooms.

Many of these guests are experiencing financial hardship, homelessness, or other struggles, and we provide them with a safe space for temporary relief.

d. Hosting Community Events and Holiday Gatherings

Our home serves as a gathering place for community events, holiday celebrations, and family get-togethers.

These gatherings bring together our immediate family, extended relatives, and local community members, fostering a sense of unity and support.

We host holiday and Shabbat meals, celebrations, and cultural events that provide social and emotional benefits to those who may not have other places to go during important Jewish holidays.

Given these circumstances, we respectfully request the variances to adjust the lot size requirements, allowing for expansion or modifications to better serve our household and extended community. Our request is based on the following key factors:

Health & Safety Considerations: Adequate living space is essential for maintaining a safe, comfortable, and structured home environment, particularly for family members with ADHD, anxiety, and trauma histories.

Mental Well-Being: A less crowded, more organized home can significantly reduce anxiety for my wife and oldest son, helping them manage stress and maintain emotional balance.

Community Benefit: The ability to accommodate guests in need aligns with our family's commitment to social responsibility and supporting those less fortunate.

Property Utilization: Adjusting lot size regulations will enable us to make the necessary improvements and ensuring that our property is used in a way that aligns with its actual occupancy and purpose. We as a family have worked hard with our architect to design this addition to have the least impact on our neighbors and the community.

We offer the following statements for the Board's further consideration:

Undesirable Change-We have considered whether this change would create an undesirable change to the neighborhood or a detriment to the nearby properties and feel that if the variances are granted there

would be minimal change to the area. The addition is 582 Square feet and variances are only needed as the area is in a small average density area with extremely small lots.

Benefit Sought by another method- We have contacted our neighbors to seek the purchase of the neighboring property, and they are not interested in selling their property at the current time. Further we have spent time with our architect seeking alternative locations for the addition and there is not alternate method that can be sought. If the addition was moved to the opposite side of the home, there would be substantial interior renovations needed to accommodate the flow of the home.

Substantial-the variances being sort are not substantial as the lot is undersized, it is a part of average density subdivision and the addition is minor in nature,

Adverse Impact-If the variances are granted there will be no adverse impact to the neighbors or the community. The proposed addition is minor in nature.

Self-created-The variances are not self-created as the zoning was established by the village and not the family.

We understand the importance of zoning regulations in preserving the integrity of the community. However, given our exceptional circumstances, we believe an adjustment would allow us to continue providing a safe and stable home for our family and those who rely on us for support.

We appreciate your time and consideration of this request and welcome any opportunity to discuss our situation further.

Respectfully submitted,

[Shoshana Kohn](#)

PART I

Name of Municipality VILLAGE OF WESLEY HILLS Date _____

RECEIVED
VILLAGE OF WESLEY HILLS

Please check all that apply:

FEB 20 2025

<input type="checkbox"/> Planning Board	<input type="checkbox"/> Architectural Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Municipal Board	
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Pre-preliminary/Sketch
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Zoning Code Amendment	<input type="checkbox"/> Zone Change
<input checked="" type="checkbox"/> Variance * (Fill out Part II of this form.)	

Project Name: Kohn Residence

Applicant: Shoshana Kohn Phone # 347-733-5023
 Address 22 Buena Vista Rd Suffern NY 10901
Street Name & Number (Post Office) State Zip code

Property Owner: Shoshana Kohn Phone # 347-733-5023
 Address 22 Buena Vista Rd Suffern NY 10901
Street Name & Number (Post Office) State Zip code

Engineer/Architect/Surveyor: Paul Gdanski Phone # 917-418-0999
 Address 3512 Whittier Court Mahwah NJ 07430
Street Name & Number (Post Office) State Zip code

Attorney: _____ Phone # _____
 Address _____
Street Name & Number (Post Office) State Zip code

Contact Person: Jay Yunger Phone # 718-501-7376
 Address 22 Buena Vista Rd Suffern NY 10901
Street Name & Number (Post Office) State Zip code

Tax Map Designation:

Section 32.19 Block 1 Lot(s) 45

Section _____ Block _____ Lot(s) _____

Location: On the South side of Buena Vista Rd,
500 feet ~~East~~ West of Caiths.

Acreage of Parcel 0.3 Zoning District R-50

School District East Rapnappoo Postal District SCFFern

Project Description: (If additional space required, please attach a narrative summary.)

Addition to single family home
See attached narrative

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ___ If so, what amount? _____

Project History: Has this project ever been reviewed before? NO

If so, list case number, name, date, and the board you appeared before.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

"Permission is hereby granted to the Village of Wesley Hills, its agents, servants and employees to enter upon the above described property solely for the purposes incidental to the within application at reasonable times upon reasonable notice to the owner or tenant in possession."

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 K, L, M, AND N.

- _____ State or County Road
- _____ Long Path
- _____ Municipal Boundary

- _____ State or County Park
- _____ County Stream
- _____ County Facility

List name(s) of facility checked above. _____

Applicant's Signature and Certification

State of New York)
County of Rockland) SS.:
Town/Village of Romapo)

I, Shoshana Kohn, hereby depose and say that all the above statements contained in the papers submitted herewith are true.

Mailing Address

22 Buena Vista Rd
Suffern NY 10901



SWORN to before this
14 day of February, 20 25

Liza Rivera
Notary Public

Liza N. Rivera
Notary Public, State of New York
Reg. No. 01RI6427059
Qualified in King County
Commission Expires 12/20/2025

Affidavit of Ownership/Owner's Consent

State of New York)
County of Rockland) SS.:
Town/Village of Wesley)

I, Shoshana Kohn being duly sworn, hereby
depose and say that I reside at: 22 Buena Vista Rd

in the county of Rockland in the state of New York.

I am the * Sole owner in fee simple of premises located at:

described in a certain deed of said premises recorded in the Rockland County Clerk's
Office in Liber _____ of conveyances, page _____.

Said premises have been in my/its possession since 19_____. Said premises are
also known and designated on the Town of Ramapo Tax Map as:
section 32.19 block 1 lot(s) 45

I hereby authorize the within application on my behalf, and that the statements of fact
contained in said application are true, and agree to be bound by the determination of the
board.

Owner Shoshana Kohn
Mailing Address 22 Buena Vista Rd
Suffern NY 10901

SWORN to before this
14 day of February, 2025
Liza Rivera
Notary Public

Liza N. Rivera
Notary Public, State of New York
Reg. No. 01RI6427059
Qualified in King County
Commission Expires 12/20/2025

* If owner is a corporation, fill in the office held by deponent and name of corporation,
and provide a list of all directors, officers and stockholders owning more than 5% of
any class of stock.

Affidavit Pursuant to Section 809 of the General Municipal Law

State of New York)
County of Rockland) SS.:
Town/Village of WASLEY HILLS)

I, Shoshana Kohn, being duly sworn, hereby depose and say that all the following statements and the statements contained in the papers submitted herewith are true and that the nature and extent of any interests set forth are disclosed to the extent that they are known to the applicant.

1. Print or type full name and post office address

Shoshana Kohn
22 Blueana Vista Rd
SUFFERN NY 10901

certifies that he is owner or agent of all that certain lot, piece or parcel of land and/or building described in this application **and if not the owner that he has been duly and properly authorized to make this application and to assume responsibility for the owner** in connection with this application for the relief below set forth:

2. To the Zoning Board of the Town/Village of
(Board, Commission or Agency)
Ramapo, Rockland County, New York:

Application, petition or request is hereby submitted for:

- Variance or modification from the requirement of Section 230;
- Special permit per the requirements of Section _____;
- Review and approval of proposed subdivision plat;
- Exemption from a plat or official map;
- An order to issue a certificate, permit or license;
- An amendment to the Zoning Ordinance or Official Map or change thereof;
- Other (explain) _____;

To permit construction, maintenance and use of addition

3. Premises affected are in a R-50 zone and from the town of Ramapo tax map, the property is know as Section 32.19, Block, 1, Lot(s) 45 (32.19-1-45)

4. There is no state officer, Rockland County Officer or employee or town/village officer or employee nor his or her spouse, brother, sister, parent, child or grandchild, or a spouse of any of these relatives who is the applicant or who has an interest in the person, partnership or association making this application, petition or request, or is an officer, director, partner or employee of the applicant, or that such officer or employee, if this applicant is a corporation, legally or beneficially owns or controls any stock of the applicant in excess of 5% of the total of the corporation if its stock is listed on the New York or American Stock Exchanges; or is a member or partner of the applicant, if the applicant is an association or a partnership; nor that such town/village officer or employee nor any member of his family in any of the foregoing classes is a party to an agreement with the applicant, express or implied, whereby such officer or employee may receive any payment or other benefit, whether or not for service rendered, which is dependent or contingent upon the favorable approval of this application, petition or request.

5. That to the extent that the same is known to your applicant, and to the owner of the subject premises **there is disclosed herewith** the interest of the following officer or employee of the State of New York or the County of Rockland or of the Town/Village of Wesley Hills in the petition, request or application or in the property or subject matter to which it relates:

(if none, so state)

- a. Name and address of officer or employee None
- b. Nature of interest _____
- c. If stockholder, number of shares _____
- d. If officer or partner, nature of office and name of partnership _____
- e. If a spouse or brother, sister, parent, child, grandchild or the spouse of any of these blood relatives of such state, county or town/village officer or employee, state name and address of such relative and nature of relationship to officer and employee and nature and extent of office, interest or participation or association having an interest in such ownership or in any business entity sharing in such ownership. _____

f. In the event of corporate ownership: A list of all directors, officers and stockholders of each corporation owning more than five (5%) percent of any class of stock, must be attached, if any of these are officers or employees of the State of New York, or of the County of Rockland, or of the Town/Village of Ramapo.

I, Shoshana Kohn, do hereby depose and say that all the above statements and statements contained in the papers submitted herewith are true, knowing that a person who knowingly and intentionally violates this section is guilty of a misdemeanor.

Mailing Address 22 Buena Vista Rd
Suffern, NY 10901
[Signature]

SWORN to before this
14 day of February, 20 25
Liza Rivera
Notary Public

Liza N. Rivera
Notary Public, State of New York
Reg. No. 01RI6427059
Qualified in King County
Commission Expires 12/20/2025

VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097


AFFIDAVIT OF OWNERSHIP

STATE OF NEW YORK }
COUNTY OF ROCKLAND } SS:
VILLAGE OF WESLEY HILLS }

Shoshana Kohn being duly sworn, deposes and
says that he/she resides at 22 Buena Vista Rd
Suffern, NY 10901

in the County of Rockland, State of New York; that he/she is the owner in
fee of all that certain lot, piece or parcel of land situated, lying and being
in the Village of Wesley Hills, and designated on the Town of Ramapo
Map as Section No. 32.19 Lot No. 45 and that he/she hereby
authorizes the attached application to be submitted in his/her behalf and
that the statements of fact contained in said application are true.

The applicant is the (owner) (contract vendee) of the said property.

Owner: Shoshana Kohn 
Address: 22 Buena Vista
Rd, Suffern, NY 10901

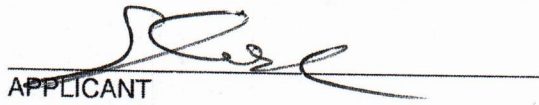
Sworn to before me this
14 day of February 2025
Liza Rivera
Notary Public

DISCLAIMER

APPLICANT TAKES FULL RESPONSIBILITY FOR RESEARCHING THE TAX MAP FOR THE LIST OF NAMES OF PROPERTY OWNERS ON THE ENCLOSED *AFFIDAVIT OF MAILING LIST*, AND SUPPLYING THE NECESSARY AMOUNT OF SELF-ADDRESSED STAMPED ENVELOPES.

THE APPLICANT'S ENVELOPES MUST COINCIDE WITH THE LIST. THE CLERK'S RESPONSIBILITY IS LIMITED TO CHECKING NAMES ON THE ENVELOPES AGAINST THE AFOREMENTIONED AFFIDAVIT BEFORE MAILING THEM.

RECEIPT OF THIS DISCLAIMER IS ACKNOWLEDGED


APPLICANT

2/18/25
DATED



Item 3.

11/32.19-2-26
10 ROCKWOOD HOLDINGS LLC
C/O KELMAN LEVI
18 SKYLARK DRIVE
SPRING VALLEY, NY 10977

11/32.19-2-27
AWE LEGACY TRUST
12 ROCKWOOD LA
SUFFERN, NY 10901

11/32.19-2-7
ARM MAIER
7 POMONA RD
SUFFERN, NY 10901

11/32.19-2-25
SCHRIER JEANY
8 ROCKWOOD LN
SUFFERN, NY 10901

11/32.19-2-6
WEIL NATHANIEL REV LIVING
TRUST, THE
571 CYPRESS AVE
LOS ANGELES, CA 90065

11/32.19-2-5
JUNGREIS DAVID
9 CAINS RD
SUFFERN, NY 10901

11/32.19-1-63
FIRST NATHANEL &
KATZ CHAYA
4 OLD POMONA RD
WESLEY HILLS, NY 10901

11/32.19-1-61
SANDOVAL PABLO & YESVELI
ROXANNA
5 CAINS RD
SUFFERN, NY 10901

11/32.19-2-62
SCHEINFELD MEIR &
STERN ALISA
536 ROUTE 306
MONSEY, NY 10952

11/32.19-1-62
ORLANSKY AVROHOM &
HOFFMAN SHIRA
7 CAINS RD
SUFFERN, NY 10901

11/32.19-1-64
FRIEDMAN ALEX & NECHAMA S
6 OLD POMONA RD
SUFFERN, NY 10901

11/32.19-1-59
SIEGEL JEFFREY & KIM
4 SERVEN RD
SUFFERN, NY 10901

11/32.19-1-60
FOGEL MOSHE & CYNTHIA
4 CAINS RD
SUFFERN, NY 10901

11/32.19-1-52
ROTH RYAN & RIVKA
8 CHRISTMAS HILL RD
AIRMONT, NY 10952

11/32.19-1-51
MAKOWSKY PHILIP A
& SARA M
72 EDISON CT
MONSEY, NY 10952

11/32.19-1-50
HALPERT SHMUEL & AVIVA
2 CAINS RD
SUFFERN, NY 10901

11/32.19-1-49
HALPERT SHMUEL & AVIVA
2 CAINS RD
SUFFERN, NY 10901

11/32.19-1-48
ROZENBERG KENNETH
3 CAINS RD
SUFFERN, NY 10901

11/32.19-1-38
SHMUL OHAD
10 SERVEN RD
SUFFERN, NY 10901

11/32.19-1-39
ABEL MICHAEL B &
LISA S
10 BUENA VISTA RD
SUFFERN, NY 10901

11/32.19-2-4
DAHAN NEIL SHAI &
ALEXANDER HEDVA Y
24 SCENIC DR
SUFFERN, NY 10901

11/32.19-1-40
DARSHAN NAVEENA & PAMELA
12 BUENA VISTA RD
SUFFERN, NY 10901

11/32.19-1-41
MANN ELIEZER M &
BAKER ZEHAVA
14 BUENA VISTA ROAD
SUFFERN, NY 10901

11/32.19-1-42
SHTAYGRUD YEHUDAH &
FUCHS HINDY MIRIAM
1 CAINS RD
SUFFERN, NY 10901

11/32.19-2-61
YANIV DANIEL & RAIZEL
27 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-1-43
GOLDBERGER SHARON
18 BUENA VISTA RD
SUFFERN, NY 10901

11/32.19-1-44
ZOLDAN DAVID
65 CARTERET ST
WEST ORANGE, NJ 07052

11/32.19-1-45
KOHNSHOSHANA
22 BUENA VISTA RD
WESLEY HILLS, NY 10901

11/32.19-1-46
GROSS FAIGY
1448 50TH ST
BROOKLYN, NY 11219

11/32.19-1-47
WEG LEGACY TRUST
26 BUENA VISTA RD
SUFFERN, NY 10901

11/32.19-1-28
SHUCHT DAVID & BEN-DOV
ESTER
11 BUENA VISTA RD
SUFFERN, NY 10901

11/32.19-2-60
SPITZ ABRAHAM
& RACHEL
29 POWDER HORN DR
WESLEY HILLS, NY 10901

11/32.19-1-27
KAHAN MORDECHAI &
KAHANA CHAYA
13 BUENA VISTA ROAD
WESLEY HILLS, NY 10901

11/32.19-1-26
KAHANA PINCHAS & HALPERT
CHANA
15 BUENA VISTA RD
SUFFERN, NY 10901

11/32.19-1-25
KLEIN JACK W & PAULINE
17 BUENA VISTA RD
SUFFERN, NY 10901

11/32.19-1-24
SOSOVER MOSHE
6654 SELFRIDGE ST
FOREST HILLS, NY 11375

11/32.19-1-23
JACOBSON BARBARA & JONAH
21 BUENA VISTA RD
SUFFERN, NY 10901

11/32.19-1-16
GROLL JANICE G
8 ONDERDONK RD
SUFFERN, NY 10901

11/32.19-2-54
REICHMANN MARC & TOVAH
MIRYAM TZIPPORAH
47 POWDER HORN LN
SUFFERN, NY 10901

11/32.19-1-17
MATOS CADMO B & FLOR M
10 ONDERDONK RD
SUFFERN, NY 10901

11/32.19-1-22
WEISSBERG BELINDA
23 BUENA VISTA RD
SUFFERN, NY 10901

11/32.19-1-18
OSEN JANET
12 ONDERDONK RD
SUFFERN, NY 10901

11/32.19-2-55
FLORANS MOSHE &
TSINMAN FEIGA
45 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-1-19
HEFFLER MARK & MARY
14 ONDERDONK RD
SUFFERN, NY 10901

11/32.19-1-20
KERZNER JOSEPH A
& LICHTER RACHEL M
16 ONDERDONK RD
WESLEY HILLS, NY 10901

11/32.19-1-21
GUZELGUL MICHAEL &
TROPPER NECHOMA GILA
53 EDISON COURT
MONSEY, NY 10952

11/32.19-2-56
HURWITZ CHAYA BRACHA
43 POWDERHORN DR
WESLEY HILLS, NY 10977

11/32.19-1-7
NENNER MARK & SIMONE
9 ONDERDONK RD
SUFFERN, NY 10901

11/32.19-1-6
HOFFMAN MORDECHAI S
11 ONDERDONK RD
SUFFERN, NY 10901

11/32.19-1-5
TANG KATHY &
ACOSTA HARRY
15 ONDERDONK RD
SUFFERN, NY 10901

11/32.19-1-4
BLISKO YAAKOV &
SPITZ ESTHER
17 ONDERDONK RD
SUFFERN, NY 10901

11/32.19-1-3
KAUFMAN ELIYAHU & BINA
19 ONDERDONK RD
SUFFERN, NY 10901

11/32.19-1-2
ONDERDONK 21 LLC
C/O LAUFER ISSAC
120 STRAWBERRY LANE
NEWBURGH, NY 12550

11/32.19-1-1
25 ONDERDONK LLC
527 MARCY AVE
BROOKLYN, NY 11206

11/32.19-2-53
RATNER JOSHUA S & AMY R &
RATNER ROBERT & CAMILLE
48 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-52
LIPOFF LAWRENCE & LAUREN
46 POWDER HORN LN
SUFFERN, NY 10901

09/32.15-1-25
SCHWARTZ ABRAHAM &
WERZBERGER ARIELLA
14 SCENIC DRIVE
SUFFERN, NY 10901

09/32.15-1-26
HOMES FOR THE EXCEPTIONAL
II, INC
C/O NYSARC
210 ROUTE 303
VALLEY COTTAGE, NY 10989

09/32.15-1-27
SPITZ JOEL M & MIRIAM
18 SCENIC DRIVE
SUFFERN, NY 10901

09/32.15-1-28
ERBLICH YOSEF & ESTHER
KAGAN
20 SCENIC DR
SUFFERN, NY 10901

Item 3.

09/32.15-1-29
TAPPER NISSON &
RUBINSTEIN GOLDIE
40 POWDER HORN DR
SUFFERN, NY 10901

09/32.15-1-30
DAHAN NEIL S &
ALEXANDER-DAHAN HEDVA
24 SCENIC DR
SUFFERN, NY 10901

09/32.15-1-31
SILVERBERG YEHOASHUA &
DEBRA
26 SCENIC DR
SUFFERN, NY 10901

09/32.15-1-32
SHEINKOPF ADINA & GOLOMB
MICHAEL
27 HIDDEN VALLEY DR
SUFFERN, NY 10901

89/32.15-2-6
MERMELSTEIN JOSHUA &
BETH S
28 SCENIC DR
SUFFERN, NY 10901

PART II

Application before the Zoning Board of Appeals

Application, petition or request is hereby submitted for:

- Variance from the requirement of Section 230 _____;
- Special permit per the requirements of Section _____;
- Review of an administrative decision of the Building Inspector;
- An order to issue a Certificate of Occupancy;
- An order to issue a Building Permit;
- An interpretation of the Zoning Ordinance or Map;
- Certification of an existing non-conforming structure or use;
- Other (*explain*) _____;

To permit construction, maintenance and use of Addition

AS APPLICABLE, COMPLETE THE FOLLOWING:

- 1) SHORT ENVIRONMENTAL ASSESSMENT FORM
- 2) FULL ENVIRONMENTAL ASSESSMENT FORM

For access to the above State Environmental Quality Review forms:

<http://www.dec.ny.gov/public/6191.html>

INSTRUCTIONS

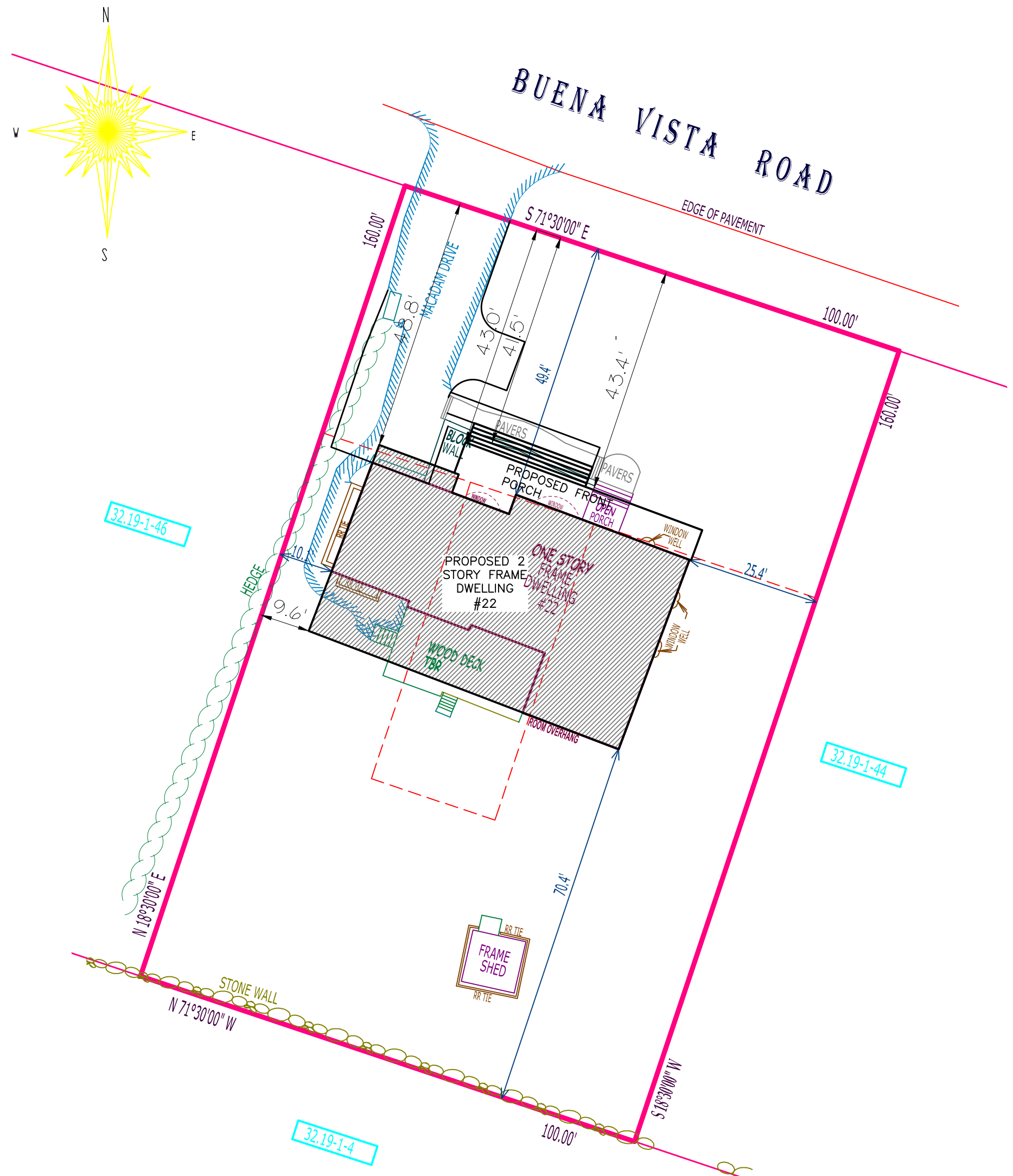
The following must be completed before the application is reviewed and scheduled for the Zoning Board of Appeals meeting:

7. Filing fee of \$150.00 for an existing residence, \$150.00 for actions involving new one-family residences plus \$100.00 per variance sought or \$350.00 plus \$100.00 per variance sought for all other applications plus actual publication sought.
8. Twelve copies of the application, twelve plot plans drawn to scale (showing setbacks and other dimensions) or twelve surveys that have been sworn or attested to as being true and accurate.
9. Twelve copies of a narrative describing why the applicant is appearing before the Board.
10. Twelve copies of reference to the Zoning Board of Appeals (Building Inspector's determination, Code Inspector's determination, referral from the Planning Board or for an interpretation of the Zoning Code). No application can come for a variance without first being denied by the Building Inspector or Code Inspector or referred from the Planning Board.
11. List of names and addresses, along with stamped self-addressed envelopes, of all property owners within a 750 foot radius of the property covered in the application.
12. Twelve copies of a vicinity map.

The application must be received at least four weeks prior to be scheduled for a Zoning Board of Appeals meeting and is subject to the review by the Zoning Board of Appeals attorney. You will be notified as the date of the meeting. You will be provided with posters giving notice of the hearing which shall be posted in a conspicuous place visible from every street along the frontage of the property referred to in the application. These notices must be posted 10 days prior to the scheduled meeting.

TAX LOT: SECTION 32.19, BLOCK 1, LOT 45

REFERENCES:
 -ALL BOUNDARY INFORMATION IS REFERENCED FROM A SURVEY PREPARED BY ANTHONY R. CELENTANO, PLS DATED APRIL 9, 2019, PROVIDED BY OWNER.
 -BEING LOTS 13, 14, 15 AND 16 BLOCK OR SECTION E ON A CERTAIN MAP ENTITLED "MAP NO. 4 OF THE POMONA HEIGHTS" FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON 06/17/1927.



EXISTING IMPERVIOUS SURFACES:
 DWELLING = 1,826 SF
 PORCH = 60 SF
 DECK = 406 SF
 DRIVEWAY & FRONT WALK = 997 SF
 REAR WALK = 203 SF
 SHED & RAMP = 151 SF
 TOTAL = 3,643 SF
 EX. COV. = 3,643 SF / 16,000 SF = 0.2277 - 22.8%

FRONT YARD IMPERVIOUS AREA:
 EXISTING DRIVEWAY & WALK = 897 SF
 AREA = 4,540 SF
 EXIST. FYI = 897 SF / 4,550 SF = 0.207

PROPOSED:
 DRIVEWAY & WALK = 1,051 SF
 AREA = 4,150 SF
 PROP. FYI = 1,051 SF / 4,150 SF = 0.253

PROP. COVERAGE:
 PROP. DWELLING = 2,408 SF
 PROP. COV. PORCH = 439 SF
 PROPOSED DRIVEWAY & WALK = 1,217 SF
 SHED & RAMP = 151 SF
 TOTAL IMPERVIOUS = 4,044 SF
 PRO. COV. = 4,215 SF / 16,000 SF = 0.2634 - 26.3%

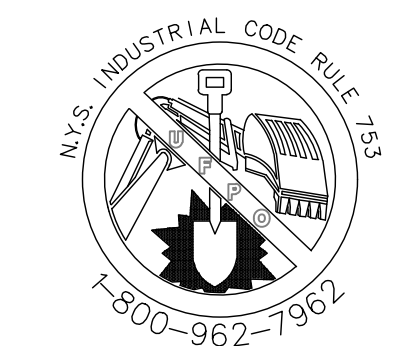
VILLAGE OF WESLEY HILLS BULK REQUIREMENTS
 ZONE R-50
 SINGLE FAMILY DWELLING

	MINIMUM LOT AREA (SF)	MINIMUM LOT FRONTAGE (FT)	MINIMUM LOT WIDTH (FT)	MINIMUM EFFECTIVE SQUARE SIDE (FT)	FRONT YARD (FT) TER.	FRONT YARD (FT) SER.	SIDE YARD (FT)	TOTAL SIDE YARD (FT)	REAR YARD (FT)	MAXIMUM IMPERVIOUS SURFACE RATIO	MAXIMUM FRONT YARD IMPERVIOUS SURFACE RATIO	MAXIMUM BUILDING COVERAGE	MAXIMUM BUILDING HEIGHT (STORIES/FT)	MAXIMUM EXPOSED BUILDING HEIGHT (FT)
REQD.	50,000	100	150	150	50	50	30	75	50	0.20	0.15	0.15/0.108	2.5 / 25	40
EXIST.	16,000*	100.0	100.0*	25*	49.4*	49.4*	101*	35.5*	70.4	0.228*	0.207*	0.143	10/15.0	20.0
PRD.	16,000*	100.0	100.0*	25*	41.5**	41.5**	9.6**	35.0**	70.4	0.253**	0.263**	0.178**	<25	<40

MAXIMUM BUILDING COVERAGE (CALCULATION PER ZONING LAW)
 SQUARE FOOTAGE OF BUILDINGS LESS THAN 15' HEIGHT OR 1-1/2 STORIES - EX - DWELLING = 1,826 + 60 + 406 SF
 BLDG. COV. = 2,292 SF / 16,000 SF = 14.3

PROPOSED:
 TOTAL BUILDING AREA = 2,408 SF + 439 SF = 2,847 SF
 15' HGT + 439 SF COV. PORCH = 439 SF
 MAX ALLOWED = 439 SF / 2,847 SF = 0.154 - 15.4%
 BLDG. COVERAGE = 2,847 / 16,000 = 0.178

* EXISTING CONDITION
 ** VARIANCE REQUIRED



CALL BEFORE YOU DIG, DRILL OR BLAST
 NO LESS THAN TWO WORKING DAYS NOTICE
IT'S THE LAW!

UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209(12) OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS MAP NOT HAVING THE SEAL OF THE SURVEYOR OR ENGINEER SHALL NOT BE VALID.
 CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
 USE OF UNSEALED COPIES OF THIS DOCUMENT IN ANY COURT, FILING OFFICE, TRANSACTION, OR FILING WITH ANY STATE, FEDERAL, OR OFFICE IS AN UNAUTHORIZED ALTERATION OF FEDERAL COPYRIGHT LAWS.

PAUL GDANSKI, PE, PLLC
 3512 WHITTIER COURT
 MALDEN, N.J. 07430
 TEL: (917) 418-0999

REVISIONS	

PLOT PLAN FOR
 22 BUENA VISTA ROAD
 KOHN
 TAX LOT 32.19-1-45
 LOCATED IN THE
 VILLAGE OF WESLEY HILLS
 ROCKLAND COUNTY, NEW YORK
 GRAPHIC SCALE

PAUL GDANSKI, PE, PLLC
 3512 WHITTIER COURT
 MALDEN, N.J. 07430
 TEL: (917) 418-0999

FILE # 22BUENA
 DATE OCT. 16, 2024
 SCALE 1" = 20'
 DWG # 1 OF 1

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information				
Name of Action or Project: Kohn Residence				
Project Location (describe, and attach a location map): 22 Buena Vista Rd, Suffern NY 10901				
Brief Description of Proposed Action: Addition to single family home				
Name of Applicant or Sponsor: Shoshana Kohn		Telephone:		
Address: 22 Buena Vista Rd		E-Mail:		
City/PC: Suffern	State: New York	Zip Code: 10901		
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?			_____ acres	
b. Total acreage to be physically disturbed?			_____ ? acres <i>minimal surface Area</i>	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?			_____ 3 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:				
<input type="checkbox"/> Urban	<input type="checkbox"/> Rural (non-agriculture)	<input type="checkbox"/> Industrial	<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential (suburban)
<input type="checkbox"/> Forest	<input type="checkbox"/> Agriculture	<input type="checkbox"/> Aquatic	<input type="checkbox"/> Other(Specify):	
<input type="checkbox"/> Parkland				

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VILLAGE OF WESLEY HILLS
FEB 20 2025
BUILDING,
PLANNING & ZONING

<p>5. Is the proposed action,</p> <p>a. A permitted use under the zoning regulations?</p> <p>b. Consistent with the adopted comprehensive plan?</p>	<p>NO</p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p>	<p>N/A</p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p>
<p>6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input checked="" type="checkbox"/></p>	
<p>7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?</p> <p>If Yes, identify: _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>	
<p>8. a. Will the proposed action result in a substantial increase in traffic above present levels?</p> <p>b. Are public transportation services available at or near the site of the proposed action?</p> <p>c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p> <p><input checked="" type="checkbox"/></p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p>	
<p>9. Does the proposed action meet or exceed the state energy code requirements?</p> <p>If the proposed action will exceed requirements, describe design features and technologies:</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input checked="" type="checkbox"/></p>	
<p>10. Will the proposed action connect to an existing public/private water supply?</p> <p>If No, describe method for providing potable water: _____</p> <p>_____</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input checked="" type="checkbox"/></p>	
<p>11. Will the proposed action connect to existing wastewater utilities?</p> <p>If No, describe method for providing wastewater treatment: _____</p> <p>_____</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input checked="" type="checkbox"/></p>	
<p>12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?</p> <p>b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p>	
<p>13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?</p> <p>b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?</p> <p>If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:

Shoreline Forest Agricultural/grasslands Early mid-successional
 Wetland Urban Suburban

15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?

	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

16. Is the project site located in the 100-year flood plan?

	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

17. Will the proposed action create storm water discharge, either from point or non-point sources?
 If Yes,

a. Will storm water discharges flow to adjacent properties?

	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?
 If Yes, briefly describe:

	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?
 If Yes, explain the purpose and size of the impoundment:

	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?
 If Yes, describe:

	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?
 If Yes, describe:

	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor/name: Shoshana Kahn Date: 2-18-2025

Signature: [Signature] Title: _____

GML Report

Property Information:	
Parcel ID: 32.19-1-45	Date Parcel: February 2024
OLD ID: 4-68AE13	Address: 22 BUENA VISTA RD
City: SUFFERN	State: NY
Zip: 10901	Book Page: N/A
Deed Date: 10/19/2020 12:00:00 AM	Instrument: 2020-00030278
Municipality: WESLEY HILLS	Deed Acres: 0
GIS Calculated Acres: 0.375	
<i>R-50 Zone</i>	
GML Criteria:	
Requires GML Review: NO	Adjacent Town Boundary: NO
Adjacent Village Boundary: NO	Orange County Boundary: NO
County Facility: NO	NYS Facility: NO
County Park: NO	State Park: NO
County Regulated Streams: NO	Long Path Hiking Trail: NO
ROW-County Highways: NO	ROW-NYS Highway: NO
ROW-NYS Thruway: NO	ROW-Palisades Interstate Parkway: NO
X Coordinate: -74.07350010	Y Coordinate: 41.16782211

Source: Rockland County GIS Portal



432 Route 306

Wesley Hills, N.Y. 10952-1221

Phone: 845-354-0400 Fax: 845-354-4097 www.wesleyhills.org

Email: BuildingDept@wesleyhills.org

PUBLIC HEARING NOTICE

PLEASE TAKE NOTICE that a public hearing will be held by the Zoning Board of Appeals of the Village of Wesley Hills on the 19th day of March, 2025 at 7:30 P.M. at the Village Hall, 432 Route 306, Wesley Hills, New York 10952 to consider the application submitted by Shoshana Kohn for variances from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of an addition to a single family residence having a front yard of 41.5 feet instead of the minimum required of 50 feet, side yard of 9.6 feet instead of the minimum required of 30 feet, total side yard of 35 feet instead of the minimum required of 75 feet, building coverage of .175 instead of the maximum permitted of .108, impervious surface ratio of .255 instead of the maximum permitted of .20 and front yard impervious surface ratio of .265 instead of the maximum permitted of .15.

The subject premises are situated on the south side of Buena Vista Road approximately 500 feet west of Cains Road, known as 22 Buena Vista Road, designated on the Tax Map as Section 32.19 Block 1 Lot 45, in an R-50 Zoning District.

Copies of the aforesaid application are available for public review at the office of the Village Clerk/Treasurer, Village of Wesley Hills, 432 Route 306, Wesley Hills, New York 10952 between the hours of 9 A.M. and 4 P.M. Mondays through Fridays, exclusive of holidays.

Dated: Wesley Hills, New York
March 3, 2025

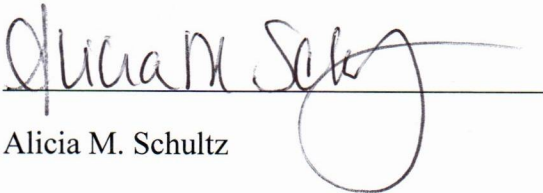
Camille Guido-Downey
Village Clerk/Treasurer
Village of Wesley Hills

**Village of Wesley Hills
432 Route 306
Wesley Hills, NY 10952**

Applicant Name: 22 Buena Vista Road

CERTIFICATION

I, Alicia Schultz, Deputy Village Clerk of the Village of Wesley Hills, hereby certify that on the 4th day of March, 2025, I mailed the attached notice by regular first class mail in all envelopes submitted to me by the Applicant addressed to all those names appearing on the affidavit of Property Owners by depositing same in an official depository under exclusion care and custody of the United States Postal Office within the State of New York.



A handwritten signature in cursive script, appearing to read "Alicia M. Schultz", is written over a horizontal line. The signature is fluid and includes a large loop at the end.

Alicia M. Schultz

Deputy Village Clerk

ACTUAL SIZE

VILLAGE OF WESLEY HILLS PUBLIC HEARING NOTICE

PLEASE TAKE NOTICE that a public hearing will be held by the Zoning Board of Appeals of the Village of Wesley Hills on the 19th day of March, 2025 at 7:30 P.M. at the Village Hall, 432 Route 306, Wesley Hills, New York 10952 to consider the application submitted by Shoshana Kohn for variances from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of an addition to a single family residence having a front yard of 41.5 feet instead of the minimum required of 50 feet, side yard of 9.6 feet instead of the minimum required of 30 feet, total side yard of 35 feet instead of the minimum required of 75 feet, building coverage of .175 instead of the maximum permitted of .108, impervious surface ratio of .255 instead of the maximum permitted of .20 and front yard impervious surface ratio of .265 instead of the maximum permitted of .15.

The subject premises are situated on the south side of Buena Vista Road approximately 500 feet west of Cains Road, known as 22 Buena Vista Road, designated on the Tax Map as Section 32.19 Block 1 Lot 45, in an R-50 Zoning District.

Copies of the aforesaid application are available for public review at the office of the Village Clerk/Treasurer, Village of Wesley Hills, 432 Route 306, Wesley Hills, New York 10952 between the hours of 9 A.M. and 4 P.M. Mondays through Fridays, exclusive of holidays.

Dated: Wesley Hills, New York
March 3, 2025

Camille Guido-Downey
Village Clerk/Treasurer
Village of Wesley Hills

1x3-6/27859

File Attachments for Item:

4. Application submitted by Pablo Umansky for variances from the provisions of Section 230-17 Attachment I and Section 230-14O(a)(4) and (5) of the Code of the Village of Wesley Hills to permit the construction, maintenance and use of a two story addition and terraces to a single family residence having a side yard of 11.5 feet instead of the minimum required of 25 feet, building coverage of .12 instead of the maximum permitted of .10, impervious surface ratio of .35 instead of the maximum permitted of .25 and an accessory building (garage) that is 1340 square feet instead of the maximum permitted of 900 square feet.

The subject premises are situated on the south side of East Willow Tree Road approximately 175 feet west of Arcadian Drive, known as 57 East Willow Tree Road, designated on the Tax Map as Section 41.12 Block 2 Lot 4, in an R-35 Zoning District.

GML Report

Property Information:

Parcel ID: 41.12-2-4	Date Parcel: February 2024
OLD ID: 10-10A4	Address: 57 E WILLOW TREE RD
City: SPRING VALLEY	State: NY
Zip: 10977	Book Page: N/A
Deed Date: 1/6/2021 12:00:00 AM	Instrument: 2021-00000219
Municipality: WESLEY HILLS	Deed Acres: 0
GIS Calculated Acres: 0.998	

GML Criteria:

Requires GML Review: NO	Adjacent Town Boundarry: NO
Adjecent Village Boundary: NO	Orange County Bunday: NO
County Facility: NO	NYS Facility: NO
County Park: NO	State Park: NO
County Regulated Streams: NO	Long Path Hiking Trail: NO
ROW-County Highways: NO	ROW-NYS Highway: NO
ROW-NYS Thruway: NO	ROW-Palisades Interstate Parkway: NO
X Coordinate: -74.05962405	Y Coordinate: 41.15666743

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VILLAGE OF WESLEY HILLS

JAN 22 2025

BUILDING,
PLANNING & ZONING

NARRATIVE SUMMARY
57 East Willow Tree Road
S/B/L 41.12-2-4

This narrative summary is submitted in support of the application by Pablo Umansky for variances to construct a small 2 story addition to his home consisting of 687 SF. The premises are in the R-35 Zoning District and are presently improved with a single-family dwelling. The existing building coverage is 4,642 SF.

SEQRA

The project should be classified as a Type II action pursuant to 6 NYCRR 617.5(c)(11) (construction or expansion of a single-family, a two-family or a three-family residence on an approved lot) or (17) (granting of an area variance for a single-family, two-family or three-family residence).

GML

The property is not within 500' of a designated facility pursuant to General Municipal Law Section 239-m. No referral is required to the Rockland County Department of Planning.

VARIANCES

The application requests that 3 variances be granted as follows:

	<u>Required</u>	<u>Existing</u>	<u>Proposed</u>
Max. Impervious Surface	0.25	0.34	0.35
Max. Building Coverage	.10	.11	.12
Side Yard	25'	26.7'	11.5'

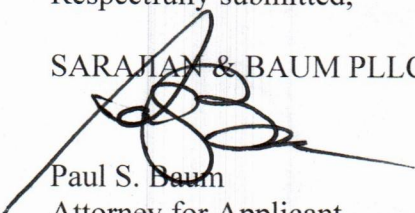
The requested variances will not negatively impact any of the neighbors or create a detriment to the community. Under the particular circumstances of this case, the benefit to the applicant from the grant of the variances significantly outweighs any detriment to the health, safety and welfare of the neighborhood. The balance of equities lies in favor of the granting of the variance.

It is respectfully requested that the Zoning Board of Appeals grant the applicant the requested variances.

Dated: January 7, 2025

Respectfully submitted,

SARAJIAN & BAUM PLLC


Paul S. Baum
Attorney for Applicant

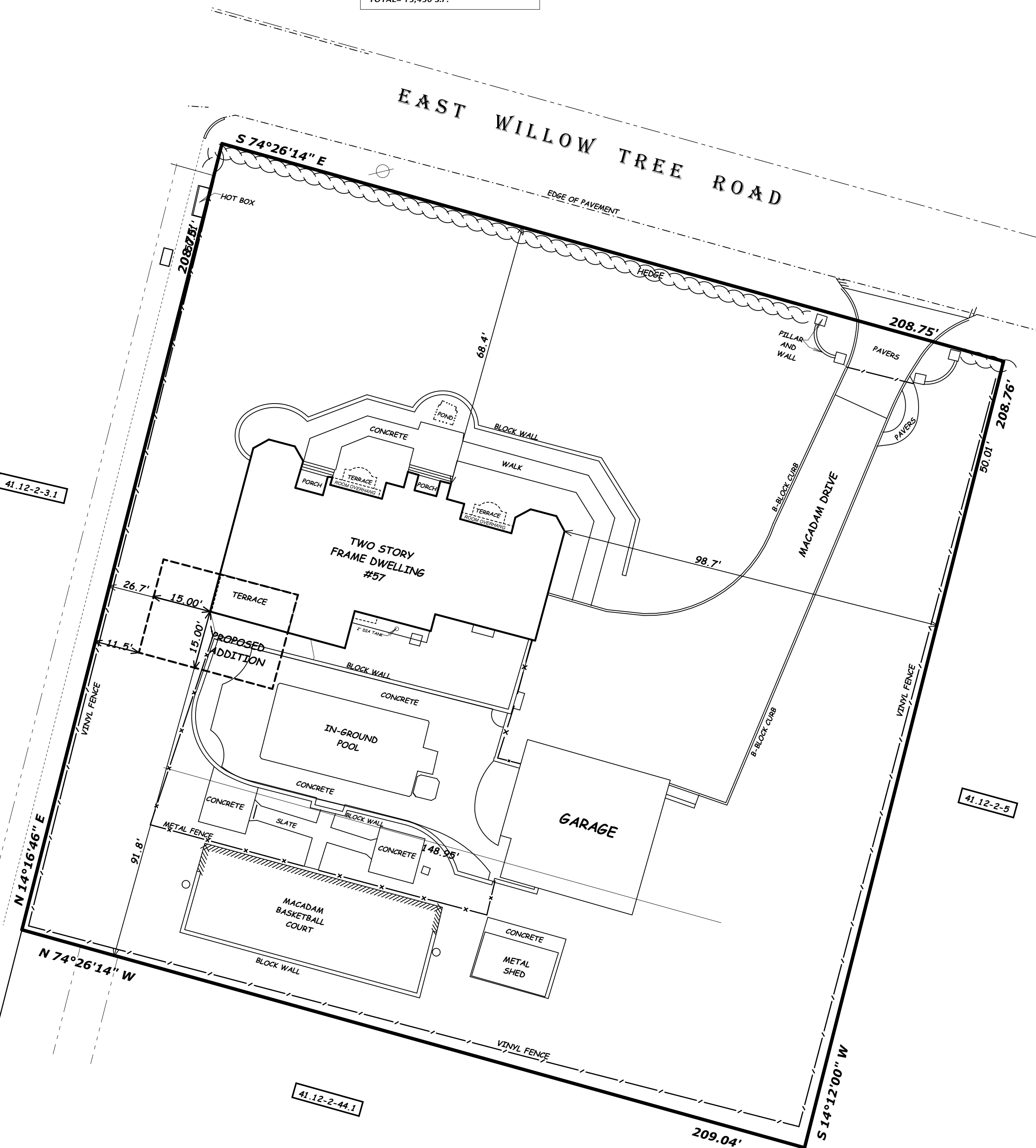
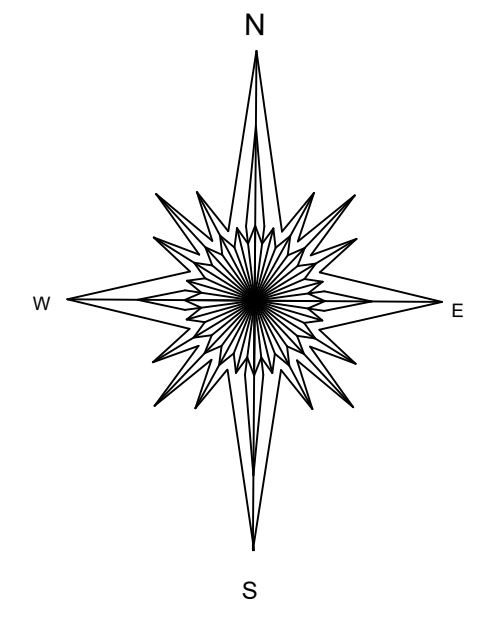
BULK REQUIREMENTS ZONE: R-35

USE GROUP SINGLE FAMILY	MIN. LOT AREA	LOT FRONTAGE	LOT WIDTH	EFFECTIVE SQUARE SIDE	FRONT YARD	SIDE YARD	TOTAL SIDE YARD	REAR YARD	MAX. IMPERVIOUS SURFACE	MAX. FRONT YARD IMPERVIOUS SURFACE	MAX. BUILDING COVERAGE	MAX. BUILDING HEIGHT		MAX. EXPOSED BUILDING HEIGHT
												STORIES	FEET	
REQUIRED	35,000 SF	100'	125'	125'	50'	25'	60'	50'	0.25	0.20	0.10	2 1/2	25	40'
PROVIDED	43,595 SF	208.75'	208.82'	148.8'	68.4'	11.5'	62.3'	110.2'	0.35%	0.08	0.12%	2	<25'	<40'

* VARIANCE REQUIRED

IMPERVIOUS SURFACE:
 1. HOUSE= 3,647 S.F.
 2. DRIVEWAY= 4,064 S.F.
 4. GARAGE= 1,340 S.F.
 5. FRONT WALKWAY= 742 S.F.
 6. REAR PATIO= 862 S.F.
 7. POOL & PATIO= 2,330 S.F.
 8. BASKETBALL COURT= 1,521 S.F.
 9. SLATE & CONC. WALKWAYS= 481 S.F.
 10. SHED & CONC. PAD= 333 S.F.
 11. ROOM OVERHANGS= 110 S.F.
TOTAL= 15,430 S.F.

FRONT IMPERVIOUS SURFACE:
 815 S.F. / 10, 440 S.F.= 0.078

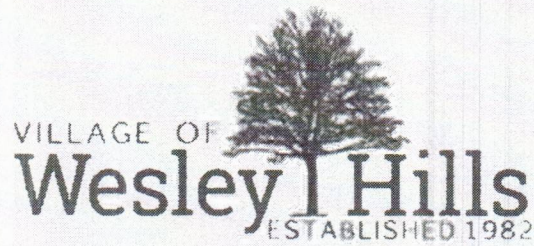


LOT AREA=43,595.89 SQUARE FEET
 TAX MAP DESIGNATION: 41.12-2-4
 PROPOSED ADDITION FOR
57 E. WILLOW

TOWN OF RAMAPO, ROCKLAND COUNTY
 WESLEY HILLS, NEW YORK
 SEPTEMBER 13, 2016 SCALE: 1" = 20'
 ANTHONY R. CELENTANO P.L.S.
 31 ROSMAN ROAD
 THIELLS, N.Y. 10984
 845 429 5290 FAX 429 5974

Anthony R. Celentano LIC#50633

NOTE:
 "IT IS A VIOLATION OF THE STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY."
 "ONLY COPIES OF THIS SURVEY MARKED WITH THE LAND SURVEYOR'S SIGNATURE AND AN ORIGINAL EMBOSSED OR INK SEAL ARE THE PRODUCT OF THE LAND SURVEYOR."
 "THIS SURVEY WAS PREPARED FOR THE PARTIES AND PURPOSE INDICATED HEREON. ANY EXTENSION OF THE USE BEYOND THE PURPOSES AGREED TO BETWEEN THE CLIENT AND THE SURVEYOR EXCEEDS THE SCOPE OF THE ENGAGEMENT."
 THIS SURVEY MAP IS SUBJECT TO AN ACCURATE ABSTRACT OF TITLE.
 EASEMENTS OR RIGHTS OF WAY ON OR BELOW THE SURFACE OF THE GROUND THAT ARE NOT VISIBLE ARE NOT SHOWN.



432 Route 306

Wesley Hills, N.Y. 10952-1221

Phone: 845-354-0400 Fax: 845-354-4097 www.wesleyhills.org

RECEIVED
VILLAGE OF WESLEY HILLS
JAN 22 2025
BUILDING,
PLANNING & ZONING

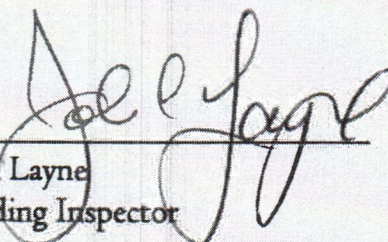
Dated: July 15, 2024
Tax Parcel ID: 41.12-2-4
Address: 57 E. Willow Tree Road
Applicant: Pablo Umansky

BUILDING AND ZONING DEPARTMENT:

Please be advised that your application for a building permit for an addition to a single-family home has been denied. The requirements of the Zoning Law of the Village of Wesley Hills have not been satisfied. The following variances are required:

- Maximum impervious surface of .35 when .25 is required
- Maximum building coverage of .12 when .10 is required
- Minimum side yard of 11.5' when 25' is required

In addition, the Zoning Board of Appeals may review any existing non-conforming items and previously granted variances.


John Layne
Building Inspector

cc: Zoning Board of Appeals

Mayor: Marshall Katz Deputy Mayor: Milton Schwartz
Trustees: Yisroel Cherns, Tova Krull, Joseph Mause
Village Clerk: Camille Guido-Downey Village Attorneys: Benjamin Selig, Bruce Minsky

Short Environmental Assessment Form

Part 1 - Project Information

RECEIVED
VILLAGE OF WESLEY HILLS

Item 4.

JAN 22 2025

BUILDING,
PLANNING & ZONING

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: 57 E. Willow			
Project Location (describe, and attach a location map): 57 East Willow Tree Road			
Brief Description of Proposed Action: Construction of Addition.			
Name of Applicant or Sponsor:		Telephone:	
		E-Mail:	
Address:			
City/PO: 9		State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Building Department and Zoning Board			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		_____ 1.0 acres	
b. Total acreage to be physically disturbed?		_____ 0.05 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 1.0 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

<p>5. Is the proposed action,</p> <p>a. A permitted use under the zoning regulations?</p> <p>b. Consistent with the adopted comprehensive plan?</p>	<p>NO</p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p>	<p><input type="checkbox"/></p> <p><input type="checkbox"/></p>
<p>6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>	
<p>7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?</p> <p>If Yes, identify: _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>	
<p>8. a. Will the proposed action result in a substantial increase in traffic above present levels?</p> <p>b. Are public transportation services available at or near the site of the proposed action?</p> <p>c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?</p>	<p>NO</p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p>	
<p>9. Does the proposed action meet or exceed the state energy code requirements?</p> <p>If the proposed action will exceed requirements, describe design features and technologies:</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>	
<p>10. Will the proposed action connect to an existing public/private water supply?</p> <p>If No, describe method for providing potable water: _____</p> <p>_____</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>	
<p>11. Will the proposed action connect to existing wastewater utilities?</p> <p>If No, describe method for providing wastewater treatment: _____</p> <p>_____</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>	
<p>12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?</p> <p>b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p> <p><input checked="" type="checkbox"/></p>	
<p>13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?</p> <p>b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?</p> <p>If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:

Shoreline Forest Agricultural/grasslands Early mid-successional

Wetland Urban Suburban

15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

16. Is the project site located in the 100-year flood plan?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

17. Will the proposed action create storm water discharge, either from point or non-point sources?

If Yes,

a. Will storm water discharges flow to adjacent properties?

NO	YES
<input type="checkbox"/>	<input type="checkbox"/>

b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?

NO	YES
<input type="checkbox"/>	<input type="checkbox"/>

If Yes, briefly describe:

to existing drainage system

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?

If Yes, explain the purpose and size of the impoundment: _____

NO	YES
<input type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?

If Yes, describe: _____

NO	YES
<input type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?

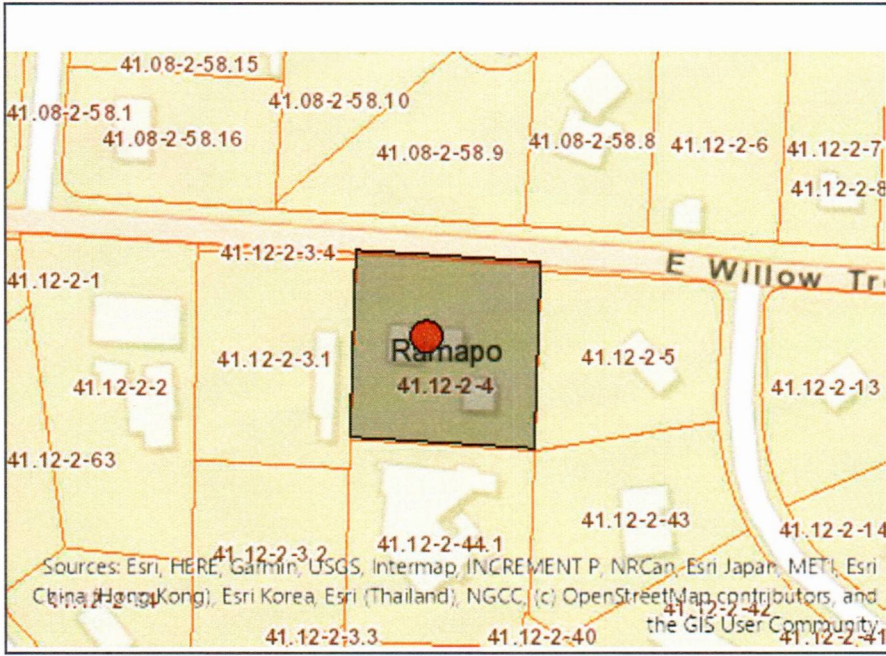
If Yes, describe: _____

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

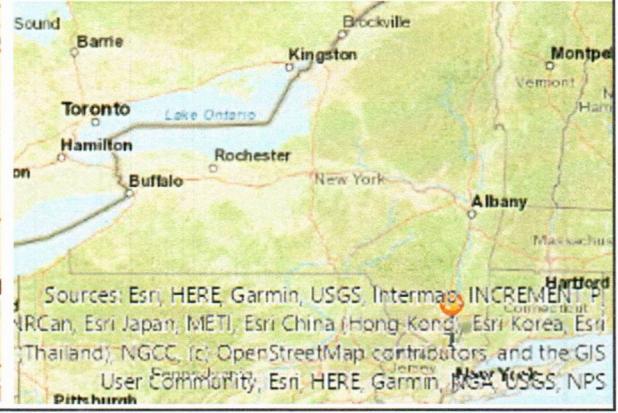
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: _____ Date: _____

Signature:  _____ Title: _____



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

RECEIVED
VILLAGE OF WESLEY HILLS
JAN 22 2025
BUILDING,
PLANNING & ZONING

PART I

Name of Municipality VILLAGE OF WESLEY HILLS Date September 12, 2024

Please check all that apply:

<input type="checkbox"/> Planning Board	<input type="checkbox"/> Architectural Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Municipal Board	
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Pre-preliminary/Sketch
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Zoning Code Amendment	<input type="checkbox"/> Zone Change
<input checked="" type="checkbox"/> Variance * (Fill out Part II of this form.)	

Project Name: 57 East Willow Tree Road

Applicant: Pablo Umansky Phone # 305-216-8315
 Address 57 E. Willow Tree Road Spring Valley NY 10977
Street Name & Number (Post Office) State Zip code

Property Owner: Amalia Umansky 2016 Family Trust Phone # _____
 Address 57 E. Willow Tree Road Spring Valley NY 10977
Street Name & Number (Post Office) State Zip code

Engineer/Architect/Surveyor: Anthony R. Celentano P.L.S. Phone # 845-429-5290
 Address 31 Rosman Road Thiells NY 10984
Street Name & Number (Post Office) State Zip code

Attorney: Paul Baum Phone # 845-205-4556
 Address 155 North Main Street New City NY 10956
Street Name & Number (Post Office) State Zip code

Contact Person: Attorney Phone # _____
 Address _____
Street Name & Number (Post Office) State Zip code

Tax Map Designation:

Section 41.12 Block 2 Lot(s) 4

Section _____ Block _____ Lot(s) _____

Location: On the South side of East Willow Tree Road,
175 feet West of Arcadian Drive.

Acreage of Parcel 43,595 SF **Zoning District** R-35

School District East Ramapo **Postal District** Spring Valley

Project Description: *(If additional space required, please attach a narrative summary.)*

Addition to single family dwelling which will have less than the required side yard of 25'
(11.5' proposed) and will have more than the maximum impervious surface of .25 (.35
proposed) and building coverage of .10 (.12 proposed).

If subdivision:

1) Is any variance from the subdivision regulations required? _____

2) Is any open space being offered? ____ If so, what amount? _____

Project History: Has this project ever been reviewed before? _____

If so, list case number, name, date, and the board you appeared before.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

"Permission is hereby granted to the Village of Wesley Hills, its agents, servants and employees to enter upon the above described property solely for the purposes incidental to the within application at reasonable times upon reasonable notice to the owner or tenant in possession."

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 K, L, M, AND N.

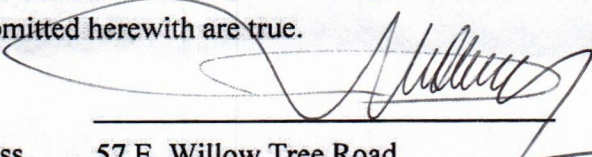
- | | |
|---|---|
| <input type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path | <input type="checkbox"/> County Stream |
| <input type="checkbox"/> Municipal Boundary | <input type="checkbox"/> County Facility |

List name(s) of facility checked above. _____

Applicant's Signature and Certification


State of New York)
County of Rockland) SS.:
Town/Village of Wesley Hills)

I, Pablo Umansky, hereby depose and say that all the above statements contained in the papers submitted herewith are true.



Mailing Address 57 E. Willow Tree Road
Spring Valley, NY 10977

SWORN to before this
7th day of November, 2021



Notary Public

TRANE LUNGER
Notary Public, State of New York
No. 01LU0016821
Qualified in Rockland County
Commission Expires 11/24/2027

THANE LUNGER
County of New York, State of New York
No. 071 02016231
Quarrel in Record Court
Commission Expires 11/24/2023

Affidavit of Ownership/Owner's Consent

State of New York)
County of Rockland) SS.:
Town/Village of Wesley Hills)

I, Amalia R. Abudt de Umansky being duly sworn, hereby
depose and say that I reside at: 57 E. Willow Tree Road, Spring Valley, NY 10977

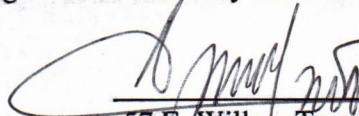
in the county of Rockland in the state of New York.

I am the * Trustee of the owner in fee simple of premises located at:
57 E. Willow Tree Road, Spring Valley, NY 10977


described in a certain deed of said premises recorded in the Rockland County Clerk's Office
as Instrument No. 2021-0219

Said premises have been in my/its possession since 2020. Said premises are
also known and designated on the Town of Ramapo Tax Map as:
section 41.12 block 2 lot(s) 4

I hereby authorize the within application on my behalf, and that the statements of fact
contained in said application are true, and agree to be bound by the determination of the
board.

Owner 
Mailing Address 57 E. Willow Tree Road
Spring Valley, NY 10977

SWORN to before this
7th day of November, 2024


Notary Public

TRANE LUNGER
Notary Public, State of New York
No. 01LU0016821
Qualified in Rockland County
Commission Expires 11/24/2027

* *If owner is a corporation, fill in the office held by deponent and name of corporation, and provide a list of all directors, officers and stockholders owning more than 5% of any class of stock.*

Affidavit Pursuant to Section 809 of the General Municipal Law

State of New York)
County of Rockland) SS.:
Town/Village of Wesley Hills)

I, Pablo Umansky, being duly sworn, hereby depose and say that all the following statements and the statements contained in the papers submitted herewith are true and that the nature and extent of any interests set forth are disclosed to the extent that they are known to the applicant.

1. Print or type full name and post office address

Pablo Umansky
57 E. Willow Tree Road
Spring Valley, NY 10977

certifies that he is owner or agent of all that certain lot, piece or parcel of land and/or building described in this application **and if not the owner that he has been duly and properly authorized to make this application and to assume responsibility for the owner in connection with this application for the relief below set forth:**

2. To the Zoning Board of Appeals of the Town/Village of
(Board, Commission or Agency)
Wesley Hills, Rockland County, New York:

Application, petition or request is hereby submitted for:

- Variance or modification from the requirement of Section 230-17 Table of Dimensional Requirements ;
- Special permit per the requirements of Section _____ ;
- Review and approval of proposed subdivision plat;
- Exemption from a plat or official map;
- An order to issue a certificate, permit or license;
- An amendment to the Zoning Ordinance or Official Map or change thereof;
- Other (*explain*) _____ ;

To permit construction, maintenance and use of an addition to a single family dwelling which will have less than the required side yard and will exceed the maximum impervious surface ratio and building coverage.

3. Premises affected are in a R-35 zone and from the town of Ramapo tax map, the property is know as Section 41.12, Block, 2, Lot(s) 4.

4. There is no state officer, Rockland County Officer or employee or town/village officer or employee nor his or her spouse, brother, sister, parent, child or grandchild, or a spouse of any of these relatives who is the applicant or who has an interest in the person, partnership or association making this application, petition or request, or is an officer, director, partner or employee of the applicant, or that such officer or employee, if this applicant is a corporation, legally or beneficially owns or controls any stock of the applicant in excess of 5% of the total of the corporation if its stock is listed on the New York or American Stock Exchanges; or is a member or partner of the applicant, if the applicant is an association or a partnership; nor that such town/village officer or employee nor any member of his family in any of the foregoing classes is a party to an agreement with the applicant, express or implied, whereby such officer or employee may receive any payment or other benefit, whether or not for service rendered, which is dependent or contingent upon the favorable approval of this application, petition or request.

5. That to the extent that the same is known to your applicant, and to the owner of the subject premises **there is disclosed herewith** the interest of the following officer or employee of the State of New York or the County of Rockland or of the Town/Village of _____ in the petition, request or application or in the property or subject matter to which it relates:

(if none, so state)

- a. Name and address of officer or employee NONE
- b. Nature of interest _____
- c. If stockholder, number of shares _____
- d. If officer or partner, nature of office and name of partnership _____
- e. If a spouse or brother, sister, parent, child, grandchild or the spouse of any of these blood relatives of such state, county or town/village officer or employee, state name and address of such relative and nature of relationship to officer and employee and nature and extent of office, interest or participation or association having an interest in such ownership or in any business entity sharing in such ownership. _____

f. In the event of corporate ownership: A list of all directors, officers and stockholders of each corporation owning more than five (5%) percent of any class of stock, must be attached, if any of these are officers or employees of the State of New York, or of the County of Rockland, or of the Town/Village of _____.

I, _____, do hereby depose and say that all the above statements and statements contained in the papers submitted herewith are true, knowing that a person who knowingly and intentionally violates this section is guilty of a misdemeanor.

Mailing Address _____

SWORN to before this

7th day of November, 2024

J. J.
Notary Public

TRANE LUNGER
Notary Public, State of New York
No. 01LU0016821
Qualified in Rockland County
Commission Expires 11/24/2027

VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

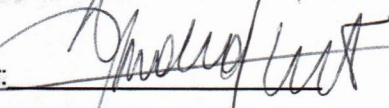
AFFIDAVIT OF OWNERSHIP


STATE OF NEW YORK }
COUNTY OF ROCKLAND } SS:
VILLAGE OF WESLEY HILLS }

Amalia E. Abut de Umansky being duly sworn, deposes and
says that he/she resides at 57 E. Willow Tree Road
Spring Valley, NY 10977

in the County of Rockland, State of New York; that he/she is the owner in
fee of all that certain lot, piece or parcel of land situated, lying and being
in the Village of Wesley Hills, and designated on the Town of Ramapo
Map as Section No. _____ Lot No. _____ and that he/she hereby
authorizes the attached application to be submitted in his/her behalf and
that the statements of fact contained in said application are true.

The applicant is the (owner) (contract vendee) of the said property.

Owner: 
Address: 57 E. Willow Tree Road
Spring Valley, NY 10977

Sworn to before me this
7th day of Nov. 2024

Notary Public

TRANE LUNGER
Notary Public, State of New York
No. 01LU0016821
Qualified in Rockland County
Commission Expires 11/24/2027

VILLAGE OF WESLEY HILLS

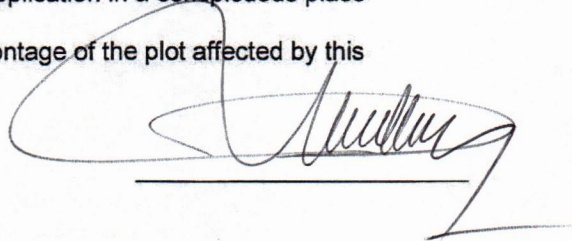
432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

AFFIDAVIT OF POSTING

STATE OF NEW YORK }
COUNTY OF ROCKLAND } SS:
VILLAGE OF WESLEY HILLS }

Pablo Umansky being duly sworn, deposes and says that he/she is the applicant in the matter of an application before the Village of Wesley Hills Zoning Board affecting property located at 57 E. Willow Tree Road, Wesley Hills, Town of Ramapo, Rockland County, New York.

That on the _____ day of _____ 200__, he/she posted the posters provided by the Zoning Board of the Village of Wesley Hills giving notice of the hearing on this application in a conspicuous place visible from every street along the frontage of the plot affected by this application.



Sworn to before me this

7th day of Nov 2024

J. L.
Notary Public

TRANE LUNGER
Notary Public, State of New York
No. 01LU0016821
Qualified in Rockland County
Commission Expires 11/24/2027

DISCLAIMER

APPLICANT TAKES FULL RESPONSIBILITY FOR RESEARCHING THE TAX MAP FOR THE LIST OF NAMES OF PROPERTY OWNERS ON THE ENCLOSED *AFFIDAVIT OF MAILING LIST*, AND SUPPLYING THE NECESSARY AMOUNT OF SELF-ADDRESSED STAMPED ENVELOPES.

THE APPLICANT'S ENVELOPES MUST COINCIDE WITH THE LIST. THE CLERK'S RESPONSIBILITY IS LIMITED TO CHECKING NAMES ON THE ENVELOPES AGAINST THE AFOREMENTIONED AFFIDAVIT BEFORE MAILING THEM.

RECEIPT OF THIS DISCLAIMER IS ACKNOWLEDGED



APPLICANT

11/07/24

DATED

PART II

Application before the Zoning Board of Appeals

Application, petition or request is hereby submitted for:

- Variance from the requirement of Section 230-17 Table of Dimensional Requirements _____;
- Special permit per the requirements of Section _____;
- Review of an administrative decision of the Building Inspector;
- An order to issue a Certificate of Occupancy;
- An order to issue a Building Permit;
- An interpretation of the Zoning Ordinance or Map;
- Certification of an existing non-conforming structure or use;
- Other (*explain*) _____;

To permit construction, maintenance and use of an addition to a single family dwelling which will have less than the required side yard of 25' (11.5' proposed) and will have more than the maximum impervious surface of .25 (.35 proposed) and building coverage of .10 (.12 proposed).

AS APPLICABLE, COMPLETE THE FOLLOWING:

- 1) SHORT ENVIRONMENTAL ASSESSMENT FORM
- 2) FULL ENVIRONMENTAL ASSESSMENT FORM

For access to the above State Environmental Quality Review forms:

<http://www.dec.ny.gov/public/6191.html>

INSTRUCTIONS

The following must be completed before the application is reviewed and scheduled for the Zoning Board of Appeals meeting:

7. Filing fee of \$150.00 for an existing residence, \$150.00 for actions involving new one-family residences plus \$100.00 per variance sought or \$350.00 plus \$100.00 per variance sought for all other applications plus actual publication sought.
8. Twelve copies of the application, twelve plot plans drawn to scale (showing setbacks and other dimensions) or twelve surveys that have been sworn or attested to as being true and accurate.
9. Twelve copies of a narrative describing why the applicant is appearing before the Board.
10. Twelve copies of reference to the Zoning Board of Appeals (Building Inspector's determination, Code Inspector's determination, referral from the Planning Board or for an interpretation of the Zoning Code). No application can come for a variance without first being denied by the Building Inspector or Code Inspector or referred from the Planning Board.
11. List of names and addresses, along with stamped self-addressed envelopes, of all property owners within a 750 foot radius of the property covered in the application.
12. Twelve copies of a vicinity map.

The application must be received at least four weeks prior to be scheduled for a Zoning Board of Appeals meeting and is subject to the review by the Zoning Board of Appeals attorney. You will be notified as the date of the meeting. You will be provided with posters giving notice of the hearing which shall be posted in a conspicuous place visible from every street along the frontage of the property referred to in the application. These notices must be posted 10 days prior to the scheduled meeting.

RECEIVED
VILLAGE OF WESLEY HILLS
JAN 27 2025

BUILDING
PLANNING & ZONING



Item 4.

Item 4.

11/41.12-2-35
PFEIFFER ETHAN & HANNA B
17 ARCADIAN DR
SPRING VALLEY, NY 10977

11/41.12-2-34
BRACHFELD MEIRI
19 ARCADIAN DR
SPRING VALLEY, NY 10977

11/41.12-2-32
FASKOWITZ SHRAGA &
LUBINSKY TZVIYA
14 MARK DRIVE
WESLEY HILLS, NY 10977

11/41.12-2-46
VIENER JOSEPH & HANNA
10 MARK DR
SPRING VALLEY, NY 10977

11/41.12-2-39
KRUPKA CHRISTINA
412 E 55TH ST
NEW YORK, NY 10022

RECEIVED
VILLAGE OF WESLEY HILLS
JAN 27 2025
BUILDING
PLANNING & ZONING

11/41.12-2-47
LAZARUS MARK & LINDA
58 MARK DR
SPRING VALLEY, NY 10977

11/41.12-2-43
KLAHR SHMUEL & ROCHEL
LEAH
3 ARCADIAN DR
WESLEY HILLS, NY 10977

11/41.12-2-63
ZELMANOVIC DAVID & ELAINE
4 MARK DR
SPRING VALLEY, NY 10977

11/41.12-2-11
HAMBURGER ROCHELLE
27 EAST WILLOW TREE ROAD
WESLEY HILLS, NY 10977

11/41.12-2-12
SCHWARTZ YIDEL
170 CLINTON LANE
SPRING VALLEY, NY 10977

11/41.12-2-8
KATZ TAMIR &
SCHNEID SHARONA
38 E WILLOW TREE
SPRING VALLEY, NY 10977

11/41.12-2-7
WYMAN MICHAEL & JUANITA
42 E WILLOW TREE RD
SPRING VALLEY, NY 10977

11/41.12-2-6
HOROWTIZ FAMILY TRUST
21 ROCHELLE LANE
SPRING VALLEY, NY 10977

11/41.12-2-37
PFEFFER CARL & ORYAH
11 ARCADIAN DR
SPRING VALLEY, NY 10977

11/41.12-2-17
FEIG FAMILY TRUST
10 ARCADIAN DR
SPRING VALLEY, NY 10977

11/41.12-2-38
YAMPEL MOSHE & YUDIT
9 ARCADIAN DR
SPRING VALLEY, NY 10977

11/41.12-2-45
LICHTSCHEIN JULIE
12 MARK DR
SPRING VALLEY, NY 10977

11/41.12-2-48
BAIS LUBAVITCH
7-9 MARK DR
SPRING VALLEY, NY 10977

11/41.12-2-50
MIKULANINEC JOHN S &
JUDITH L
4 NO SHERRI LA
SPRING VALLEY, NY 10977

11/41.12-2-16
PROVIDER-HAMASPIK OF
ROCKLAND COUNTY INC
58 RT 59
MONSEY, NY 10952

11/41.12-2-49
BL-RES I HOLDINGS LLC
190 WILLIS AVENUE
MINEOLA, NY 11501

11/41.12-2-44.2
FISCHMAN LISA M
C/O OZ COURT CORP.
500 NEW HEMPSTEAD ROAD
NEW CITY, NY 10956

11/41.12-2-41
SILBERBERG CHARLES &
MIRIAM R
7 ARCADIAN DR
SPRING VALLEY, NY 10977

11/41.12-2-40
FISCHMAN LISA M
9 OZ CT
SPRING VALLEY, NY 10977

11/41.12-1-19
LERER DANIEL & RIVKA
2 SKYLINE TERR
WESLEY HILLS, NY 10977

11/41.12-1-20
HANDLER ASHER
POBOX 580
LAKEWOOD, NJ 08701

11/41.12-2-15
GELMAN CHAYA
6 ARCADIAN DRIVE
WESLEY HILLS, NY 10977

11/41.12-2-64
ABIKZER TZIVYA
6 MARK DR
SPRING VALLEY, NY 10977

11/41.12-2-42
ARCADIAN DRIVE LLC
P.O.BOX 350-169
BROOKLYN, NY 11235-0169

11/41.12-2-61
3 MARK DR LLC
PO BOX 580
LAKEWOOD, NJ 08701

102

Item 4.

11/41.12-2-44.1
RAKOWER DOV & TZIPPY
PO BOX D1800
POMONA, NY 10970

11/41.12-2-14
LEVY LM LEGACY TRUST
4 ARCADIAN DR
SPRING VALLEY, NY 10977

11/41.12-2-13
FRIEDMAN MOSHE
#1
5103 20TH AVE
BROOKLYN, NY 11204

11/41.12-2-5
GINSBURG MORDECHAI
& SHERI LIVING TRUST
1 ARCADIAN DR
SRPING VALLEY, NY 10977

11/41.12-2-4
UMANKSKY AMALIA
FAMILY TRUST
57 E WILLOW TREE RD
SPRING VALLEY, NY 10977

RECEIVED
MILAGE OF WESLEY
HILLS
JAN 27 2025
BUILDING,
PLANNING & ZONING
11/41.12-2-2
CONG SHAAR HASHAMAYIM
& J. EISENREICH
71 E WILLOW TREE RD
WESLEY HILLS, NY 10977

11/41.12-2-1
TAMBOR JACOB
2 MARK DRIVE
SPRING VALLEY, NY 10977

11/41.08-2-58.16
BRODY RIKKI
2 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.12-2-10
MAYZ MANUEL S & ESTHER J
30 E WILLOW TREE RD
SPRING VALLEY, NY 10977

11/41.12-2-9
WIZEL RACHEL
34 E WILLOW TREE RD
SPRING VALLEY, NY 10977

11/41.08-2-58.9
WILLOW TREE MNGT LLC
241 VIOLA RD
MONSEY, NY 10952

11/41.12-2-62
BARKHORDAR SIAMAK & SOROH
T
1907 PREUSS RD
LOS ANGELES, CA 90034

11/41.12-1-5
STEFANSKY AARON & FAYE
DINAH
91 WILLOW TREE RD E
SPRING VALLEY, NY 10977

11/41.12-1-4
HAGER LIPA
2 DEERWOOD RD
SPRING VALLEY, NY 10977

11/41.08-2-58.1
WILLOW TREE MNGT LLC
241 VIOLA RD
MONSEY, NY 10952

11/41.08-2-58.10
WESTREICH DAYNA
545 WEST END AVE #4A
NEW YORK, NY 10024

11/42.05-1-34
MARVIN DAVID S & ROBIN &
DOREEN & ALAN
11 PARK TERRACE
SPRING VALLEY, NY 10977

11/41.08-2-58.15
RUBE DAVID S & ROSOLYN J
4N ROCHELLE LA
WESLEY HILLS, NY 10977

11/42.05-1-33
SZPILZINGER LEGACY TRUST
2 EAST HILLSIDE CT
SPRING VALLEY, NY 10977

11/41.08-2-57
GRUBER DAVID
4 DEERWOOD RD
SPRING VALLEY, NY 10977

11/42.05-1-32
BERRIOS HUGO & MORALES
BETZABETH
4 EAST HILLSIDE CT
SPRING VALLEY, NY 10977

11/41.08-2-58.2
WILLOW TREE MNGT LLC
241 VIOLA RD
MONSEY, NY 10952

11/42.05-1-31
GAUFF MARY
6 EAST HILLSIDE CT
SPRING VALLEY, NY 10977

11/41.08-2-58.8
HOROWITZ SAUL & GITTY
21 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.08-2-58.11
EISENREICH JOEL & AHUVA
12 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.08-2-58.14
NORMAN ARYEH CHANI
FAMILY TRUST
6 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.08-2-56
HOOK JONATHAN & NAOMI
6 DEERWOOD RD
WESLEY HILLS, NY 10977

11/41.08-2-58.12
ADLER ESTHER M & MEYER
10 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.08-2-58.13
MAMMON LAURENCE &
MICHELLE
8 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.08-2-58.3
BRAUNSTEIN SHALOM &
ELIANA
5 ROCHELLE LA
SPRING VALLEY, NY 10977

Item 4.

11/42.05-1-29
KOWALCZYK CLARA E
TRUST
3 EAST HILLSIDE CT
SPRING VALLEY, NY 10977

11/42.05-1-30
GREENFIELD RICHARD &
DELILAH
5 EAST HILLSIDE CT
SPRING VALLEY, NY 10977

11/41.08-2-58.7
MESSNER ALAN & TOVA
15 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.08-2-58.6
FISHKIND ARI & DEBORAH
11 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.08-2-58.4
ZUPNIK JOSEPH & ELISA
7 ROCHELLE LA
SPRING VALLEY, NY 10977

11/41.12-2-3.1
STERNHELL JOSHUA &
MIRIAM
5055 COLLINS AVE - APT 5D
MIAMI, FL 33140

11/41.12-2-3.2
STERNHELL JOSHUA & MIRIAM
5055 COLLINS AVE-APT 5D
MIAMI, FL 33140

11/41.12-2-3.3
STERNHELL ELIEZER M
42 N QUINCE LANE
MONSEY, NY 10952

11/841.12-2-11
HAMBURGER ROCHELLE
27 EAST WILLOW TREE ROAD
WESLEY HILLS, NY 10977

RECEIVED
VILLAGE OF WESLEY HILLS

JAN 27 2025

BUILDING,
PLANNING & ZONING

Richard H. Sarajian
Direct Line: (845) 205- 4553
Email:rsarajian@sbnewyorklaw.com



Paul S. Baum
Direct Line: (845) 205-4556
Email: pbaum@sbnewyorklaw.com

SARAJIAN & BAUM
PLLC

155 North Main Street
New City, New York 10956
Telephone: (845) 205-4558
Fax: (845) 213-2141

April 17, 2025

Hon. Jonathan Gewirtz, Chairman
Zoning Board of Appeals
Village of Wesley Hills
432 Route 306
Wesley Hills, New York 10952-1221

RE: Application of Pablo Umansky
57 East Willow Tree Road
S/B/L: 41.12-2-4

Dear Chairman Gewirtz:

Unfortunately, due to the change of the date of the meeting to April 24, 2025, I will not be able to appear due to a conflict. I am committed to appear before another municipal board that evening. Please allow this letter to respond to some of the issues raised at the public hearing held on March 19, 2025.

1. Amendment

The current application is based upon the letter of John Layne dated July 15, 2024 which indicated only 3 variances were necessary. To resolve some of the issues and questions that were raised at the hearing, we are requesting that the application be amended to add the following variances to legalize the existing conditions of the property for which certificate of occupancy have already been issued.

- a.) 230.14(0)(15)- Accessory structure greater than 900 SF. The existing garage was constructed in 1962. A garage addition was constructed in 2005/2006. A certificate of occupancy was issued on 2/17/06 for a detached 3 car garage with storage loft. The garage is 1,340 SF.

- b.) 230.14 (0)(16)- More than 2 accessory structures. There is a detached garage, shed, basketball court, gazebo, and pool. Certificate of occupancy for these structures used were issued as follows:

1962	Garage (#00607 and #2530) Exhibit A
1983	Pool (12680) Exhibit B
2001	Gazebo in pool area (2164) Exhibit C
2002	10 x 10 Shed (2158) Exhibit D
2006	Addition including 3 car garage w/loft (2530) Exhibit E
2019	Addition (3983) Exhibit F

- c.) 230.14(4)(a)- Basketball court to be 15' from lot line. The existing setback is 11.3'. **Exhibit G**

2. Subdivision Maps.

We also obtained the subdivision maps from the Rockland County Clerk's Office which are attached for the Board's information.

- a.) Subdivision Plot prepared for Brian W. Eardley recorded 6/25/98 Map #7170 creates 2 lots. 25' easement was thereafter East Willow. **Exhibit H**
- b.) Subdivision Plot prepared for Harry Junger recorded 5/29/07 in Book 126 Page 71 as Map #7932 subdivided Lot 41.12-2-3 into 3 lots. Widens the ingress/egress easement from 25' to 30'. **Exhibit I**
- c.) Revised Subdivision Plot of Brian W. Eardley recorded 10/6/14 in Book 129 Page 99 as Map #8255 subdivides lot 41.22-2-44 into 2 lots. **Exhibit J**

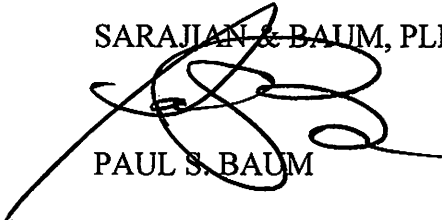
The subdivision maps show there was a 25' wide ingress and egress ROW easement for Lot 41.12-2-44.1 over Lot 41.12-2-3.1. That ROW was increased to 30'. See **Exhibits I & J**. Declarations were filed regarding the ROW. This ROW is acting, not so much as a driveway, but as a road to grant future access to Lots 41.12-2-3.1 and 41.12-2-3.2. See Rockland County GIS map with stubs for driveway to these lots. **Exhibit K**.

The existing 30' ROW acts as a natural buffer to the lot to the east. Any home built on Lot 41.12-2-3.1 will be setback from the ROW by 25', effectively leaving 66.5' between the structures

Thank you for your consideration.

Very truly yours,

SARAJIAN & BAUM, PLLC

A handwritten signature in black ink, appearing to read "Paul S. Baum", is written over the typed name. The signature is stylized and somewhat illegible due to its cursive nature.

PAUL S. BAUM

PSB/vjl

EXHIBIT A

Certificate No. 00607

BUILDING & ZONING DEPT.

11-61-24 SETS

TOWN OF RAMAPO

TOWN HALL

RT. 59, SUFFERN, N. Y.

CERTIFICATE OF OCCUPANCY

Issued March 12, 19 62, To Louis Battocchia of Spring Valley, N.Y., owner of premises situated on the south side of East Willow Tree ~~Highway~~ Road distant approx 2,000 feet from the intersection of Route 306 ~~Highway~~ and Street, Avenue, Road and designated on the Ramapo Town Assessment Map as Section No. 10, Lot No. 10 A 4 Zone R-35

This Certifies that the NEW, ~~EXISTING~~ BUILDING situated on the above mentioned premises has been completed and conforms substantially to the approved plans as per application permit No. 00607, and the requirements of the Building Zone Ordinance of the Town of Ramapo, and PERMISSION is hereby granted for its occupancy for the purposes specified below:

PERMITTED USE Private two car garage.

Dated March 12, 19 62

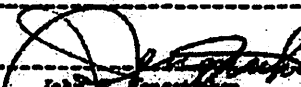

 John S. Hengstenberg
 Building & Zoning Inspector
 Town of Ramapo
 Rockland County
 New York

EXHIBIT B

PERMIT # 1268C

BUILDING & ZONING DEPARTMENT
TOWN OF RAMAPO
ROUTE 59, SUFFERN, N.Y. 10901

CERTIFICATE OF OCCUPANCY / USE

Issued January 14 (s/b 4/79), 19 83, To Donald Kastner
of Spring Valley, New York, owner of premises situated on the South
side of East Willow Tree Road approx. 200 feet from the intersection of
Aradian Drive, and designated on the Ramapo Town Assessment Map as
Section No. 10 Lot No. 10A4, Zone R-35.

THIS CERTIFIES that the NEW/ADDITION TO EXISTING/ALTERED BUILDING situated on the above men-
tioned premises has been completed and conforms substantially to the approved plans as per application and permit
No. 12680, and the requirements of the Ordinances of the TOWN OF RAMAPO, and PERMISSION is hereby
granted for its occupancy for the purposes specified below:

PERMITTED USE:
One family dwelling with an addition of a swimming pool.

PLEASE NOTE:

No shrubs, fencing or other construction is to be placed within ten feet of any pavement unless specified on an ap-
proved site plan by the Planning Board of the Town of Ramapo.

Dated: January 14, 19 83

Signature of John E. Sengstacken
JOHN E. SENGSTACKEN
Building Inspector
Town of Ramapo
Rockland County, New York

EXHIBIT C

PERMIT # 2164

**BUILDING & ZONING DEPARTMENT
VILLAGE OF WESLEY HILLS
ROCKLAND COUNTY, N.Y.**

CERTIFICATE OF OCCUPANCY/USE

Issued 09-28-01 to Jay Marcus of 57 East Willow Tree Road, Wesley Hills, , owner of premises situated on the south side of East Willow Tree Road, distant 200' feet from the intersection of Arcadian Drive and designated on the Assessment Map as Section 10, Lot 10A4, Zone R-35.

THIS CERTIFIES that the NEW/ADDITION TO EXISTING/ALTERED BUILDING situated on the above mentioned premises has been completed and conforms substantially to the approved plans as per application and permit No. 2164, and the requirements of the Ordinances of the Village of Wesley Hills, and PERMISSION is hereby granted for its occupancy for the purposes specified below:

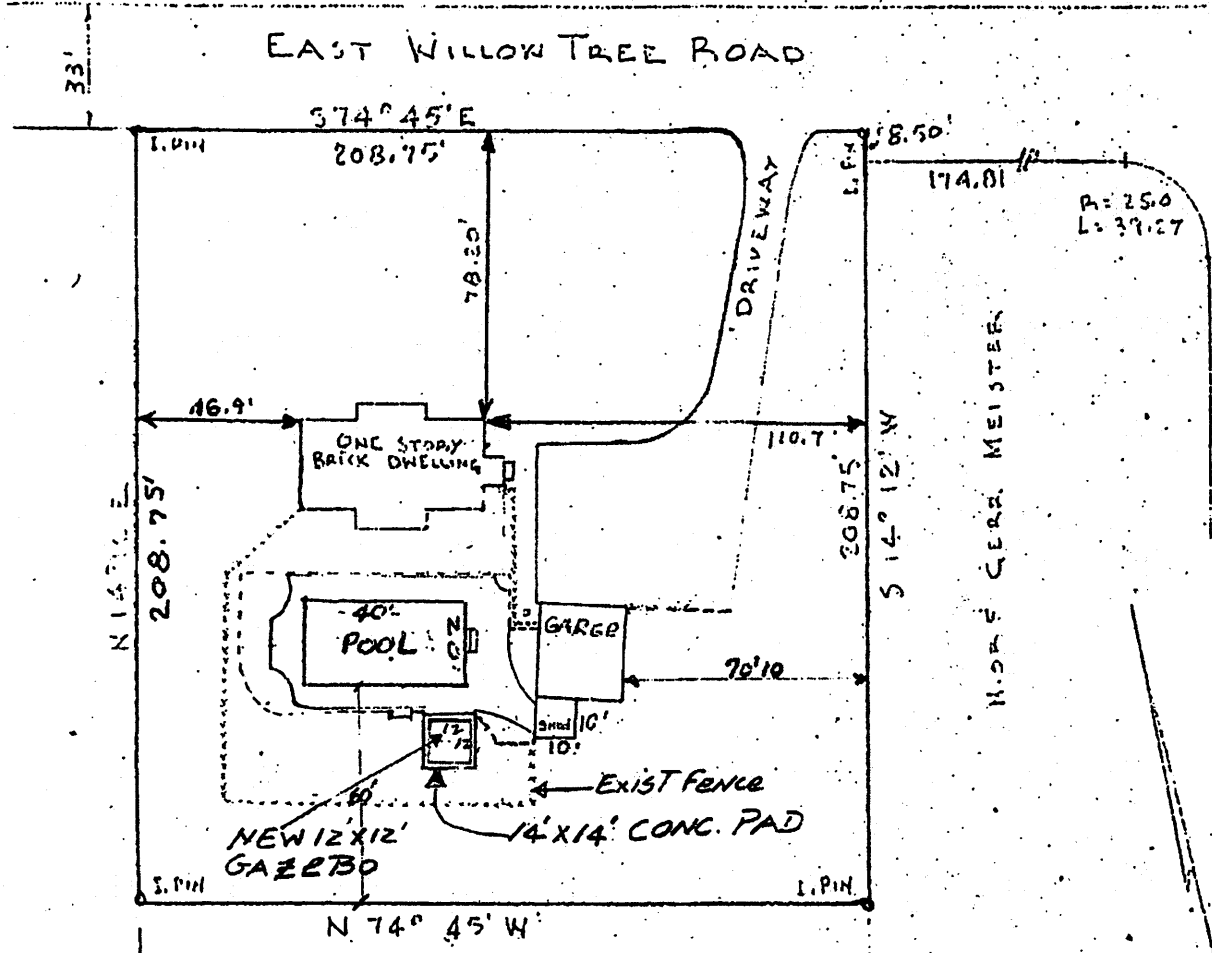
PERMITTED USE: Gazebo inside pool area

PLEASE NOTE:

No shrubs, fencing or other construction is to be placed within ten feet of any pavement unless specified on an approved site plan by the Planning Board of the Village of Wesley Hills.

Dated: 10-01-01

William Mousuty
Building Inspector
Village of Wesley Hills
Rockland County, N.Y.



10/10A4

RECEIVED
 JUL 13 2001
 VILLAGE OF
 WESLEY HILLS

EXHIBIT D

PERMIT # 2158

**BUILDING & ZONING DEPARTMENT
VILLAGE OF WESLEY HILLS
ROCKLAND COUNTY, N.Y.**

CERTIFICATE OF OCCUPANCY/USE

Issued 06-17-02 to Jay Marcus of 57 East Willow Tree Road, Wesley Hills, , owner of premises situated on the south side of East Willow Tree Road, distant 200' feet from the intersection of Arcadian Drive and designated on the Assessment Map as Section 41, Lot 12-2-4, Zone R-35.

THIS CERTIFIES that the NEW/ADDITION TO EXISTING/ALTERED BUILDING situated on the above mentioned premises has been completed and conforms substantially to the approved plans as per application and permit No. 2158, and the requirements of the Ordinances of the Village of Wesley Hills, and PERMISSION is hereby granted for its occupancy for the purposes specified below:

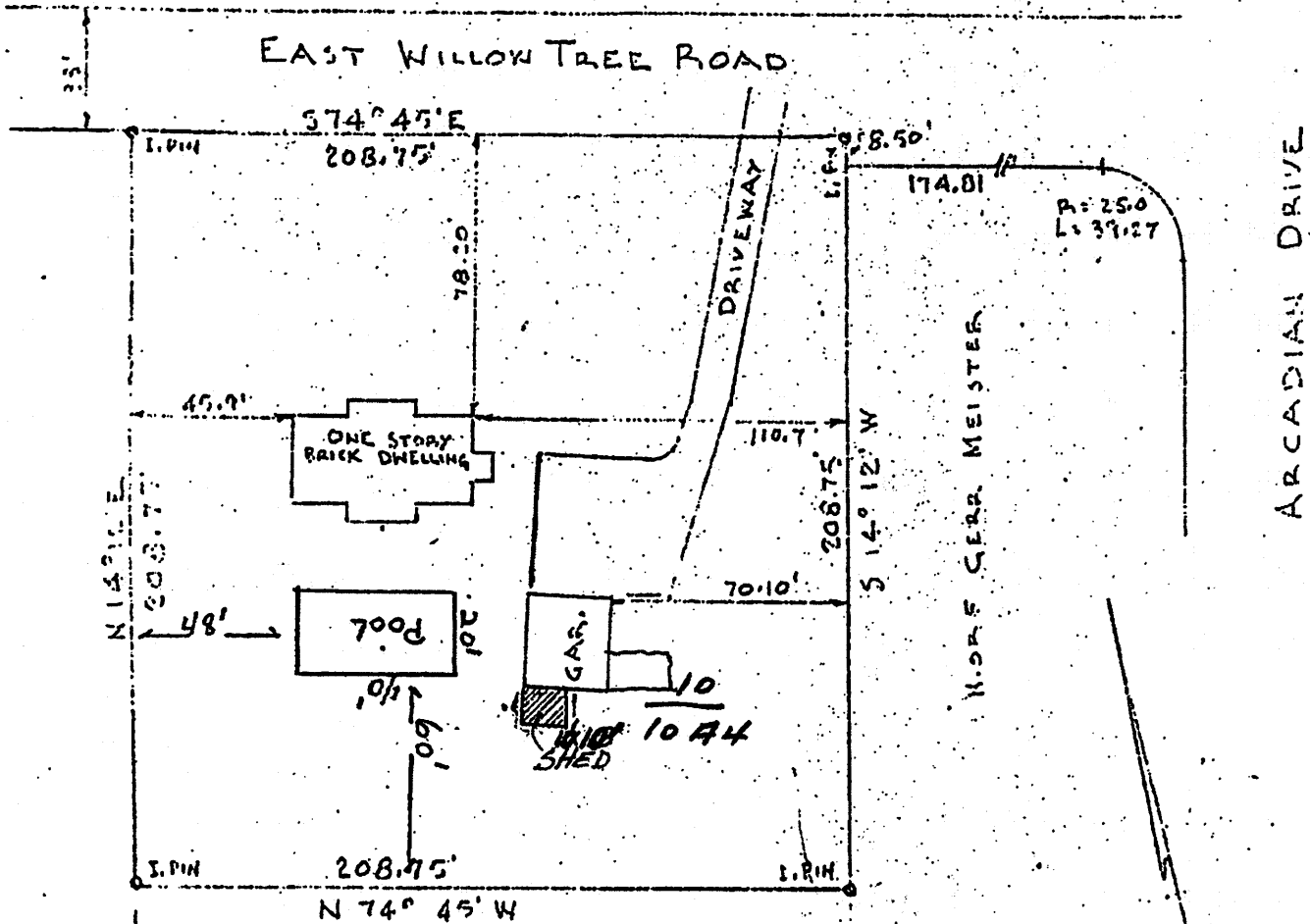
PERMITTED USE: 10' x 10' shed attached to garage

PLEASE NOTE:

No shrubs, fencing or other construction is to be placed within ten feet of any pavement unless specified on an approved site plan by the Planning Board of the Village of Wesley Hills.

Dated: 06-19-02

William Moravitz
Building Inspector
Village of Wesley Hills
Rockland County, N.Y.



R. 35 zone
 s/b. Established
 1 s-y-d - 25'
 2 s-y-d - 60'
 Reany-d - 50'

SURVEY

FOR

DONALD KASTLER

IN

POMONA

ROCKLAND COUNTY, NEW YORK

CERTIFIED TO SPRING VALLEY SAVINGS
 AND LOAN ASSOCIATION, AMERICAN TITLE
 INSURANCE COMPANY AND DONALD KASTNER
 TO BE CORRECT AS SHOWN *William C. Yuda*

SCALE 1" = 50'
 DATE OCT. 26, 1916

WILLIAM A. YUDA ASSOC.
 WEST NYACK, NEW YORK

EXHIBIT E

PERMIT # 2530

BUILDING & ZONING DEPARTMENT
VILLAGE OF WESLEY HILLS
ROCKLAND COUNTY, N.Y.

CERTIFICATE OF OCCUPANCY/USE

Issued 02-15-06 to Jay Marcus of 57 East Willow Tree Road, Wesley Hills, 10977; owner of premises situated on the south side of East Willow Tree Road, distant 200' feet from the intersection of Arcadian Drive and designated on the Assessment Map as Section 41, Lot 12-2-4, Zone R-35.

THIS CERTIFIES that the NEW/ADDITION TO EXISTING/ALTERED BUILDING situated on the above mentioned premises has been completed and conforms substantially to the approved plans as per application and permit No. 2530, and the requirements of the Ordinances of the Village of Wesley Hills, and PERMISSION is hereby granted for its occupancy for the purposes specified below:

PERMITTED USE: Single family dwelling-large addition/alteration/1st flr-dining room-bar sink-florida room-1/2 bath-front entry door-small balcony 2nd flr-master bedroom-master bath-whirlpool-gas fireplace- two walk in closets-three bedrooms-two full baths-office-existing finished basement-boiler room with fresh air for combustion-detached three car garage with storage loft above-three front entry doors-four lamp posts at end of driveway-two front balconies-exit door from florida room/deck above florida room/ new kitchen

PLEASE NOTE:

No shrubs, fencing or other construction is to be placed within ten feet of any pavement unless specified on an approved site plan by the Planning Board of the Village of Wesley Hills.

Dated: 03-01-06

Peter L. ...
Building Inspector
Village of Wesley Hills
Rockland County, N.Y.

EXHIBIT F

PERMIT # 3983

**BUILDING & ZONING DEPARTMENT
VILLAGE OF WESLEY HILLS
ROCKLAND COUNTY, N.Y.
CERTIFICATE OF OCCUPANCY/USE**

Issued on 5/3/2019 to Pablo Umansky (owner of premises) of 57 Willow Tree Road E, Spring Valley, New York 10977.

This parcel designated on the Assessment Map as Section/Block/Lot: 41.12-2-4,

Zone: R-35

THIS CERTIFIES that the Renovation/Alteration-Res situated on the above mentioned premises has been completed and conforms substantially to the approved plans as per application and Permit no. 3983, and the requirements of the Laws of the Village of Wesley Hills, and PERMISSION is hereby granted for its occupancy for the purposes specified below:

**PERMITTED USE:
ADDITION**

PLEASE NOTE: No shrubs, fencing or other construction is to be placed within ten feet of any pavement unless specified on an approved site plan by the Planning Board of the Village of Wesley Hills.

DATED: 05/03/2019

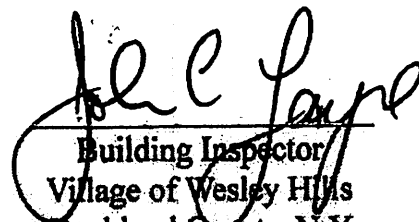
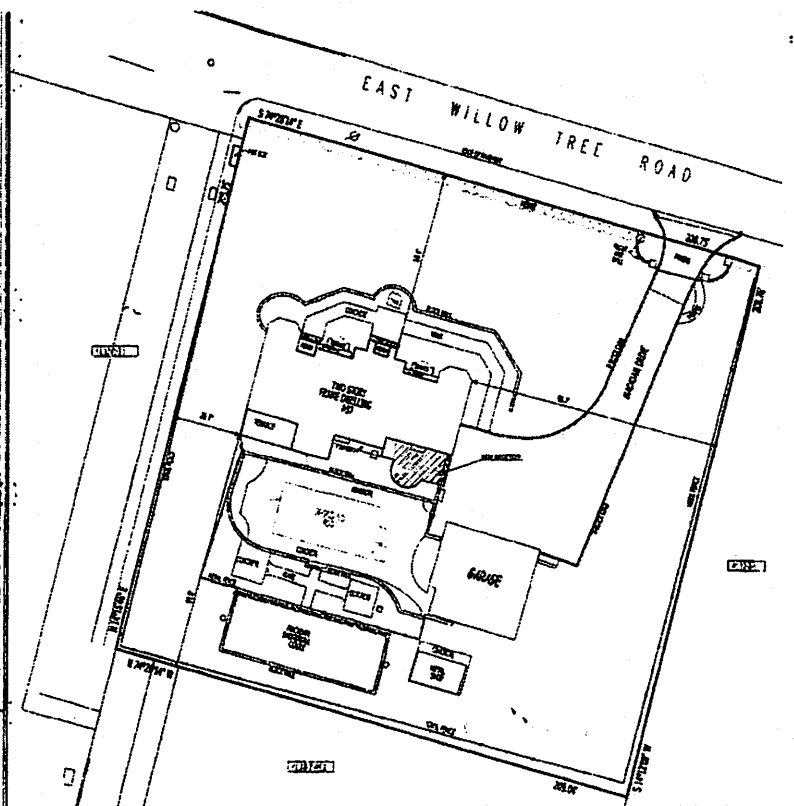

Building Inspector
Village of Wesley Hills
Rockland County, N.Y.

EXHIBIT G



ZONING COMPUTATIONS

SITE DATA

ADDRESS	57 EAST WILLOW TREE ROAD VILLAGE OF WESLEY HILLS ROCKLAND COUNTY, NEW YORK
LOT	
SECTION	T18.11
ZONE	R-35 SINGLE FAMILY RESIDENTIAL
CONSTRUCTION TYPE	2F
USE GROUP	R-3 SINGLE FAMILY RESIDENTIAL
FIRST FLOOR	2500 SQ FT (COVERED) + 2500 SQ FT (NEW ADDITION) = 5000 SQ FT
CANOPY	2500 SQ FT
	4000 SQ FT PER TOTAL BUILDING AREA = 25 25 X 2.00 = 50%
	EXCESSIVE PERMITTED - 10% - EXCESSIVE PERMITTED CONSTRUCTION
	EXCESSIVE PERMITTED - 10% - EXCESSIVE PERMITTED CONSTRUCTION

ALL DIMENSIONS TO BE FIELD VERIFIED

COMPILED BY

REVISION	DATE	BY

**TABLE R-303S
MINIMUM UNIFORMLY
DISTRIBUTED LIVE LOADS
(in pounds per square foot)**

USE	LIVE LOAD
APARTMENT UNLIMITED RESIDENCE	20
APARTMENT LIMITED RESIDENCE	30
OFFICES	40
EXHIBITOR BALCONIES	60
FIRE ESCAPES	40
RECREATION AND ASSEMBLY	100
RECREATION IN FULL DEVELOPMENT	30
RESIDENTIAL WORKS AREAS	30
SLEEPING QUARTERS SLEEPING ROOMS	30
SLEEPING ROOMS	30
STAIRS	40

File Copy

DeFonseca Architects

DeFONSECA ARCHITECTS

ARCHITECTS

UNANSKY RESIDENCE

57 EAST WILLOW TREE ROAD
VILLAGE OF WESLEY HILLS
ROCKLAND COUNTY, NEW YORK

PLOT PLAN

SCALE: AS SHOWN

DATE: 11/18/11

PROJECT: UNANSKY RESIDENCE

NO. 1

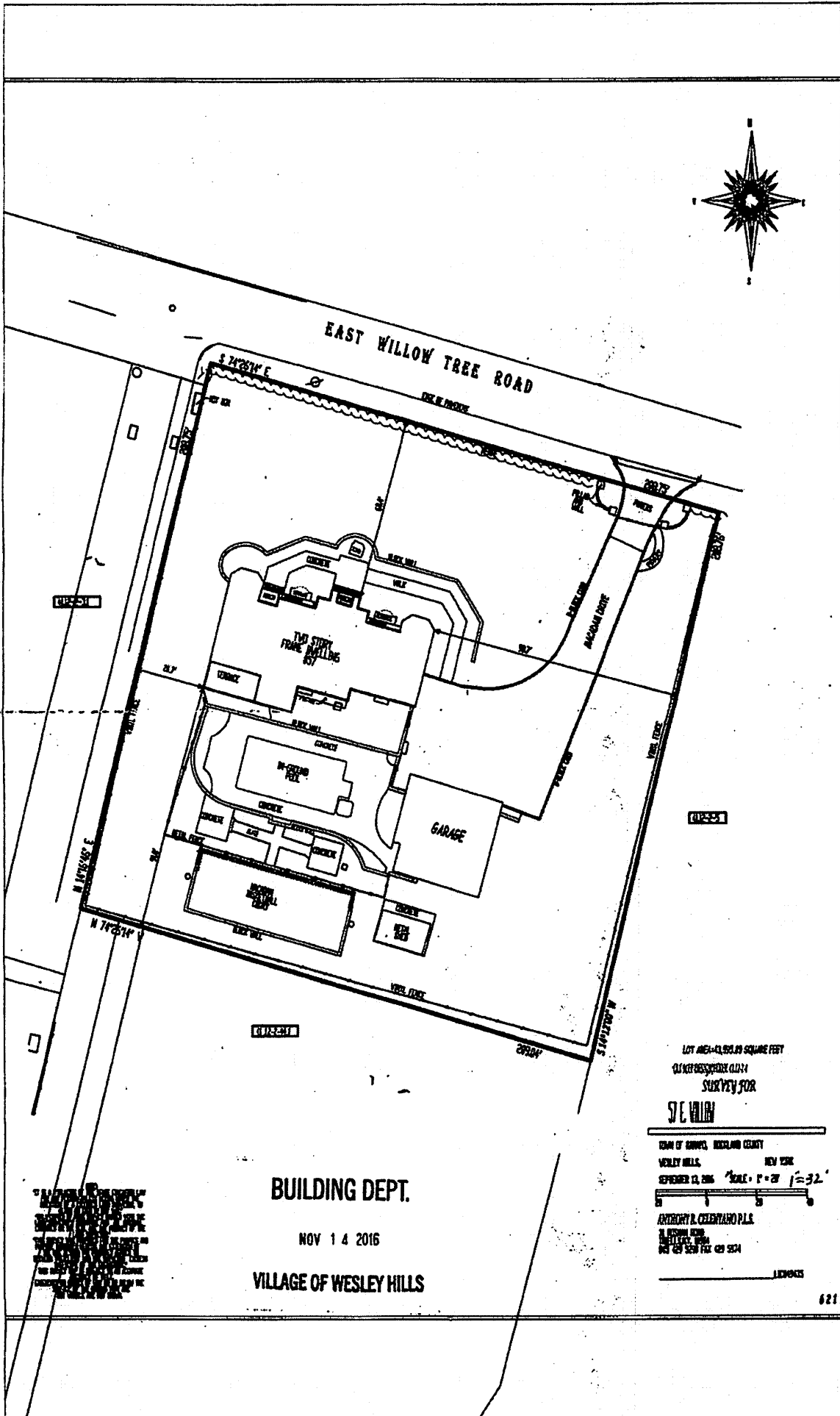
Z.001

BUILDING DEPT.

NO. 11.5.07

VILLAGE OF WESLEY HILLS

WIND SPEED LOAD	WIND SPEED (mph)	SEWER COVER GARDEN	SELECT TO DAMAGE FROM				WATER DESIGN TEMP.	E21 SHIELD (MODERATOR) FORD	FLOOD HAZARD
			HEADINGS	FROST LANE DEPTH	SEWER	CRACK			
30 psf	10-100 mph	12"	SEWER	3'-0"	SEWER - HEAVY	SLURRY - MEDIUM	0°F	YES	NA



I HEREBY CERTIFY THAT THE ABOVE IS A TRUE AND CORRECT COPY OF THE ORIGINAL AS SUBMITTED TO THE BUILDING DEPARTMENT OF THE VILLAGE OF WESLEY HILLS, NEW YORK, ON SEPTEMBER 23, 2016.

BUILDING DEPT.

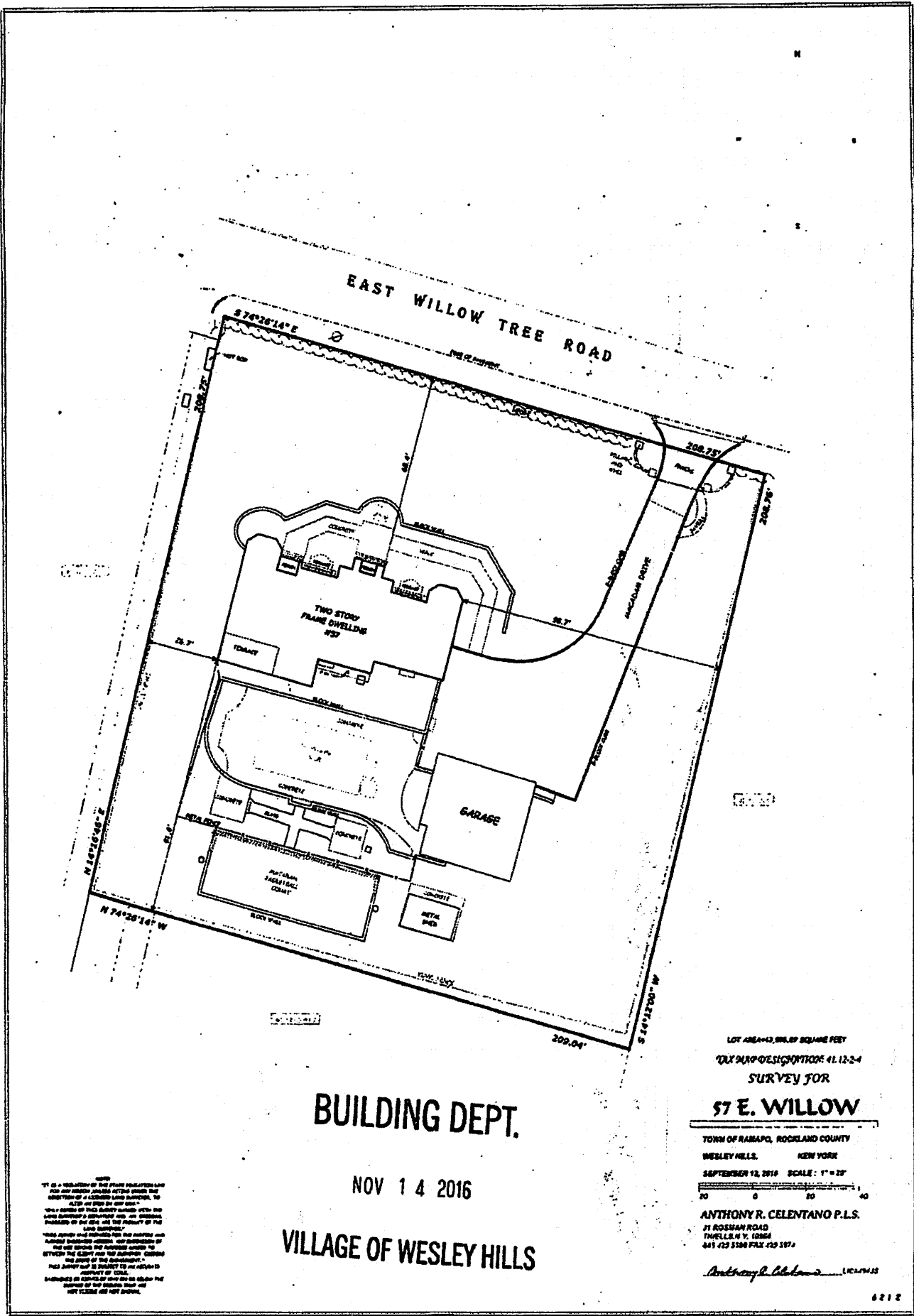
NOV 14 2016

VILLAGE OF WESLEY HILLS

LOT AREA - 43,600.00 SQUARE FEET
 14.76 ACRES (APPROXIMATE)
 FOR REAR PORCH
 ST. C. WILSON

TOWN OF BRONX, WESTLAND COUNTY
 WESLEY HILLS, NEW YORK
 SEPTEMBER 23, 2016 SCALE = 1" = 32'

ANTHONY A. CELENTANO P.L.L.C.
 100 WEST 100TH STREET
 NEW YORK, NY 10024



BUILDING DEPT.

NOV 14 2016

VILLAGE OF WESLEY HILLS

THIS IS A REPRODUCTION OF THE ORIGINAL SURVEY MAP FOR THE PURPOSES OF RECORDING THE SURVEY MAP IN THE OFFICE OF THE CLERK OF THE SUPREME COURT, COUNTY OF ROCKLAND, NEW YORK. THE ORIGINAL SURVEY MAP IS THE ONLY AUTHORITY FOR THE LOCATION AND DIMENSIONS OF THE LOTS AND BUILDINGS SHOWN HEREON. THE CLERK OF THE SUPREME COURT, COUNTY OF ROCKLAND, NEW YORK, IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREON. THE ORIGINAL SURVEY MAP IS AVAILABLE FOR REVIEW AT THE OFFICE OF THE CLERK OF THE SUPREME COURT, COUNTY OF ROCKLAND, NEW YORK.

LOT AREA=43,896.67 SQUARE FEET
 JULY 2010 DESIGNATION: 41.12-2-4
 SURVEY FOR
57 E. WILLOW

TOWN OF RAMAPO, ROCKLAND COUNTY
 WESLEY HILLS, NEW YORK
 SEPTEMBER 12, 2016 SCALE: 1" = 25'

ANTHONY R. CELENTANO P.L.S.
 71 ROSSMAN ROAD
 THURLEIGH V. 10964
 645 720 5500 FAX 720 5577

Anthony R. Celentano L.S. 10/15/16

EXHIBIT H

MAP # 7170 BK 119 PG 2

REFERENCES

- 1. RAMAPO TAX MAP SECTION 9 & 10.
2. MAP TITLED 'MAP OF SURVEY PREPARED FOR ROSE EARDLEY LOCATED AT VILLAGE OF WESLEY HILLS...'
3. MAPS FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE:
A. SECTION ONE POMPEIAN HEIGHTS
B. ARCADIAN FARMS
C. SUBDIVISION PLAT PREPARED FOR LOUIS BATTOCHI
D. MAP OF SURVEY PREPARED FOR ROSE EARDLEY
E. MAP OF SURVEY PREPARED FOR MARGARET MINUTO
4. DEEDS FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE:
A. ROSE A. EARDLEY BRIAN W. EARDLEY LR 735 4115 MARCH 3, 1995
B. ROSE A. EARDLEY BRIAN W. EARDLEY LR 746 2473 JULY 19, 1995
5. SURVEY FOR DONALD KASTNER IN POMONA, ROCKLAND COUNTY, NEW YORK PREPARED BY WILLIAM A. YUDA P.E. WEST NYACK, N.Y. DATED OCT. 25, 1978

SUBDIVISION NOTES

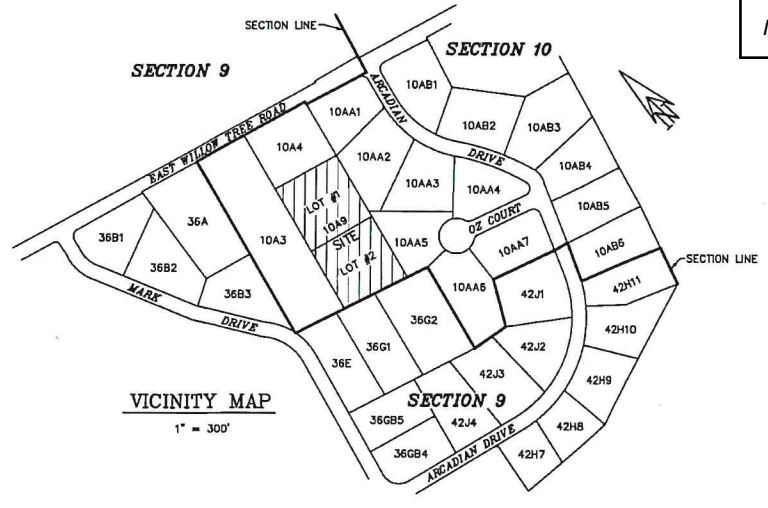
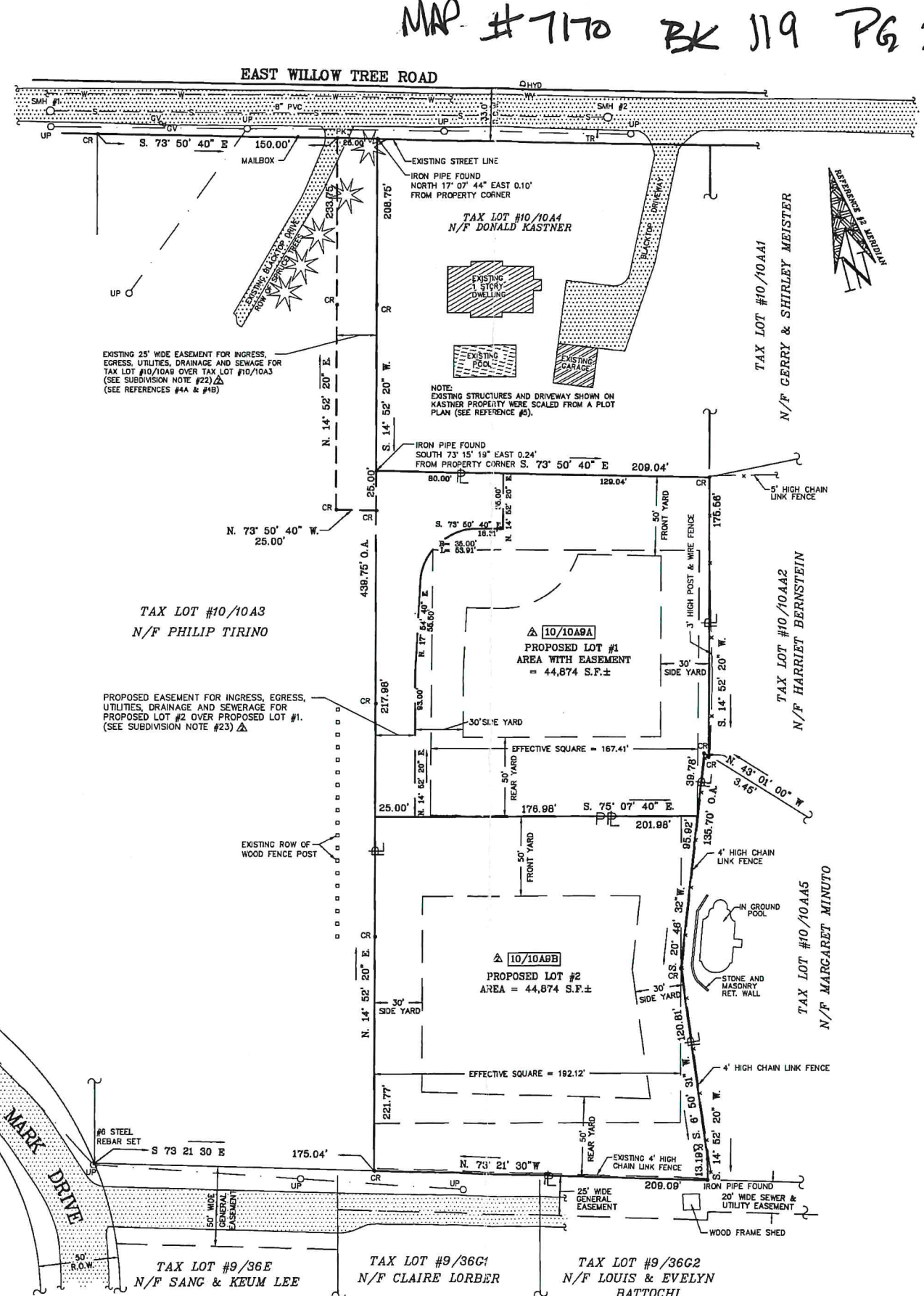
- 1. THIS IS A SUBDIVISION OF LOT 10A9 SECTION 10 AS SHOWN ON THE TOWN OF RAMAPO TAX MAP.
2. AREA OF TRACT: 2.08 ACRES
3. ZONE: R-35
4. NUMBER OF LOTS: 2
5. RECORD OWNER: BRIAN W. EARDLEY P.O. BOX 881 SPRING VALLEY, NY 10977
6. APPLICANT: SAME AS RECORD OWNER
7. FIRE DISTRICT: MOLESTON
8. SCHOOL DISTRICT: EAST RAMAPO
9. WATER DISTRICT: WOODI
10. SEWER DISTRICT: SD105
11. DATUM: U.S.G.S.
12. ALL PROPERTY CORNERS TO BE MARKED WITH #6 REBAR WITH CAP.
13. THE INDIVIDUAL LOTS ARE DESIGNATED WITH THE TAX LOT NUMBER SHOWN THUS: [10/10A9A]
14. ALL UTILITIES UNDERGROUND, ELECTRIC SERVICE CONNECTIONS TO INDIVIDUAL HOUSES SHALL BE IN CONDUIT OF NOT LESS THAN 2 INCH DIAMETER.
15. SANITARY SEWER INFILTRATION & EXFILTRATION LIMIT IS 100 GALLONS PER INCH DIAMETER PER MILE PER DAY. CERTIFICATES OF OCCUPANCY MAY NOT BE REQUESTED, NOR ANY OCCUPANCY PERMITTED, UNTIL A CERTIFICATE OF COMPLIANCE, CERTIFIED BY A LICENSED N.Y. STATE PROFESSIONAL ENGINEER, OR LAND SURVEYOR WITH A SECTION 7208 PARAGRAPH N OF THE STATE EDUCATION LAW EXEMPTION, IS SUBMITTED TO & APPROVED BY THE TOWN OF RAMAPO. COPIES OF THIS CERTIFICATE SHOULD ALSO BE SENT TO THE ROCKLAND COUNTY DEPARTMENT OF HEALTH & TO THE ROCKLAND COUNTY SEWER DISTRICT #1.
16. ALL HOUSES TO BE SERVED BY GRAVITY SEWER CONNECTIONS WITH A MINIMUM SLOPE OF 2.0%.
17. HOUSE SEWER AND WATER SERVICE LINES SHALL BE LAD IN SEPARATE TRENCHES WITH A MINIMUM SEPARATION OF 10 FEET.
18. WATER SERVICE LINES TO THE UNITED WATER NEW YORK.
19. NEW YORK STATE LAW BARS DISCRIMINATION BECAUSE OF RACE, CREED, COLOR, OR NATIONAL ORIGIN IN THE SALE OR RENTAL OF ANY HOUSING UNIT SHOWN ON THE SUBDIVISION PLAT.
20. THIS PLAT IS SUBJECT TO COMPLIANCE WITH ALL LAWS, REGULATIONS & SPECIFICATIONS OF THE VILLAGE OF WESLEY HILLS.
21. THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239K OF THE GENERAL MUNICIPAL LAW.
22. ALL OF THE APPLICANT'S ASSIGNABLE RIGHTS IN AND TO THE EXISTING 25' WIDE EASEMENT FOR INGRESS, EGRESS, UTILITIES, DRAINAGE AND SEWERAGE FOR TAX LOT 10/10A9 OVER TAX LOT 10/10A3 AS SHOWN ON THIS PLAT ARE IRREVOCABLY OFFERED TO THE VILLAGE OF WESLEY HILLS.
23. PROPOSED EASEMENT FOR INGRESS, EGRESS, UTILITIES, DRAINAGE AND SEWERAGE FOR PROPOSED LOT #2 OVER PROPOSED LOT #1 AS SHOWN ON THIS PLAT ARE IRREVOCABLY OFFERED TO THE VILLAGE OF WESLEY HILLS.
24. REFER TO CONSTRUCTION PLANS ON FILE WITH THE VILLAGE OF WESLEY HILLS.
25. THE ZONING BOARD OF APPEALS, ON SEPTEMBER 17, 1997 AS RESOLUTION #091797EARDLEY IN THE APPLICATION OF BRIAN EARDLEY, GRANTED VARIANCES FOR LESS THAN REQUIRED ROAD FRONTAGE FOR PROPOSED LOTS #1 AND #2 AS SHOWN ON THIS SUBDIVISION PLAT.
26. THE DRIVEWAY PROVIDING ACCESS TO THE PROPOSED LOTS SHALL BE CONSTRUCTED (EXCEPT FOR FINAL WEARING COURSE) TO THE SATISFACTION OF THE VILLAGE ENGINEER PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY FOR EITHER LOT. THE FINAL WEARING COURSE FOR SUCH DRIVEWAY SHALL BE INSTALLED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY FOR THE OTHER LOT.

GENERAL NOTES

- 1. NO PORTION OF THE DRIVEWAY SHALL EXCEED A PAVEMENT WIDTH OF SIXTEEN FEET AT ANY POINT AND SHALL NOT EXCEED TWELVE FEET FROM THE POINT IT ENTERS THE SUBJECT PROPERTY AND AFTER THE TURNAROUND.
2. PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR CONSTRUCTION ON LOT 1 OR LOT 2, THE APPLICANT OR HIS SUCCESSOR IN TITLE SHALL CONSTRUCT A STOCKADE FENCE ON THE SUBJECT PROPERTY OF AT LEAST FIVE FEET IN HEIGHT AND AS HIGH AS NECESSARY TO SCREEN THE ADJOINING PROPERTY FROM HEADLIGHTS FROM THE DRIVEWAY, BEGINNING AT THE INTERSECTION OF THE SUBJECT PROPERTY LINE ON THE WESTERLY SIDE FROM ELEVATION POINT 652 TO 682 EXTENDING TO THE SOUTHWEST CORNER OF THE SUBJECT PROPERTY.
3. THE STOCKADE FENCE SHALL BE MAINTAINED BY THE OWNERS OF PROPOSED LOT 1 AND 2 JOINTLY AND SEVERALLY, IN GOOD CONDITION PERPETUITY.
4. THE PROPOSED DRIVEWAY SHALL BE MAINTAINED IN GOOD CONDITION AND REPAIR BY THE OWNERS OF PROPOSED LOTS 1 AND 2 JOINTLY AND SEVERALLY, IN PERPETUITY.
5. THE OWNERS OF PROPOSED LOT 1 AND 2 SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE TO INSURE ACCESS AND SAFE PASSAGE FOR ALL VEHICLES, INCLUDING EMERGENCY VEHICLES, ALONG THE EASEMENT AND PROPOSED DRIVEWAY INCLUDING BUT NOT LIMITED TO, REMOVAL OF SNOW AND ICE, REPAIR OF SURFACE, ETC.
6. THAT ANY CONVEYANCE OF PROPOSED LOT 1 OF LOT 2 SHALL CONTAIN A COVENANT RUNNING WITH THE LAND CONFIRMING THE ONGOING OBLIGATION OF BOTH OWNERS TO JOINTLY AND SEVERALLY MAINTAIN THE DRIVEWAY AND THE FENCE.
7. COMPLIANCE WITH ALL CONDITIONS IN PLANNING BOARD RESOLUTION #97-5 DATED JULY 23, 1997 GRANTING SKETCH PLAT APPROVAL.
8. IF REQUESTED BY MR. TIRINO OR ANY SUBSEQUENT OWNER OF HIS PROPERTY, THE OWNERS OF PROPOSED LOTS 1 AND 2 OR THEIR SUCCESSORS OR ASSIGNS, AT THE SOLE COST OF THE THEN OWNERS OF THE SUBJECT PROPERTY, SHALL HAVE THE JOINT AND SEVERAL RESPONSIBILITY TO PLANT TREES OF SUFFICIENT DENSITY AND HEIGHT TO SCREEN LIGHT FROM HEADLIGHTS FROM VEHICLES TRAVELING ALONG THE EASEMENT AREA, SAID TREES TO BE PLACED BETWEEN ELEVATION POINTS 650 AND 652, DESIGNATED ON THE SUBDIVISION PLAT APPROVED BY THE PLANNING BOARD, AT THE WEST SIDE OF THE DRIVEWAY. MAINTENANCE OF SAID TREE, ONCE PLANTED, SHALL NOT BE THE RESPONSIBILITY OF THE OWNER OF THE SUBJECT PROPERTY.

BULK TABLE with columns: ZONE, ONE-FAMILY DETACHED, REQUIRED, PROVIDED LOT #1, PROVIDED LOT #2. Rows include area, street width, lot width, front yard, side yard, total side yard, rear yard, floor area ratio, impervious surface, front yard, max height, effective square, minimum parking.

* NET AREA (SEE AREA CALCULATIONS) NOTE: BULK TABLE REFLECTS THE MOST RESTRICTIVE CONDITIONS OF WHETHER THE FEE DEDICATION OF PROPOSED EASEMENT THROUGH LOT #1 IS TAKEN OR NOT BY THE VILLAGE. NOTE: PROPOSED DWELLINGS ARE TO BE CONSTRUCTED WITH A MINIMUM OF A ONE CAR GARAGE.



KEY defining symbols for existing property lines, blacktop pavement, overhead wires, utility poles, fire hydrants, water valves, gas valves, manholes, water lines, sewer lines, proposed property lines, rebar with cap found, and nail found.

APPROVED FOR FILING: Brian W. Eardley, OWNER OR REPRESENTATIVE, DATE. APPROVED BY RESOLUTION OF THE VILLAGE OF WESLEY HILLS PLANNING BOARD FOR FINAL SUBDIVISION: M. Spade, CHAIRMAN OF PLANNING BOARD, DATE 10/29/98.

- REVISIONS: 12/23/97 SEPARATED INTO SUBDIVISION PLAT AND CONSTRUCTION PLAN. ADDED: SUBDIVISION NOTE #25 & #26, GENERAL NOTES #1-8. NOTE IN TITLE BLOCK. CHANGED: BULK TABLE NOTE TO VARIANCE GRANTED. RENUMBERED: SUBDIVISION NOTES. REMOVED: SUBDIVISION NOTE #20 (MONEY IN LIEU OF LAND). 3/9/98 CORRECTED: EXISTING & PROPOSED EASEMENT NOTES. CHANGED: SUBDIVISION NOTE #26. ADDED: APPROVAL BLOCK, NEW TAX LOT NUMBERS. 5/5/98 CHANGED: SUBDIVISION NOTE #25. 5/11/98 CHANGED: SUBDIVISION NOTE #26.

SUBDIVISION PLAT PREPARED FOR BRIAN W. EARDLEY LOCATED AT VILLAGE OF WESLEY HILLS, TOWN OF RAMAPO ROCKLAND COUNTY, NEW YORK

LOCH Surveyors & Engineers, P.C. 433 Viola Rd. Spring Valley, N.Y. 10977. Scale 1" = 40'. Date October 24, 1997. File No. 2097. Drawing No. 2097SUB. Sheet 1 OF 2.

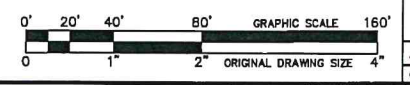


EXHIBIT I

M7932 B126 P71

Item 4.

REFERENCES

- RAMAPO TAX MAP SECTION 9 & 10.
- MAP TITLED "LANDS OF ALEXANDER BATTUCCI TO BE CONVEYED TO CHARLES & ROSE EARDLEY", TOWN OF RAMAPO, ROCKLAND COUNTY, N.Y. SCALE: 1"=50', DATED FEBRUARY, 1952 BY F. E. OSBORNE.
- MAPS FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE:

TITLE	BOOK	PAGE	MAP #	FLING DATE
A. SECTION ONE POMPEIAN HEIGHTS	66	31	3114	APRIL 26, 1963
B. ARCADIAN FARMS	68	29	3240	JUNE 17, 1964
C. SUBDIVISION PLAT PREPARED FOR LOUISE BATTUCCI	100	50	5518	JULY 29, 1983
D. MAP OF SURVEY ROSE EARDLEY	114	32	6700	OCTOBER 15, 1992
E. MAP OF SURVEY MARGARET MINUTO	100	33	6701	OCTOBER 15, 1992
F. SUBDIVISION PLAT PREPARED FOR BRIAN W. EARDLEY	118	2	7170	AUGUST 7, 1998
- MAP TITLED "MAP OF PROPERTY OF JOHN J. JONES", TOWN OF RAMAPO, ROCKLAND COUNTY, N.Y., SCALE: 1"=30', DATED FEBRUARY 1952, BY H. L. DORFMAN.
- SURVEY FOR ANGELO GAZZOLA IN VIOLA, ROCKLAND COUNTY, NEW YORK SCALE: 1"=30', DATED MARCH 5, 1990 BY: WILLIAM A. YUDA ASSOCIATES, WEST HYACK, NEW YORK.
- DEEDS FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE:

GRANTOR	GRANTEE	UBER	PAGE
A. LOUISE BATTUCCI & EVELYN E. BATTUCCI	DONALD KASTNER	984	137
B. CHARLES EARDLEY AND ROSE A. EARDLEY	CHARLES EARDLEY	1059	485
C. CHARLES EARDLEY AND ROSE A. EARDLEY	CHARLES EARDLEY	1059	487
- ROCKLAND COUNTY HIGHWAY DEPARTMENT FIELD NOTES FOR WILLOW TREE ROAD, COPIED FROM BOOK #41-1 PAGE 138.
- MAP ENTITLED "MAP OF SURVEY PREPARED FOR MARGARET MINUTO", PREPARED BY EDWIN F. LOCH, N.Y.S.P.L.S., DATED 10/22/91 & REVISED ON 10/25/91.
- DECLARATION BY HECTOR LOPEZ AND MARISOL GOMEZ WITH HARRY JUNGER FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS DOCUMENT 2005-00045198.
- COMMON DRIVEWAY EASEMENT GRANTED BY LEE KLUMBE TO PHILLIP & JOAN TORINO FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS DOCUMENT 2005-00032879.

SUBDIVISION NOTES

- THIS IS A SUBDIVISION OF LOT 3 BLOCK 2 SECTION 41.12 AS SHOWN ON THE TOWN OF RAMAPO TAX MAP.
- AREA OF TRACT: 2.60 ACRES
- ZONE: R-35
- NUMBER OF LOTS: 3
- RECORD OWNER: HARRY JUNGER
- APPLICANT: HARRY JUNGER
- FIRE DISTRICT: MOLESTON
- SCHOOL DISTRICT: EAST RAMAPO
- WATER DISTRICT: W0001
- SEWER DISTRICT: S0105
- DATUM: NAD 1929
- ALL PROPERTY CORNERS TO BE MARKED WITH #6 REBAR WITH CAP.
- THE INDIVIDUAL LOTS ARE DESIGNATED WITH THE TAX LOT NUMBER SHOWN THEREIN: (41.12-2-1) THROUGH (41.12-2-4)
- ALL UTILITIES UNDERGROUND, ELECTRIC SERVICE CONNECTIONS TO INDIVIDUAL HOUSES SHALL BE IN CONDUIT OF NOT LESS THAN 2 INCH DIAMETER.
- SANITARY SEWER INFILTRATION & EXFILTRATION RATE SHALL NOT EXCEED 25 GALLONS PER 24 HOURS PER INCH NOMINAL DIAMETER IN INCHES. CERTIFICATES OF OCCUPANCY MAY NOT BE REQUESTED, NOR ANY OCCUPANCY PERMITTED, UNTIL A CERTIFICATE OF COMPLIANCE, CERTIFIED BY A LICENSED N.Y. STATE PROFESSIONAL ENGINEER, OR LAND SURVEYOR WITH A SECTION 7208 PARAGRAPH N OF THE STATE EDUCATION LAW EXEMPTION, IS SUBMITTED TO & APPROVED BY THE TOWN OF RAMAPO. COPIES OF THIS CERTIFICATE SHOULD ALSO BE SENT TO THE ROCKLAND COUNTY DEPARTMENT OF HEALTH & TO THE ROCKLAND COUNTY SEWER DISTRICT #1.
- ALL HOUSES TO BE SERVED BY GRAVITY SEWER CONNECTIONS WITH A MINIMUM SLOPE OF 2.0%
- HOUSE SEWER AND WATER SERVICE LINES SHALL BE LAID IN SEPARATE TRENCHES WITH A MINIMUM SEPARATION OF 10 FEET.
- WATER SUPPLY BY: UNITED WATER NEW YORK
- NEW YORK STATE LAW BARS DISCRIMINATION BECAUSE OF RACE, CREED, COLOR, OR NATIONAL ORIGIN IN THE SALE OR RENTAL OF ANY HOUSING UNIT SHOWN ON THE SUBDIVISION PLAT.
- THIS PLAT IS SUBJECT TO COMPLIANCE WITH ALL LAWS, REGULATIONS & SPECIFICATIONS OF THE VILLAGE OF WESLEY HILLS
- THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 2-3-9 OF THE GENERAL MUNICIPAL LAW.
- ALL OF THE APPLICANT'S ASSIGNABLE RIGHTS IN AND TO THE EXISTING 25' WIDE EASEMENT FOR INGRESS, EGRESS, UTILITIES, DRAINAGE AND SEWAGE FOR LOT 1 AS SHOWN ON THIS PLAT ARE IRREVOCABLY OFFERED TO THE VILLAGE OF WESLEY HILLS.
- REFER TO CONSTRUCTION PLANS ON FILE WITH THE VILLAGE OF WESLEY HILLS.
- THE DRIVEWAY PROVIDING ACCESS TO THE PROPOSED LOTS 1 & 2 SHALL BE CONSTRUCTED (EXCEPT FOR FINAL WEARING COURSE) TO THE SATISFACTION OF THE VILLAGE ENGINEER PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY FOR EITHER LOT 1 OR 2. THE FINAL WEARING COURSE FOR SUCH DRIVEWAY SHALL BE INSTALLED AND THE PLANTINGS INSTALLED, AS REQUIRED AND SHOWN ON THE APPROVED SITE PLAN, NEAR THE EASTERLY BOUNDARY OF LOT 1 PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY FOR THE REMAINING LOT, EITHER LOT 1 OR 2.

GENERAL NOTES

- ALL EXISTING FEATURES ON LOTS 1 & 2 ARE TO BE REMOVED, INCLUDING THE EXISTING DRIVE, THE OVERHEAD WIRES AND HORSE CORRAL.
- REMOVE EXISTING BLOCK SHED AND PORTION OF CORRAL ON LOT 3.

AREA CALCULATIONS

PROPOSED LOT #1	PROPOSED LOT #2	PROPOSED LOT #3
GROSS AREA = 40,781 S.F.	GROSS AREA = 35,063 S.F.	GROSS AREA = 35,098 S.F.
EASEMENT AREA = 6,245 S.F.	AREA OVER 25% SLOPE = 70 S.F.	AREA OVER 25% SLOPE = 1,285 S.F.
AREA OVER 25% SLOPE = 351 S.F.	NET AREA = 35,063 - 53 = 35,010 S.F.	NET AREA = 35,098 - 964 = 35,034 S.F.
NET AREA = 40,781 - 5,508 = 35,273 S.F.		

FAR CALCULATIONS

PROPOSED LOT #1	PROPOSED LOT #2	PROPOSED LOT #3
NET AREA = 35,273 S.F.	NET AREA = 35,010 S.F.	NET AREA = 35,034 S.F.
BUILDING FOOTPRINT = 1,800 S.F.	BUILDING FOOTPRINT = 1,800 S.F.	BUILDING FOOTPRINT = 2,409 S.F.
2 * 1,800 = 3,600 / 35,273 = 0.10	3,600 / 35,010 = 0.10	2,409 / 35,034 = 0.07

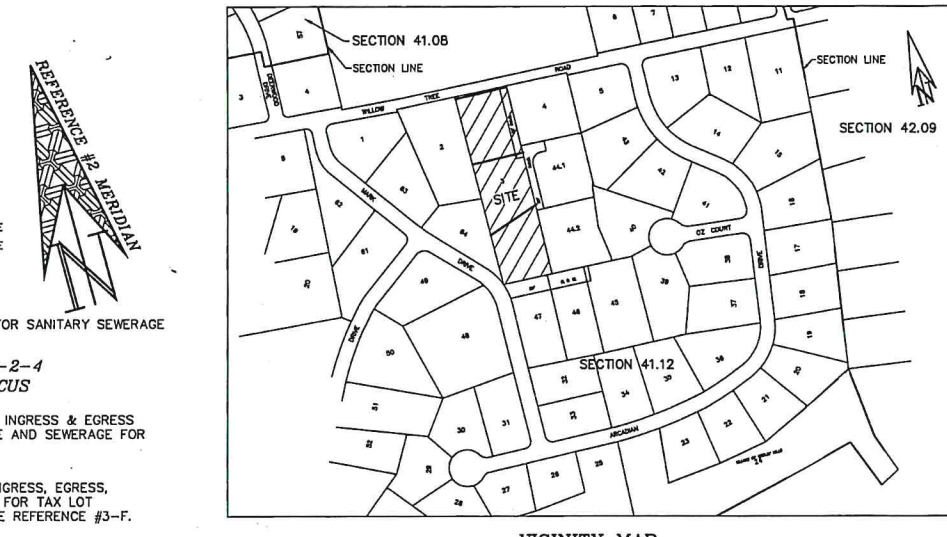
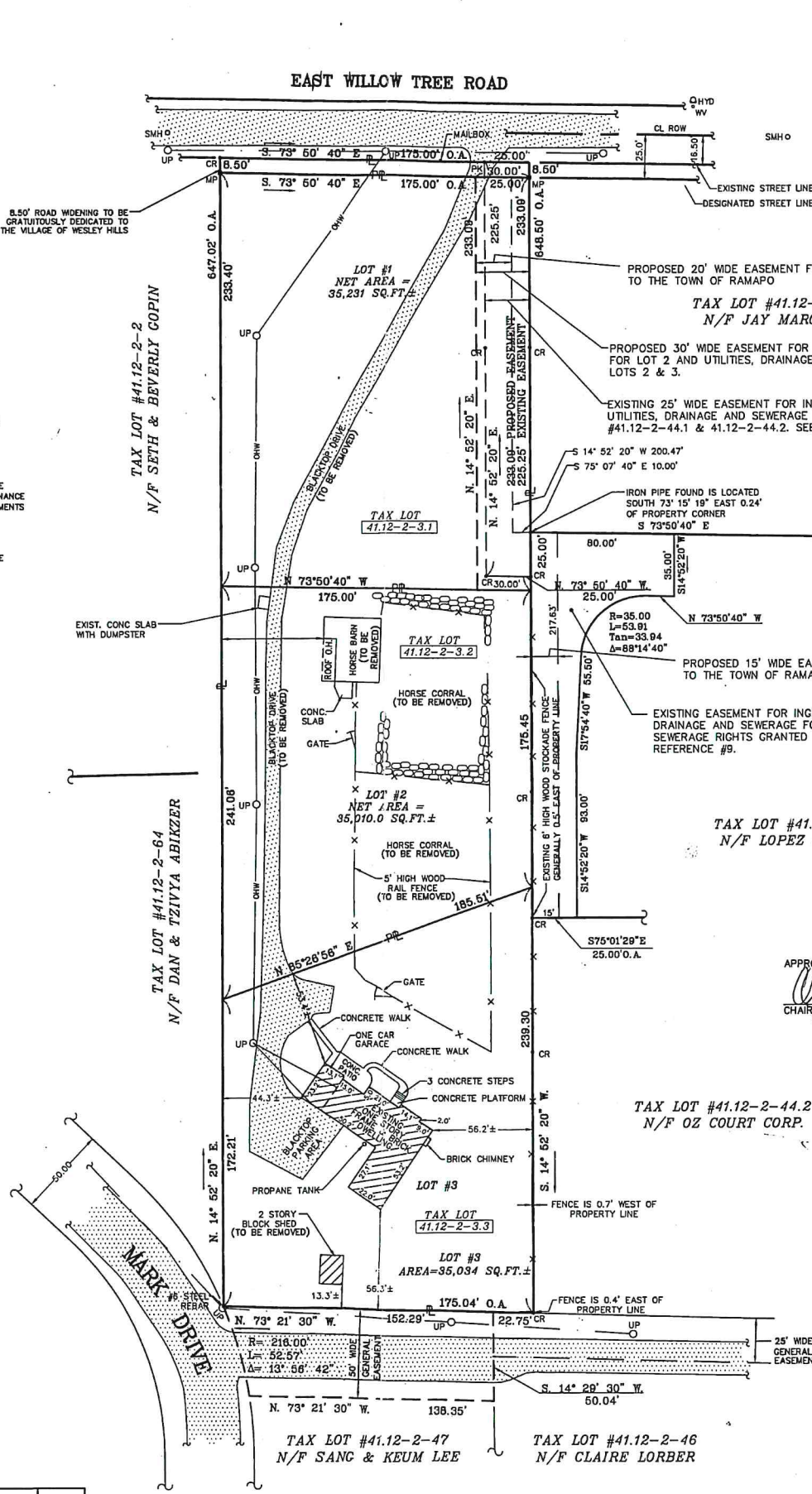
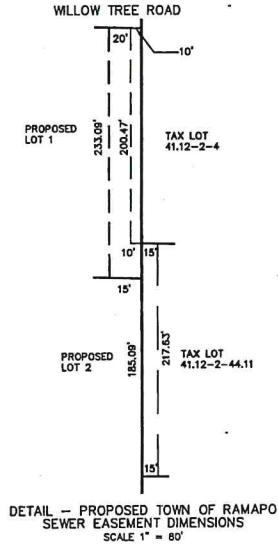
IMPERVIOUS SURFACE CALCULATIONS

PROPOSED LOT #1	PROPOSED LOT #2	PROPOSED LOT #3
NET AREA = 35,273 S.F.	NET AREA = 35,010 S.F.	NET AREA = 35,034 S.F.
ASPHALT DRIVE = 1,572 S.F.	ASPHALT DRIVE = 2,098 S.F.	SHED FOOTPRINT = 207 S.F.
CONCRETE WALK = 254 S.F.	CONCRETE WALK = 252 S.F.	CONCRETE WALK = 429 S.F.
1,800 + 1,572 + 254 = 3,626 / 35,273 = .10	1,800 + 2,098 + 252 = 4,148 / 35,010 = .12	2,409 + 4,408 + 495 + 207 = 7,537 S.F. / 35,034 = .22

BULK TABLE

ZONE: R-35 ONE-FAMILY DETACHED	MINIMUM LOT AREA	STREET FRONTAGE	LOT WIDTH	FRONT YARD	SIDE YARD	TOTAL SIDE YARD	REAR YARD	FLOOR AREA RATIO	IMPERVIOUS SURFACE	FRONT YARD SETBACK	MAX. HEIGHT STORES FEET	EFFECTIVE SQUARE FEET	MINIMUM PARKING
REQUIRED:	35,000 S.F.	100'	125'	50'	30'	60'	50'	0.12	0.25	0.20	2 1/2	35'	125'
PROVIDED: LOT #1	35,273 S.F.	175.0'	175.0'	107.8'	50.8'	114.3'	95.5'	0.10	0.19	0.11	2	35'	174.9'
PROVIDED: LOT #2	35,010 S.F.	0'	0'	61.1'	44.9'	114.8'	88.0'	0.10	0.12	0.13	2	35'	167.6'
PROVIDED: LOT #3	35,034 S.F.	0'	0'	13.3'	100.5'	53.4'	0.07	0.22	0.05	1	35'	169.7'	

* NET AREA (SEE AREA CALCULATIONS) NOTE: PROPOSED DWELLINGS ARE TO BE CONSTRUCTED WITH A MINIMUM OF A ONE CAR GARAGE.



MAP FILED 7/2/07
 ROCKLAND COUNTY CLERK'S OFFICE
 PAUL PIPERATO, County Clerk

ROCKLAND COUNTY HEALTH DEPARTMENT
 ENVIRONMENTAL HEALTH DIVISION
 REVIEWED AND APPROVED BY

DATE: 4/19/07

THIS IS TO CERTIFY THAT THE PLANS FOR
 Harry Junger Subdivision

ARE HEREBY APPROVED PURSUANT TO LAW
 AND ARE SUBJECT TO ANY FURTHER
 CONDITIONS AND PROVISIONS THAT MAY BE
 ON FILE WITH THIS DEPARTMENT.

Public Health Engineer

KEY

- EXISTING PROPERTY LINE
- EXISTING BACKLAP PAVEMENT
- EXISTING OVERHEAD WIRES
- EXISTING UTILITY POLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING GAS VALVE
- EXISTING SANITARY MANHOLE
- EXISTING WATER LINE (APPROXIMATE LOCATION)
- EXISTING SEWER LINE
- PROPOSED PROPERTY LINE
- #6 REBAR WITH CAP FOUND
- PX NAIL FOUND
- AREA WITH SLOPES EXCEEDING 25%
- PROPOSED MONUMENT

APPROVED FOR FILING IN THE ROCKLAND COUNTY CLERK'S OFFICE

CHAIRMAN, ROCKLAND COUNTY DRAINAGE AGENCY

APPROVED FOR FILING:

Harry Junger
 OWNER OR REPRESENTATIVE

4/30/07
 DATE

APPROVED BY RESOLUTION OF THE VILLAGE OF WESLEY HILLS PLANNING BOARD FOR FINAL SUBDIVISION ON:

Chairman of Planning Board

5/4/07
 DATE

REVISIONS
 5-5-2006:
 ADDED: SEWER EASEMENT TO TOWN OF RAMAPO & SEWER NOTES
 REVISED: NOTE 24 & 25.
 6-7-2006
 REVISED: NOTE 15

SUBDIVISION PLAT

PREPARED FOR
HARRY JUNGER

LOCATED AT
 VILLAGE OF WESLEY HILLS, TOWN OF RAMAPO
 ROCKLAND COUNTY, NEW YORK

LOCH
 Surveyors & Engineers, P.C.
 433 Viola Rd. Spring Valley, N.Y. 10977

Scale 1" = 40'

Date 2007

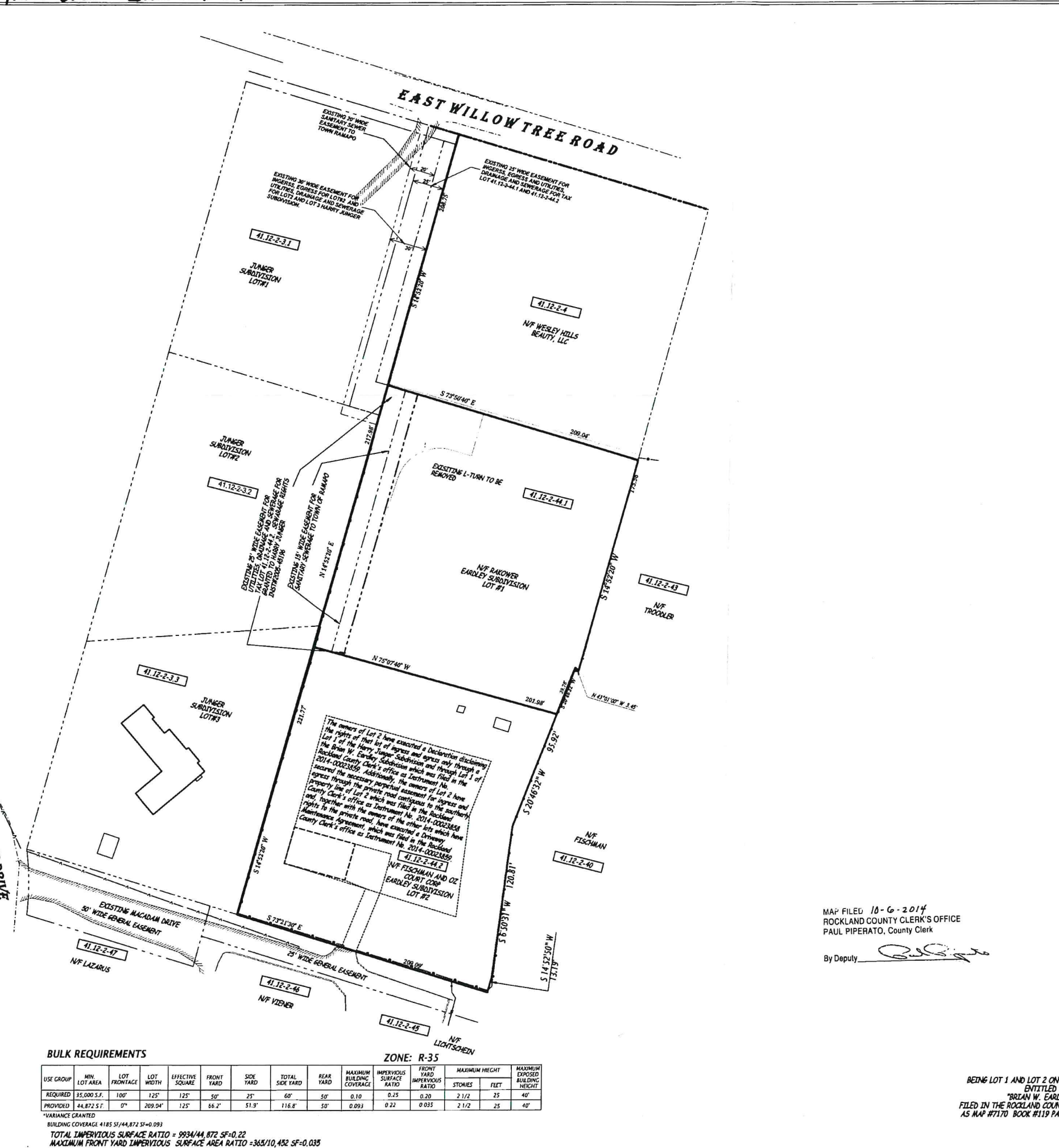
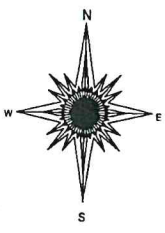
File No. 2097

Drawing No. 2097 SUB05

Sheet 1

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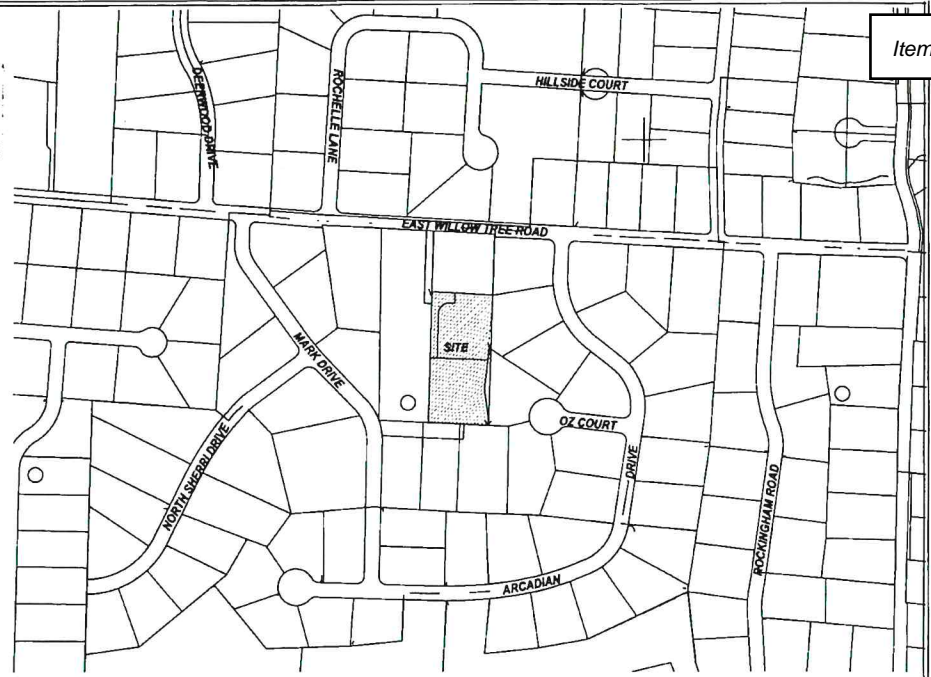
EXHIBIT J



BULK REQUIREMENTS

USE GROUP	MIN. LOT AREA	LOT FRONTAGE	LOT WIDTH	EFFECTIVE SQUARE	FRONT YARD	SIDE YARD	REAR YARD	MAXIMUM BUILDING COVERAGE	IMPERVIOUS SURFACE RATIO	FRONT YARD IMPERVIOUS RATIO	MAXIMUM HEIGHT	MAXIMUM EXPOSED BUILDING HEIGHT
REQUIRED	35,000 S.F.	100'	125'	125'	50'	25'	60'	0.10	0.25	0.20	2 1/2	25'
PROVIDED	44,872.57'	0"	209.04'	125'	66.2'	51.9'	116.8'	0.093	0.22	0.035	2 1/2	25'

NOTE: BUILDING COVERAGE: 4185 SF/44,872 SF=0.093
 TOTAL IMPERVIOUS SURFACE RATIO = 9934/44,872 SF=0.22
 MAXIMUM FRONT YARD IMPERVIOUS SURFACE AREA RATIO = 365/10,452 SF=0.035



VICINITY MAP

SCALE 1"=300'

- NOTES:
- FOR ALL REFERENCES AND GENERAL NOTES SEE FILED MAP #7170
 - THIS LOT IS 44.1, 44.2 ON MAP 41.12 BLOCK 2
 - AREA OF TRACT 2.06 ACRES
 - ZONE: R-35
 - NUMBER OF LOTS: 2
 - RECORD OWNER:
 - LOT 1 TAX LOT 41.12-2-44.1 DOV AND TZIPPY RAKOWER 103 COLLEGE ROAD SUFFERN, NY 10901
 - LOT 2 TAX LOT 41.12-2-44.2 1) OZ COURT CORP 500 NEW HEMPSTEAD ROAD NEW CITY, NY 10956 2) LISA FISCHMAN 9 OZ COURT WESLEY HILLS, NY 10977
 - APPLICANT: SAME
 - EXISTING USE: RESIDENTIAL
 - PROPOSED USE: RESIDENTIAL
 - THIS PLAT DOES NOT CONFLICT WITH THE OFFICIAL COUNTY MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239K OF THE GENERAL MUNICIPAL LAW.
 - ALL HOUSES TO BE SEWER BY GRAVITY, MIN. SLOPE OF 2.0%
 - THE INDIVIDUAL LOTS ARE DESIGNATED WITH THE TAX LOT NUMBER SHOWN THUS
 - 3/4" CORNER IRON PIPES TO BE SET BEFORE C.D. IS ISSUED.
 - ALL NEW UTILITIES TO BE UNDERGROUND
 - FIRE DISTRICT- MOLESTON
 - SCHOOL DISTRICT- EAST RAMAPO
 - WATER DISTRICT- WOOD01
 - NO OPEN BURNING DURING CONSTRUCTION WITHOUT EXPLICIT PERMISSION FROM THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
 - HOUSE SEWER AND WATER SERVICE LINES ARE TO BE LAID IN SEPARATE TRENCHES, WITH A MINIMUM HORIZONTAL SEPARATION OF 10 FEET.
 - SANITARY SEWER INFILTRATION AND EXFILTRATION TESTING OF CONSTRUCTION STANDARDS FOR ROCKLAND COUNTY SEWER DISTRICT NO. 1 SPECIFIES THAT "THE INFILTRATION RATE SHALL NOT EXCEED 25 GALLONS PER 24 HOURS PER NOMINAL DIAMETER IN INCHES. CERTIFICATES OF OCCUPANCY MAY NOT BE ISSUED, NOR ANY OCCUPANCY PERMITTED, UNTIL A CERTIFICATE OF COMPLIANCE, CERTIFIED BY A LICENSED N.Y.S. PROFESSIONAL ENGINEER, IS SUBMITTED TO AND APPROVED BY THE TOWN OF RAMAPO COPIES OF THIS CERTIFICATE SHOULD ALSO BE SENT TO THE ROCKLAND COUNTY HEALTH DEPARTMENT, AND TO THE DISTRICT #1.
 - DURING THE COURSE OF CONSTRUCTION, THE BUILDER SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID THE CREATION OF DRAINAGE, EROSION AND SILTING PROBLEMS. (IN CONSULTATION WITH APPROPRIATE AGENCIES) TO THE TOWN ENGINEERS SATISFACTION.
 - ALL ELEVATIONS SHOWN ARE BASED ON U.S.C. & G.S. DATUM.
 - ELECTRIC DISTRICT- ORANGE AND ROCKLAND
 - SEWER DISTRICT - BENEFITED AREA No. 5
 - ALL UTILITIES UNDERGROUND. ELECTRIC SERVICE CONNECTIONS TO INDIVIDUAL HOUSES SHALL BE IN CONDUIT OF NOT LESS THAN 2 INCH DIAMETER.
 - ALL HOUSES SHALL BE SERVED BY GRAVITY SEWER CONNECTIONS WITH A MINIMUM SLOPE OF 2.0%.
 - THIS PLAT IS SUBJECT TO COMPLIANCE WITH ALL LAWS, REGULATIONS AND SPECIFICATIONS OF THE TOWN OF RAMAPO AND WITH ALL DETAILS AND SPECIFICATIONS INDICATED ON THE APPROVED CONSTRUCTION PLANS AND SITE GRADING PLANS, AS A MINIMUM IN FILE WITH THE TOWN OF RAMAPO.
 - THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239K OF THE GENERAL MUNICIPAL LAW.
 - DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFINISHED FOR THAN FIFTEEN (15) DAYS, SHALL BE TEMPORARILY SEEDED WITH 1/2 LB RYE GRASS OR MULCHED WITH 100 LBS OF STRAW OR HAY PER 1000 SQ FT AND TEMPORARY DIVERSION DITCHES WILL BE ESTABLISHED WHERE NECESSARY ACROSS ROADWAYS, RIGHT OF WAY AND INDIVIDUAL LOTS.
 - THERE ARE NO COVENANTS, DEED RESTRICTIONS, EASEMENTS, OR OTHER RESERVATIONS OF LAND RELATIVE TO THIS, EXCEPT AS SHOWN ON THIS MAP. SUBJECT TO THE FINDINGS OF A COMPLETE AND UP TO DATE TITLE REPORT.
 - EXISTING STRUCTURES TO BE DEMOLISHED AND ALL DEBRIS REMOVED FROM AND DISPOSED OF AS APPROVED BY THE TOWN OF RAMAPO. PRIOR TO DEMOLITION NECESSARY PERMITS SHALL BE OBTAINED. ALL NECESSARY UTILITY COMPANIES SHALL BE CONTACTED TO ALLOW FOR DISCONNECTION OF RESPECTIVE SERVICE.
 - ANY EXISTING HOUSE CONNECTION PROPOSED TO BE ABANDONED MUST BE PLUGGED BETWEEN THE EDGE OF THE RIGHT OF WAY AND THE CURB LINE WITH A PERMANENT WATER TIGHT PLUG OR CAP.
 - NO BUILDING PERMITS SHALL BE ISSUED UNTIL SAID TIME AS THE MONEY IN LIEU OF LAND AND THE SHADE TREE FEE HAS BEEN PAID FOR THE LOT IN QUESTION.
 - ONLY THOSE DRIVEWAYS SHOWN ON THE FINAL SITE GRADING PLAN ARE PERMITTED, WITHOUT FURTHER PLANNING BOARD APPROVAL.
 - THE LOCATION OF ALL EXISTING UTILITIES MUST BE VERIFIED.

APPROVED FOR FILING

[Signature] 9/5/14
 ROCKLAND COUNTY DRAINAGE AGENCY DATE

APPROVED BY RESOLUTION 14-2 OF THE VILLAGE OF WESLEY HILLS PLANNING BOARD AS APPROVAL OF REVISED FINAL SUBDIVISION ON JANUARY 22, 2014

[Signature] 9/7/14
 CHAIRMAN OF THE PLANNING BOARD DATE

APPROVED FOR FILING

[Signature] 9/8/14
 OWNER OR REPRESENTATIVE DATE

[Signature] 9/8/14
 OWNER OR REPRESENTATIVE DATE

[Signature] 9/8/14
 OWNER OR REPRESENTATIVE DATE

MAP FILED 10-6-2014
 ROCKLAND COUNTY CLERK'S OFFICE
 PAUL PIPERATO, County Clerk

By Deputy *[Signature]*



REV 1/7/14

REV 11/26/13

REV 12/27/13

REV 9/8/14

BEING LOT 1 AND LOT 2 ON A CERTAIN MAP ENTITLED "BRIAN W. EARDLEY" FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP #7170 BOOK #119 PAGE #2 ON 6/25/08.

I HEREBY CERTIFY THAT THIS SUBDIVISION MAP WAS PREPARED BY ME ANTHONY R. CELETANO AND WAS MADE FROM AN ACTUAL SURVEY COMPLETED BY ME ON NOVEMBER 20, 2013

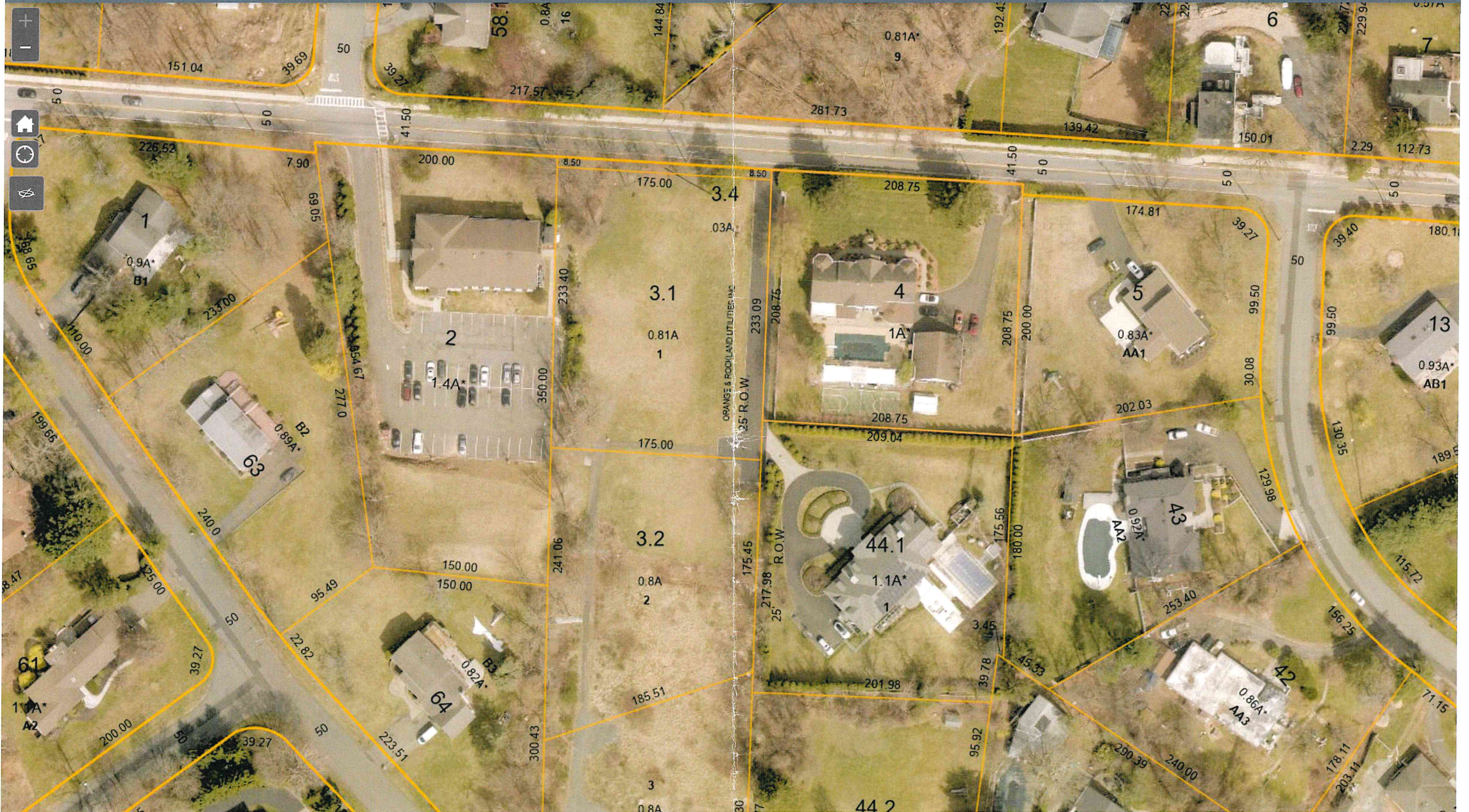
TAX MAP DESIGNATION: 41.12-2-44.1
REVISED SUBDIVISION PLAT OF BRIAN W. EARDLEY SUBDIVISION

TOWN OF RAMAPO, ROCKLAND COUNTY
 REV 6/10/13 REV 8/7/13
 WESLEY HILLS, NEW YORK
 REV 7/5/13 REV 8/5/13
 NOVEMBER 26, 2012 SCALE: 1" = 40'

ANTHONY R. CELETANO P.L.S.
 31 ROSAM ROAD
 THELLS, N.Y. 10984
 845 429 5290 FAX 429 5974

[Signature] LIC#49435

EXHIBIT K



60ft

File Attachments for Item:

5. Application submitted by Elana Motechin for variances from the provisions of Sections 230-17 Attachment I and 230-

140(4)(a) to permit the construction, maintenance and use of a single family residence and inground swimming pool having a rear setback of 30 feet instead of the minimum required of 35 feet, building coverage of .34 instead of the maximum permitted of .10, building height of 28.9 feet instead of the maximum permitted of 25 feet, impervious surface ratio of .43 instead of the maximum permitted of .25, swimming pool side setback of 7.4 feet instead of the minimum required of 15 feet and swimming pool rear setback of 8.3 feet instead of the minimum required of 15 feet.

The subject premises are situated on the north side of Roven Road 0 feet from the intersection with Carefree Lane, known as 18 Roven Road, designated on the Tax Map as Section 41.06 Block 1 Lot 38, in an R-50 Zoning District.

GML Report

Property Information:

Parcel ID: 41.06-1-38	Date Parcel: February 2024
OLD ID: 9-32A1	Address: 18 ROVEN RD
City: MONSEY	State: NY
Zip: 10952	Book Page: N/A
Deed Date: 10/11/2023 12:00:00 AM	Instrument: 2023-00030596
Municipality: WESLEY HILLS	Deed Acres: 0
GIS Calculated Acres: 0.595	

GML Criteria:

Requires GML Review: NO	Adjacent Town Boundarry: NO
Adjecent Village Boundary: NO	Orange County Bunday: NO
County Facility: NO	NYS Facility: NO
County Park: NO	State Park: NO
County Regulated Streams: NO	Long Path Hiking Trail: NO
ROW-County Highways: NO	ROW-NYS Highway: NO
ROW-NYS Thruway: NO	ROW-Palisades Interstate Parkway: NO
X Coordinate: -74.07906670	Y Coordinate: 41.15836164

VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

AFFIDAVIT OF POSTING

STATE OF NEW YORK }
COUNTY OF ROCKLAND } SS:
VILLAGE OF WESLEY HILLS }


Kalman Herskowitz being duly sworn, deposes and says that he/she is the applicant in the matter of an application before the Village of Wesley Hills Planning Board affecting property located at 18 Raven, Wesley Hills, Town of Ramapo, Rockland County, New York.

That on the 6 day of FEB 2025, he/she posted the posters provided by the Planning Board of the Village of Wesley Hills giving notice of the hearing on this application in a conspicuous place visible from every street along the frontage of the plot affected by this application.



Sworn to before me this

6 day of FEB 2025


Notary Public

MAYER JACOBOWITZ
Notary Public, State of New York
No. 01JA6351978
Qualified in Rockland County
Commission Expires Dec 19, 2028

11/41.10-2-5
 ROTBERG TM IRREV TRUST
 61 PARKER DR S
 MONSEY, NY 10952

11/41.11-1-2
 EDELSTEIN STEVEN & BLIMA
 14 ROVEN RD
 MONSEY, NY 10952

11/41.06-1-53
 ITZKOWITZ DAVID & LEAH
 11 DIKE DR
 MONSEY, NY 10952

11/41.06-1-39
 ROZENBERG KENNETH
 3 HUNTERS RUN
 SUFFERN, NY 10901

11/41.10-2-16
 RAMAPO TOWN OF
 35-406 * *
 237 RT 59
 SUFFERN, NY 10901

11/41.10-2-50
 SPIRA ZEV
 124 WILLOW TREE RD
 MONSEY, NY 10952

11/41.10-2-51
 SALKIN STUART D + SHEILA
 D
 120 WILLOW TREE RD
 MONSEY, NY 10952

11/41.10-2-52
 HABERMAN IRWIN L &
 MARILYN
 1 DIKE DR
 MONSEY, NY 10952

11/41.10-2-56
 CHAPMAN DAVID & STEPHANIE
 7 CARTER LA
 MONSEY, NY 10952

11/41.10-2-53
 BERKOWITZ STEVEN & SYLVIA
 3 DIKE DR
 MONSEY, NY 10952

11/41.10-2-14
 GINSBERG MOSES & DIANE
 2 DIKE DRIVE
 MONSEY, NY 10952

11/41.10-2-10
 FRIEDMAN HERSHEL &
 AVIGAEEL
 6 DIKE DR
 MONSEY, NY 10952

11/41.10-2-54
 HERZKA MARK R &
 ELIZABETH N
 5 DIKE DR
 MONSEY, NY 10952

11/41.11-1-5
 DEALCA ROQUE JR
 114 WILLOW TREE RD
 MONSEY, NY 10952

11/41.11-1-15
 RAMAPO TOWN OF
 237 RT 59
 SUFFERN, NY 10901

11/41.10-2-55
 ZEILINGOLD SHMARY & CHAYA
 M
 9 CARTER LA
 MONSEY, NY 10952

11/41.10-2-13
 PARDO SCOTT & GAIL
 4 DIKE DR
 MONSEY, NY 10952

11/41.11-1-6
 STATE OF NEW YORK
 C/O COUNTY FINANCE OFFICE
 50 SANATORIUM ROAD
 BUILDING A - 8TH FLOOR
 POMONA, NY 10970

11/41.11-1-8
 GUTMAN SHAINA &
 DEUTSCH ROCHELLE
 80 WILLOW TREE ROAD
 WESLEY HILLS, NY 10952

11/41.10-2-9
 BERNSTEIN HERBERT & ANNE
 8 DIKE DR
 MONSEY, NY 10952

11/41.11-1-7
 MC NAMARA JOHN E
 92 WILLOW TREE RD
 MONSEY, NY 10952

11/41.11-1-3
 GOLD SIMON & SARAH
 12 ROVEN RD
 MONSEY, NY 10952

11/41.11-1-4
 ROVEN ROAD LLC
 C/O KLEIN JACK
 # 604
 9401 COLLINS AVE
 SURFSIDE, FL 33154

11/41.10-2-12
 GREENSTEIN GARY S &
 JADINE K
 8 ROVEN RD
 MONSEY, NY 10952

11/41.10-2-8
 WASSERMAN FAMILY
 IRREVOCABLE TRUST
 8A DIKE DR
 WESLEY HILLS, NY 10952

11/41.11-1-9
 IMER NOMI
 2 WINDWARD LANE
 MONSEY, NY 10952

11/41.10-2-6
 ZELINGER JOSPEH & ADINA
 9 DIKE DRIVE
 MONSEY, NY 10952

11/41.11-1-12
 BORGEN D & J & NADOFF Y &
 IMER N, & NOMI
 IMER & KORNGOLD JAY &
 ANNETTE
 2 WINDWARD LA

11/41.10-2-11
 KATZ MARSHALL & RENA
 6 ROVEN RD
 MONSEY, NY 10952

11/41.11-1-14
 WESLEY HILLS VILLAGE OF
 432 RT 306
 MONSEY, NY 10952

11/41.10-2-7
NEEDLEMAN SCOTT N & DORIT
10 DIKE DR
MONSEY, NY 10952

11/41.11-1-10
KORNGOLD JAY & ANNETTE
18 MANCHESTER DRIVE
SPRING VALLEY, NY 10977

11/41.11-1-13
NADOFF YEHUDA
68 WILLOW TREE RD
WESLEY HILLS, NY 10952

11/41.11-1-11
BORGAN DAVID & JACQUELINE
6 WINDWARD LA
MONSEY, NY 10952

11/41.11-1-1
ROTHSCHILD YEHUDA
16 ROVEN DR
MONSEY, NY 10952

11/41.07-2-44
KANN MICHAEL &
WEINGARTEN-KANN PHYLLIS
8 BAKER LA
SUFFERN, NY 10901

11/41.06-1-40
ROSENFELD SHOSHANA
2 ROVEN ROAD
WESLEY HILLS, NY 10952

11/41.06-1-41
FINKELSTEIN MICHAEL &
ADINA
12 DIKE DR
MONSEY, NY 10952

11/41.06-1-38
MOTECHEIN ELANA
1023 WILLOWBROOK RD
STATEN ISLAND, NY 10314

11/41.06-1-52
BERGER BERNARD & RACHEL
13 DIKE DR
MONSEY, NY 10952

11/41.06-1-55
GOLDING YAAKOV & ZEHAVA
38 WILDER RD
MONSEY, NY 10952

11/41.07-2-38
ZLOTNICK DOVID & MEIRA
9 BAKER LA
SUFFERN, NY 10901

11/41.06-1-42
POLLAK JAY & ORZEL
YOCHEVED NAOMI
14 DIKE DRIVE
MONSEY, NY 10952

11/41.07-2-39
PEACOCK FAMILY LIMITED
PARTNERSHIP THE
7 BAKER LA
SUFFERN, NY 10901

11/41.06-1-37
STEINHART MICHAEL &
MICHELLE
12 CAREFREE LA
SUFFERN, NY 10901

11/41.07-2-40
BERKOWITZ DAVID & SHIRA
5 BAKER LA
SUFFERN, NY 10901

11/41.07-2-41
SACHS DANIEL &
STERN-SACHS ESTHER
3 BAKER LA
SUFFERN, NY 10901

11/41.06-1-51
MARKOWITZ JOSEPH & ALYSSA
15 DIKE DR
MONSEY, NY 10952

11/41.06-1-56
LANG DINA
40 WILDER RD
MONSEY, NY 10952

11/41.06-1-36
RIEDER ISAAC & RACHEL
1 BAKER LANE
SUFFERN, NY 10901

11/41.06-1-43
WILHELM CHAYA D
16 DIKE DR
MONSEY, NY 10952

11/41.06-1-35
WINFIELD STEVEN S & LISA
R
15 CAREFREE LA
SUFFERN, NY 10901

11/41.06-1-50
ROSENBERG SHELDON &
RACHELLE
17 DIKE DR
MONSEY, NY 10952

11/41.06-1-44
BRAND ASHER
20 DIKE DRIVE
MONSEY, NY 10952

11/41.07-2-43
KLUGMAN MAURICE & RENEE
6 BAKER LA
SUFFERN, NY 10901

11/41.06-1-34
ROSENSTOCK JE LEGACY
TRUST
13 CAREFREE LA
SUFFERN, NY 10901

11/41.07-2-4
SCHLACHTER DAVID M &
ROCHELLE T
8 CAREFREE LA
SUFFERN, NY 10901

11/41.07-2-42
GOTLIEB FAMILY
IRREVOCABLE TRUST
4 BAKER LANE
SUFFERN, NY 10901

11/41.06-1-49
HERZKA ROBERT & EMILY
19 DIKE DRIVE
MONSEY, NY 10952

11/41.06-1-45
BRAND ASHER & SHOSHANA
20 DIKE DR
MONSEY, NY 10952

11/41.06-1-33
BERMAN DAVID SETH
11 CAREFREE LANE
SUFFERN, NY 10901

11/41.07-2-5
GOLDBERG YOSEF & CHANA
6 CAREFREE LA
SUFFERN, NY 10901

11/41.06-1-48
LAMPERT ROBERT C & ANDREA
21 DIKE DR
MONSEY, NY 10952

11/41.07-2-10
KATZ EDWARD M & ELEANOR
9402 WARREN'S WAY #402
WANAQUE, NJ 07465

11/41.06-1-32
9 CAREFREE LLC
1251 E 29TH ST
BROOKLYN, NY 11210

11/41.07-2-6
REGENCY 1997 LLC &
CAREFREE LANE LLC
C/O MELOHN CAPITAL
13TH FLR

11/41.07-2-3
VENEZIA I PETER & JO-ANN
5 CAREFREE LANE
SUFFERN, NY 10901

11/41.06-1-31
WEISS SAMUEL A
985 18TH ST E
BROOKLYN, NY 11230

250 55TH STREET W
11/41.06-1-46
ZAhLER JACOB & SHAINDY
REVOCABLE TRUST
22 DIKE DR
MONSEY, NY 10952

11/41.07-2-2
SINGER ADAM & TARYN
1 BAKER LANE
SUFFERN, NY 10901

INSTRUCTIONS

The following must be completed before the application is reviewed and scheduled for the Zoning Board of Appeals meeting:

1. Filing fee of \$150.00 for an existing residence, \$150.00 for actions involving new one-family residences plus \$100.00 per variance sought or \$350.00 plus \$100.00 per variance sought for all other applications plus actual publication sought.
2. Twelve copies of the application, twelve plot plans drawn to scale (showing setbacks and other dimensions) or twelve surveys that has been sworn or attested to as being true and accurate.
3. Twelve copies of a narrative describing why the applicant is appearing before the board.
4. Twelve copies of reference to the Zoning Board of Appeals (Building Inspector's determination, Code Inspector's determination, referral from the Planning Board or for an interpretation of the Zoning Code). No application can come for a variance without first being denied by the Building Inspector or Code Inspector or referred from the Planning Board.
5. List of names and addresses, along with stamped self-addressed envelopes, of all property owners within a 750 foot radius of the property covered in the application.
6. Twelve copies of a vicinity map.

The application must be received at least four weeks prior to be scheduled for a Zoning Board of Appeals meeting and is subject to the review by the Zoning Board of Appeals attorney. You will be notified as the date of the meeting. You will be provided with posters giving notice of the hearing which shall be posted in a conspicuous place visible from every street along the frontage of the property referred to in the application. These notices must be posted 10 days prior to the scheduled meeting.

Tax Map Designation:

Section 41.06 Block 1 Lot(s) 38

Section _____ Block _____ Lot(s) _____

Location: On the North side of Roven Road,
0 feet East of Carefree Lane.

Acreage of Parcel 0.594 **Zoning District** R-50

School District East Ramapo CSD **Postal District** Monsey

Project Description: *(If additional space required, please attach a narrative summary.)*

Demolish existing building and build a new home.

If subdivision:

1) Is any variance from the subdivision regulations required? NA

2) Is any open space being offered? If so, what amount?

Project History: Has this project ever been reviewed before? NO

If so, list case number, name, date, and the board you appeared before.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

“Permission is hereby granted to the Village of Wesley Hills, its agents, servants and employees to enter upon the above described property solely for the purposes incidental to the within application at reasonable times upon reasonable notice to the owner or tenant in possession.”

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 K, L, M, AND N.

_____ State or County Road

_____ State or County Park

_____ Long Path

_____ County Stream

_____ Municipal Boundary

_____ County Facility


List name(s) of facility checked above. _____

Applicant's Signature and Certification

State of New York)
County of Rockland) SS.:
Town/Village of Wesley Hills)

I, Elana Motechin, hereby depose and say that all the above statements contained in the papers submitted herewith are true.

Mailing Address


8 Carter Lane Monsey, NY 10952

SWORN to before this
2nd day of December, 2024


Notary Public



Affidavit of Ownership/Owner's Consent

State of New York)
County of Rockland) SS.:
Town/Village of Wesley Hills)

I, Elana Motechin being duly sworn, hereby
depose and say that I reside at: 8 Carter Lane Monsey, NY 10952


in the county of Rockland in the state of NY.

I am the * sole owner in fee simple of premises located at:
18 Roven Road Monsey NY 10952


described in a certain deed of said premises recorded in the Rockland County Clerk's
Office in Liber _____ of conveyances, page _____.

Said premises have been in my/its possession since 19 2023. Said premises are
also known and designated on the Town of _____ Tax Map as:
section 41.06 block 1 lot(s) 38

I hereby authorize the within application on my behalf, and that the statements of fact
contained in said application are true, and agree to be bound by the determination of the
board.

Owner 
Mailing Address 8 Carter Lane Monsey, NY 10952

SWORN to before this
2nd day of December, 20 24


Notary Public



* *If owner is a corporation, fill in the office held by deponent and name of corporation,
and provide a list of all directors, officers and stockholders owning more than 5% of
any class of stock.*

Affidavit Pursuant to Section 809 of the General Municipal Law

State of New York)
County of Rockland) SS.:
Town/Village of Wesley Hills)

I, Elana Motechin, being duly sworn, hereby depose and say that all the following statements and the statements contained in the papers submitted herewith are true and that the nature and extent of any interests set forth are disclosed to the extent that they are known to the applicant.

1. Print or type full name and post office address

Elana Motechin
8 Carter Lane Monsey, NY 10952

certifies that he is owner or agent of all that certain lot, piece or parcel of land and/or building described in this application **and if not the owner that he has been duly and properly authorized to make this application and to assume responsibility for the owner** in connection with this application for the relief below set forth:

2. To the Zoning Board of the Town/Village of _____
(Board, Commission or Agency)
Wesley Hills, Rockland County, New York:

Application, petition or request is hereby submitted for:

- Variance or modification from the requirement of Section _____;
- Special permit per the requirements of Section _____;
- Review and approval of proposed subdivision plat;
- Exemption from a plat or official map;
- An order to issue a certificate, permit or license;
- An amendment to the Zoning Ordinance or Official Map or change thereof;
- Other (*explain*) _____;

To permit construction, maintenance and use of _____
new single family home

3. Premises affected are in a R-50 zone and from the town of Village of Wesley Hills tax map, the property is know as Section 41.06, Block, 1, Lot(s) 38.

4. There is no state officer, Rockland County Officer or employee or town/village officer or employee nor his or her spouse, brother, sister, parent, child or grandchild, or a spouse of any of these relatives who is the applicant or who has an interest in the person, partnership or association making this application, petition or request, or is an officer, director, partner or employee of the applicant, or that such officer or employee, if this applicant is a corporation, legally or beneficially owns or controls any stock of the applicant in excess of 5% of the total of the corporation if its stock is listed on the New York or American Stock Exchanges; or is a member or partner of the applicant, if the applicant is an association or a partnership; nor that such town/village officer or employee nor any member of his family in any of the foregoing classes is a party to an agreement with the applicant, express or implied, whereby such officer or employee may receive any payment or other benefit, whether or not for service rendered, which is dependent or contingent upon the favorable approval of this application, petition or request.

5. That to the extent that the same is known to your applicant, and to the owner of the subject premises **there is disclosed herewith** the interest of the following officer or employee of the State of New York or the County of Rockland or of the Town/Village of _____ in the petition, request or application or in the property or subject matter to which it relates:

(if none, so state)

a. Name and address of officer or employee NA

b. Nature of interest _____

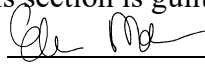
c. If stockholder, number of shares _____

d. If officer or partner, nature of office and name of partnership _____

e. If a spouse or brother, sister, parent, child, grandchild or the spouse of any of these blood relatives of such state, county or town/village officer or employee, state name and address of such relative and nature of relationship to officer and employee and nature and extent of office, interest or participation or association having an interest in such ownership or in any business entity sharing in such ownership. _____


f. In the event of corporate ownership: A list of all directors, officers and stockholders of each corporation owning more than five (5%) percent of any class of stock, must be attached, if any of these are officers or employees of the State of New York, or of the County of Rockland, or of the Town/Village of _____.

I, Elana Motechin, do hereby depose and say that all the above statements and statements contained in the papers submitted herewith are true, knowing that a person who knowingly and intentionally violates this section is guilty of a misdemeanor.

Mailing Address 
8 Carter Lane Monsey, NY 10952

SWORN to before this

2nd day of December, 20 24


Notary Public



VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097


AFFIDAVIT OF OWNERSHIP

STATE OF NEW YORK }
COUNTY OF ROCKLAND } SS:
VILLAGE OF WESLEY HILLS }

Elana Motechin being duly sworn, deposes and
says that he/she resides at 8 Carter Lane Monsey, NY 10952

in the County of Rockland, State of New York; that he/she is the owner in
fee of all that certain lot, piece or parcel of land situated, lying and being
in the Village of Wesley Hills, and designated on the Town of Ramapo
Map as Section No. 41.06 Lot No. 38 and that he/she hereby
authorizes the attached application to be submitted in his/her behalf and
that the statements of fact contained in said application are true.

The applicant is the (owner) (contract vendee) of the said property.

Owner: 
Address: 8 Carter Lane Monsey, NY 10952

Sworn to before me this
2nd day of December 20 24


Notary Public




DISCLAIMER

APPLICANT TAKES FULL RESPONSIBILITY FOR RESEARCHING THE TAX MAP FOR THE LIST OF NAMES OF PROPERTY OWNERS ON THE ENCLOSED *AFFIDAVIT OF MAILING LIST*, AND SUPPLYING THE NECESSARY AMOUNT OF SELF-ADDRESSED STAMPED ENVELOPES.

THE APPLICANT'S ENVELOPES MUST COINCIDE WITH THE LIST. THE CLERK'S RESPONSIBILITY IS LIMITED TO CHECKING NAMES ON THE ENVELOPES AGAINST THE AFOREMENTIONED AFFIDAVIT BEFORE MAILING THEM.

RECEIPT OF THIS DISCLAIMER IS ACKNOWLEDGED



APPLICANT

December 2, 2024

DATED

PART II

Application before the Zoning Board of Appeals

Application, petition or request is hereby submitted for:

- () Variance from the requirement of Section _____;
- () Special permit per the requirements of Section _____;
- () Review of an administrative decision of the Building Inspector;
- () An order to issue a Certificate of Occupancy;
- () An order to issue a Building Permit;
- () An interpretation of the Zoning Ordinance or Map;
- () Certification of an existing non-conforming structure or use;
- () Other (*explain*) _____;

To permit construction, maintenance and use of New single family dwelling

AS APPLICABLE, COMPLETE THE FOLLOWING:

- 1) SHORT ENVIRONMENTAL ASSESSMENT FORM
- 2) FULL ENVIRONMENTAL ASSESSMENT FORM

For access to the above State Environmental Quality Review forms:

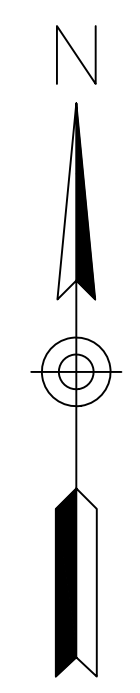
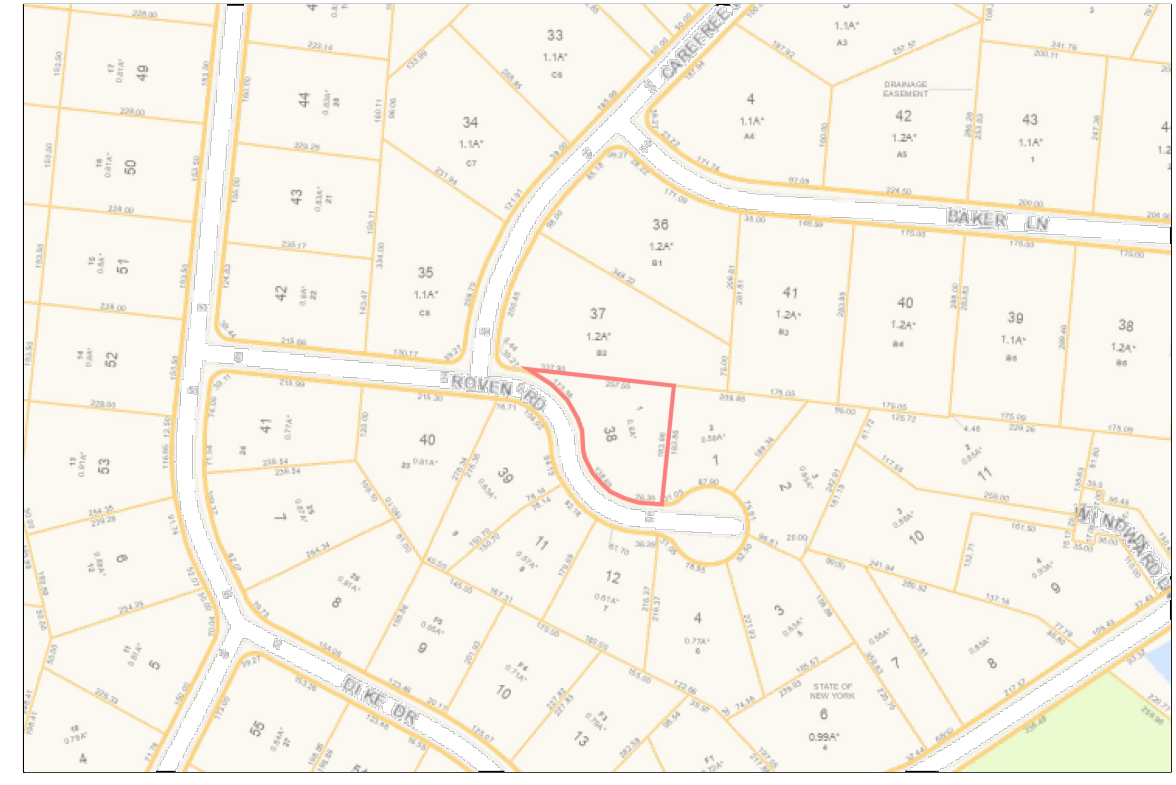
<http://www.dec.ny.gov/public/6191.html>

INSTRUCTIONS

The following must be completed before the application is reviewed and scheduled for the Zoning Board of Appeals meeting:

7. Filing fee of \$150.00 for an existing residence, \$150.00 for actions involving new one-family residences plus \$100.00 per variance sought or \$350.00 plus \$100.00 per variance sought for all other applications plus actual publication sought.
8. Twelve copies of the application, twelve plot plans drawn to scale (showing setbacks and other dimensions) or twelve surveys that have been sworn or attested to as being true and accurate.
9. Twelve copies of a narrative describing why the applicant is appearing before the Board.
10. Twelve copies of reference to the Zoning Board of Appeals (Building Inspector's determination, Code Inspector's determination, referral from the Planning Board or for an interpretation of the Zoning Code). No application can come for a variance without first being denied by the Building Inspector or Code Inspector or referred from the Planning Board.
11. List of names and addresses, along with stamped self-addressed envelopes, of all property owners within a 750 foot radius of the property covered in the application.
12. Twelve copies of a vicinity map.

The application must be received at least four weeks prior to be scheduled for a Zoning Board of Appeals meeting and is subject to the review by the Zoning Board of Appeals attorney. You will be notified as the date of the meeting. You will be provided with posters giving notice of the hearing which shall be posted in a conspicuous place visible from every street along the frontage of the property referred to in the application. These notices must be posted 10 days prior to the scheduled meeting.



ZONING

- PROPERTY ADDRESS: 18 ROVEN ROAD, VILLAGE OF WESLEY HILLS, ROCKLAND COUNTY, NEW YORK
- BEING SECTION 41.06, BLOCK 1, LOT 38 OF THE VILLAGE OF WESLEY HILLS AND TOWN OF RAMAPO TAX MAPING. LOT DESCRIBED BY DEED IN INSTRUMENT NO. 2002 AT PAGE 43993 AT THE ROCKLAND COUNTY CLERK'S OFFICE. BEING LOT 1 ON A MAP ENTITLED "SUBDIVISION OF PROPERTY FOR J.C. BERD, INC", FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON DECEMBER 21, 1973 IN BOOK 86 ON PAGE 57 AS MAP NUMBER 4479. THE LOT WAS CREATED AS PART OF AN AVERAGE DENSITY SUBDIVISION AS SHOWN ON MAP 4479.
- APPLICANT/OWNER: ELANA MOTECHIN
18 ROVEN RD
WESTLEY HILLS, NY 10952
- EXISTING USE: SINGLE FAMILY HOUSE
- PROPOSED USE: SINGLE FAMILY HOUSE
- EXISTING CONDITIONS BASED ON A SURVEY PREPARED BY: CIVIL TEC ENGINEERING & SURVEYING PC
TITLED "OUTBOUND & TOPOGRAPHIC SURVEY PREPARED FOR 18 ROVEN ROAD, VILLAGE OF WESLEY HILLS, - SECTION 41.06 BLOCK 1 LOT 38 DATED: 10-05-2022
- 3/4 " CORNER IRON PIPES TO BE SET BEFORE C.O. IS ISSUED
- ALL NEW UTILITIES TO BE UNDERGROUND.
- FIRE DISTRICT - MONSEY
- SCHOOL DISTRICT - EAST RAMAPO
- WATER DISTRICT- RAMAPO CONSOLIDATED WATER DISTRICT. WATER SUPPLY BY SUEZ WATER .
- NO OPEN BURNING DURING CONSTRUCTION WITHOUT EXPLICIT PERMISSION FROM THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
- SEWER AND WATER SERVICE LINES ARE TO BE LAID IN SEPARATE TRENCHES, WITH A MINIMUM HORIZONTAL SEPARATION OF 10 FEET.
- SANITARY SEWER INFILTRATION AND EXFILTRATION TESTING OF CONSTRUCTION STANDARDS FOR ROCKLAND COUNTY SEWER DISTRICT NO. 1 SPECIFIED THAT " THE INFILTRATION RATE SHALL NOT EXCEED 25 GALLONS PER 24 HOURS PER MILE PER NOMINAL DIAMETER IN INCHES." CERTIFICATION OF OCCUPANCY MAY NOT BE ISSUED , NOR ANY OCCUPANCY PERMITTED, UNTIL A CERTIFICATE OF COMPLIANCE CERTIFIED BY A LICENSED NYS ROCKLAND COUNTY HEALTH DEPARTMENT AND TO THE ROCKLAND SEWER DISTRICT NO.1.
- DURING THE COURSE OF CONSTRUCTION, THE BUILDER SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID THE CREATION OF DRAINAGE, EROSION AND SILTING PROBLEMS (IN CONSULTATION WITH APPROPRIATE AGENCIES) TO THE TOWN ENGINEERS SATISFACTION
- ALL ELEVATIONS SHOWN ARE ON U.C.S. & G.S. DATUM.
- ALL UTILITIES UNDERGROUND. ELECTRIC SERVICE CONNECTIONS TO INDIVIDUAL HOUSES SHALL BE IN CONDUIT OF NOT LESS THAN 2 INCH DIAMETER.
- ANY EXISTING HOUSE CONNECTION PROPOSED TO BE ABANDONED MUST BE PLUGGED BETWEEN THE EDGE OF THE RIGHT OF WAY AND THE CURB.
- THE LOCATION OF EXISTING UTILITIES MUST BE VERIFIED.
- ALL RETAINING WALLS GREATER THAN FOUR FEET IN HEIGHT MUST BE CERTIFIED AND INSPECTED BY A PROFESSIONAL ENGINEER.
- DISTURBED AREA FOR THE REMOVAL OF THE EXISTING DRIVEWAY TO BE RESTORED WITH TOPSOIL AND SEED.
- PERCOLATION AND DEEP HOLE TESTS ARE REQUIRED TO BE PERFORMED FOR THE PROPOSED DRYWELL FACILITY. THE TESTS SHALL BE WITNESSED/APPROVED BY VILLAGE ENGINEER REPRESENTATIVE. PERCOLATION TESTS ARE TO BE PERFORMED AT THE LOCATION AND ELEVATION OF THE BOTTOM OF THE PROPOSED SYSTEM. DEEP HOLE TESTS SHALL EXTEND AT LEAST (3) FEET BELOW THE PROPOSED SYSTEM.
- VILLAGE ENGINEER TO BE NOTIFIED 48 HOURS PRIOR TO DRAINAGE INSTILLATION AND WITNESS/APPROVED.

R-50 (RESIDENTIAL AVERAGE DENSITY SUBDIVISION)	REQUIRED	PROPOSED
MINIMUM LOT AREA (SQUARE FEET)	25,000 SF *	25,884 SF
MINIMUM LOT FRONTAGE (SQUARE FEET)	90 FT	348 FT
MINIMUM LOT WIDTH (FEET)	125 FT *	190 FT
MINIMUM EFFECTIVE SQUARE, SIDE (FEET)	125 FT	129 FT
FRONT YARD	35 FT *	37.3 FT
REAR YARD	35 FT *	40.1 FT
SIDE YARD (ONE)	20 FT *	20.0 FT
TOTAL SIDE YARDS	50 FT *	50.0 FT
MAXIMUM IMPERVIOUS SURFACE RATIO	0.25	0.43 (V)
MAXIMUM FRONT YARD IMPERVIOUS SURFACE RATIO	0.20	0.19
MAXIMUM BUILDING COVERAGE	0.10	0.34 (V)
MAXIMUM BUILDING HEIGHT (STORIES)	2 1/2	2 1/2
MAXIMUM BUILDING HEIGHT (FEET)	25 FT	28.9 FT (V)
MAXIMUM EXPOSED BUILDING HEIGHT	40 FT	39 FT
ACCESSORY SWIMMING POOL REQUIREMENTS		
SIDE YARD	15 FT	7.4 FT TO POOL, (1.7 FT TO RAISED REAR YARD) (V)
REAR YARD	15 FT	23.4 FT TO POOL, (0.0 FT TO RAISED REAR YARD)

(V) - VARIANCE

* IN ACCORDANCE WITH PLAN TITLED "SUBDIVISION OF PROPERTY FOR J.C. BERD, INC". PREPARED BY ADLER, CARUSO AND YOUNG ENGINEERS/PLANNERS/LANDSCAPE ARCHT'S.

- §230-14(O) - A VARIANCE IS REQUIRED WHERE AN ACCESSORY POOL MAY NOT BE LOCATED CLOSER THEN 15' TO A SIDE OR REAR LOT LINE AND THE PROPOSED POOL IS 7.4' FROM THE SIDE LOT LINE, (THE RAISED REAR YARD IS 1.7' FROM THE SIDE LOT LINE, AND THE RAISED REAR YARD IS 0.0 FROM THE REAR LOT LINE).
- §230-17 - A VARIANCE IS REQUIRED WHERE THE MAXIMUM IMPERVIOUS SURFACE RATIO IS 0.25 AND 0.43 IS PROPOSED.
- §230-17 - A VARIANCE IS REQUIRED WHERE THE MAXIMUM BUILDING COVERAGE IS 0.10 AND 0.34 IS PROPOSED.
- §230-17 - A VARIANCE IS REQUIRED WHERE THE MAXIMUM BUILDING HEIGHT IS 2 1/2 STORIES OR 25 FEET AND 2 1/2 STORIES AND 28.9' IS PROPOSED.

PARKING USE	REQUIRED	PROPOSED PARKING
DWELLING UNITS (ONE-FAMILY)	2 SPACES	>2 SPACES

BUILDING COVERAGE CALCULATIONS	PROPOSED
LOT AREA	25,884 SF
BUILDING AREA	5,005 SF
REAR PATIO	3,253 SF
POOL	579 SF
BUILDING COVERAGE INCLUDING PATIO AND POOL	0.34
BUILDING COVERAGE EXCLUDING PATIO AND POOL	0.19

BUILDING HEIGHT CALCULATIONS	PROPOSED
AVERAGE EXISTING GRADE *	546.75 FT
HEIGHT TO EAVE OF THE LARGEST ROOF **	574.9 FT
BUILDING HEIGHT	28.9 FT

* IN ACCORDANCE WITH THE DEFINITION IN §230-5 IF THE GRADE ADJACENT TO THE PROPOSED BUILDING IS RAISED THE GRADE AT THE STREET LINE SHALL BE USED AS THE EXISTING GRADE. THE AVERAGE EXISTING GRADE IS BASED ON THE GRADE AT THE STREET LINE. TAKING THE AVERAGE OF 547' AND 546.5' TO OBTAIN AN AVERAGE EXISTING GARDE OF 546.75'.

** THE HEIGHT TO THE EAVE OF THE LARGEST ROOF IS BASED ON THE ARCHITECTURAL PLANS. THE HEIGHT FROM THE FIRST FLOOR TO THE EAVE IS 21'. THE FIRST FLOOR ELEVATION IS 553.9' + 21' = 574.9'.

IMPERVIOUS SURFACE RATIO CALCULATIONS	PROPOSED
LOT AREA	25,884 SF
BUILDING AREA	5,005 SF
DRIVEWAY AREA	1,429 SF
REAR PATIO AND POOL AREA	3,832 SF
TERRACE AREAS	375 SF
WALKWAY AREAS	489 SF
TOTAL IMPERVIOUS AREA	11,130 SF
IMPERVIOUS SURFACE RATIO	0.43

FRONT YARD IMPERVIOUS SURFACE RATIO CALCULATIONS	PROPOSED
FRONT YARD LOT AREA *	9,451 SF
FRONT YARD IMPERVIOUS AREA	1,786 SF
FRONT YARD IMPERVIOUS SURFACE RATIO	0.19

* THE AREA FROM THE NEAREST BUILDING CORNER TO THE FRONT LOT LINE.

NO.	REVISION	DATE	BY
4.	REVISED PER TOWNSHIP REVIEW LETTER	12/24/24	ZF
3.	REVISED PER TOWNSHIP REVIEW LETTER	10/08/24	ZF
2.	REVISED GRADING	08/02/24	ZF
1.	ADJUST HOUSE LOCATION	07/09/24	ZF

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ENGINEER AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ENGINEER.

YOSEF PORTNOY PE
10 GILA PLACE
LAKEWOOD, NJ, 08701

PROJECT:
**SINGLE-FAMILY RESIDENCE
18 ROVEN ROAD**

LOCATION:
**SECTION 41.06, BLOCK 1, LOT 38
VILLAGE OF WESLEY HILLS
ROCKLAND COUNTY
NEW YORK**

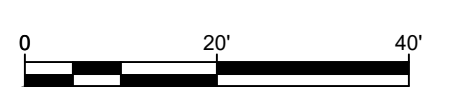
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PLOT PLAN

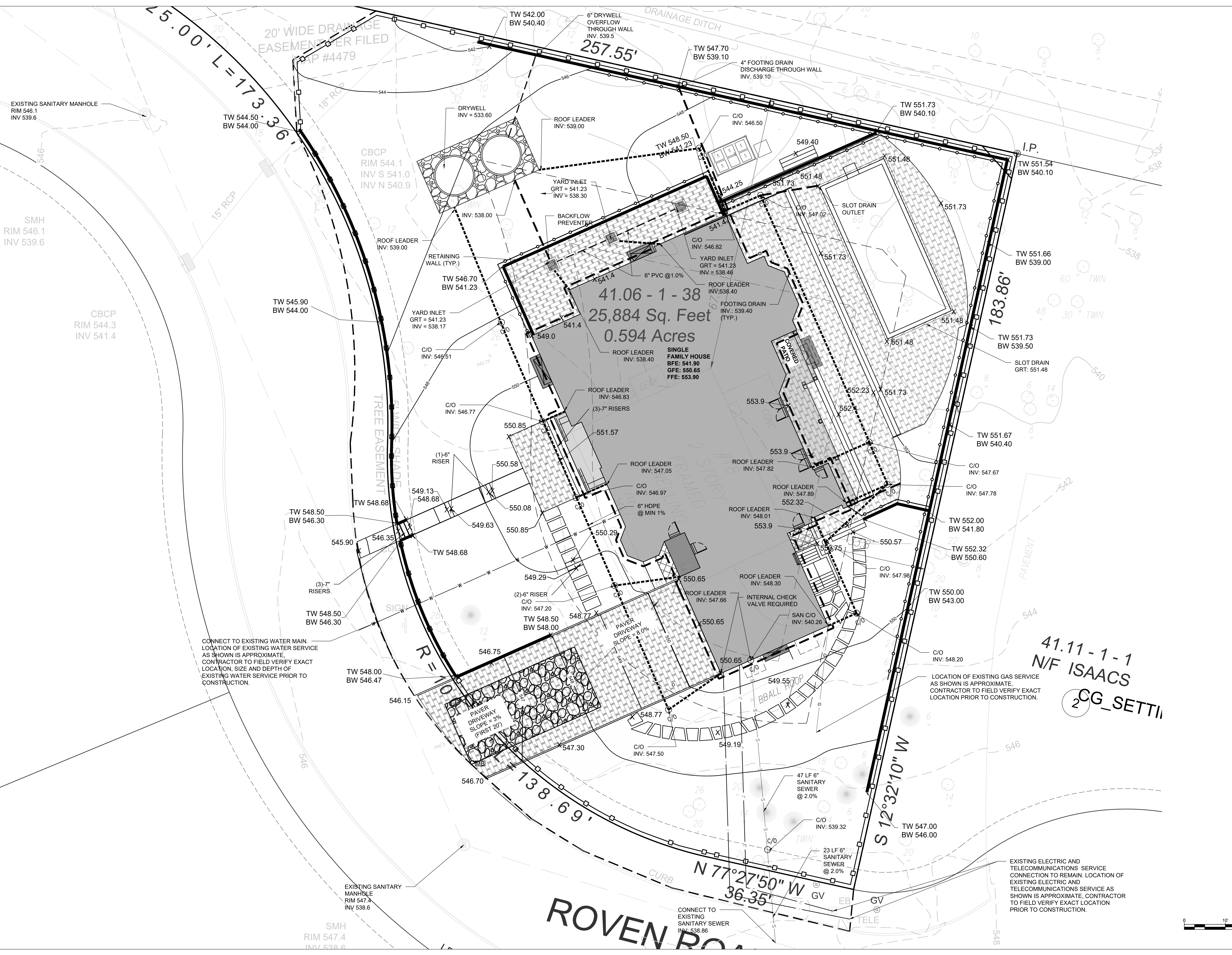
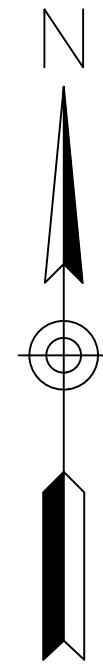
PROJECT NO.	DATE	DRAWN BY	CHECKED BY
23168	01/01/2024	SP	YP

SCALE
AS NOTED

SHEET NO.
1
OF
2

YOSEF PORTNOY
LICENSED PROFESSIONAL ENGINEER
NY LICENSE NO. 101151





EXISTING SANITARY MANHOLE
RIM 546.1
INV 539.6

SMH
RIM 546.1
INV 539.6

CBCP
RIM 544.3
INV 541.4

EXISTING SANITARY
MANHOLE
RIM 547.4
INV 538.6

SMH
RIM 547.4
INV 538.6

CONNECT TO EXISTING WATER MAIN.
LOCATION OF EXISTING WATER SERVICE
AS SHOWN IS APPROXIMATE.
CONTRACTOR TO FIELD VERIFY EXACT
LOCATION, SIZE AND DEPTH OF
EXISTING WATER SERVICE PRIOR TO
CONSTRUCTION.

LOCATION OF EXISTING GAS SERVICE
AS SHOWN IS APPROXIMATE.
CONTRACTOR TO FIELD VERIFY EXACT
LOCATION PRIOR TO CONSTRUCTION.

EXISTING ELECTRIC AND
TELECOMMUNICATIONS SERVICE
CONNECTION TO REMAIN. LOCATION OF
EXISTING ELECTRIC AND
TELECOMMUNICATIONS SERVICE AS
SHOWN IS APPROXIMATE. CONTRACTOR
TO FIELD VERIFY EXACT LOCATION
PRIOR TO CONSTRUCTION.

41.06 - 1 - 38
25,884 Sq. Feet
0.594 Acres

SINGLE
FAMILY HOUSE
BFE: 541.90
C/OE: 550.65
FFE: 553.90

41.11 - 1 - 1
N/F ISAACS
CG_SETTL

NO.	REVISION	DATE	BY
4.	REVISED PER TOWNSHIP REVIEW LETTER	12/24/24	ZF
3.	REVISED PER TOWNSHIP REVIEW LETTER	10/08/24	ZF
2.	REVISED GRADING	08/02/24	ZF
1.	ADJUST HOUSE LOCATION	07/09/24	ZF

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YOSEF PORTNOY PE
10 GILA PLACE
LAKEWOOD, NJ, 08701

PROJECT:
SINGLE-FAMILY RESIDENCE
18 ROVEN ROAD

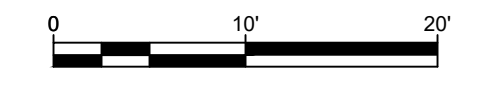
LOCATION:
SECTION 41.06, BLOCK 1, LOT 38
VILLAGE OF WESLEY HILLS
ROCKLAND COUNTY
NEW YORK

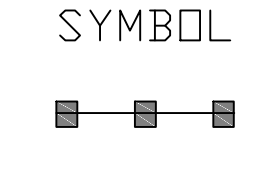
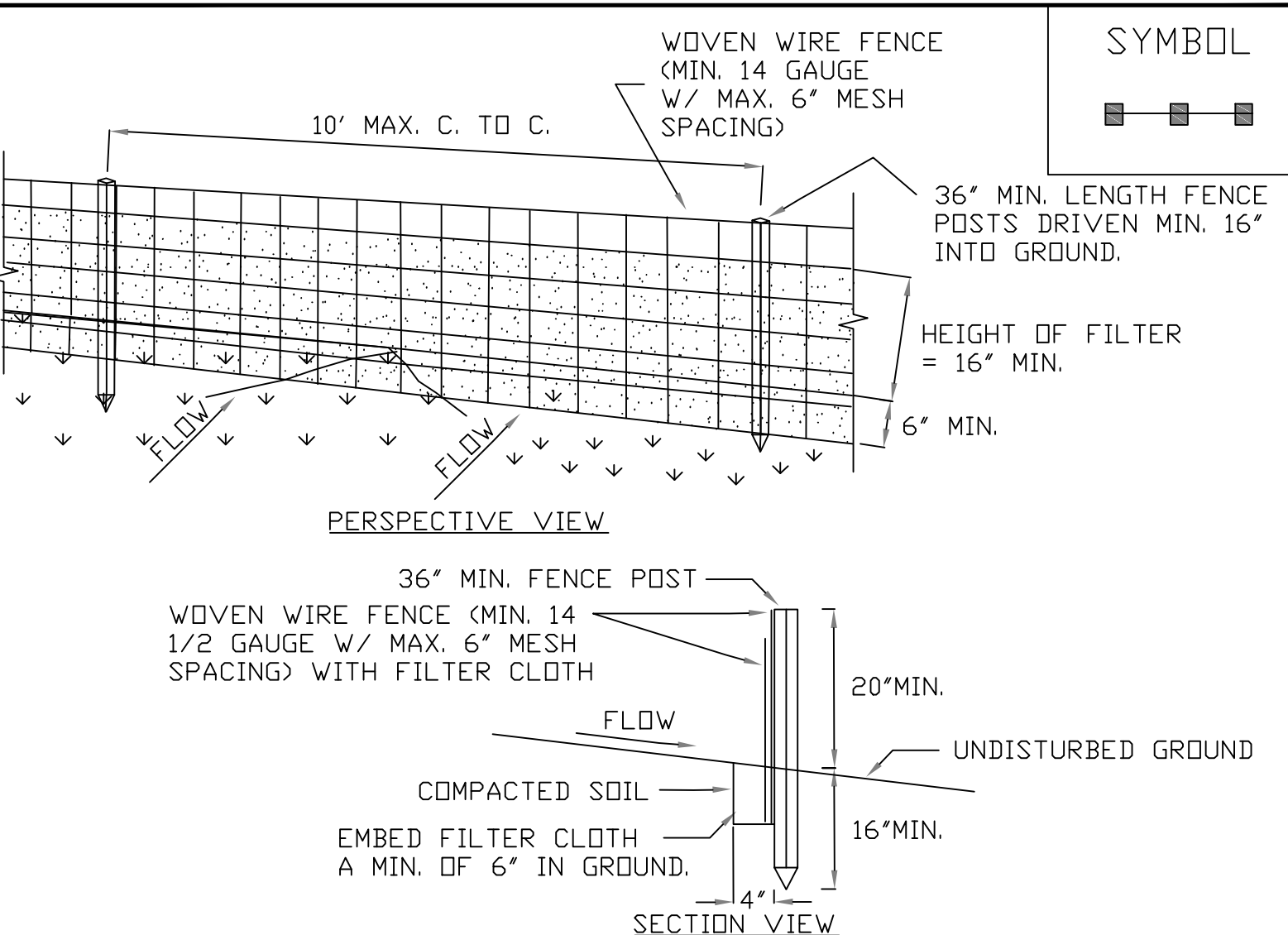
DRAWING TITLE:
GRADING, DRAINAGE AND UTILITY
PLAN

PROJECT NO.	DATE	DRAWN BY	CHECKED BY
23168	01/01/2024	SP	YP

SCALE
AS NOTED
SHEET NO.
2
OF
2

YOSEF PORTNOY
LICENSED PROFESSIONAL ENGINEER
NY LICENSE NO. 101151



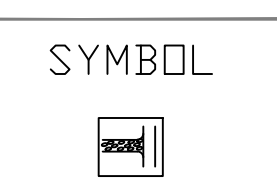
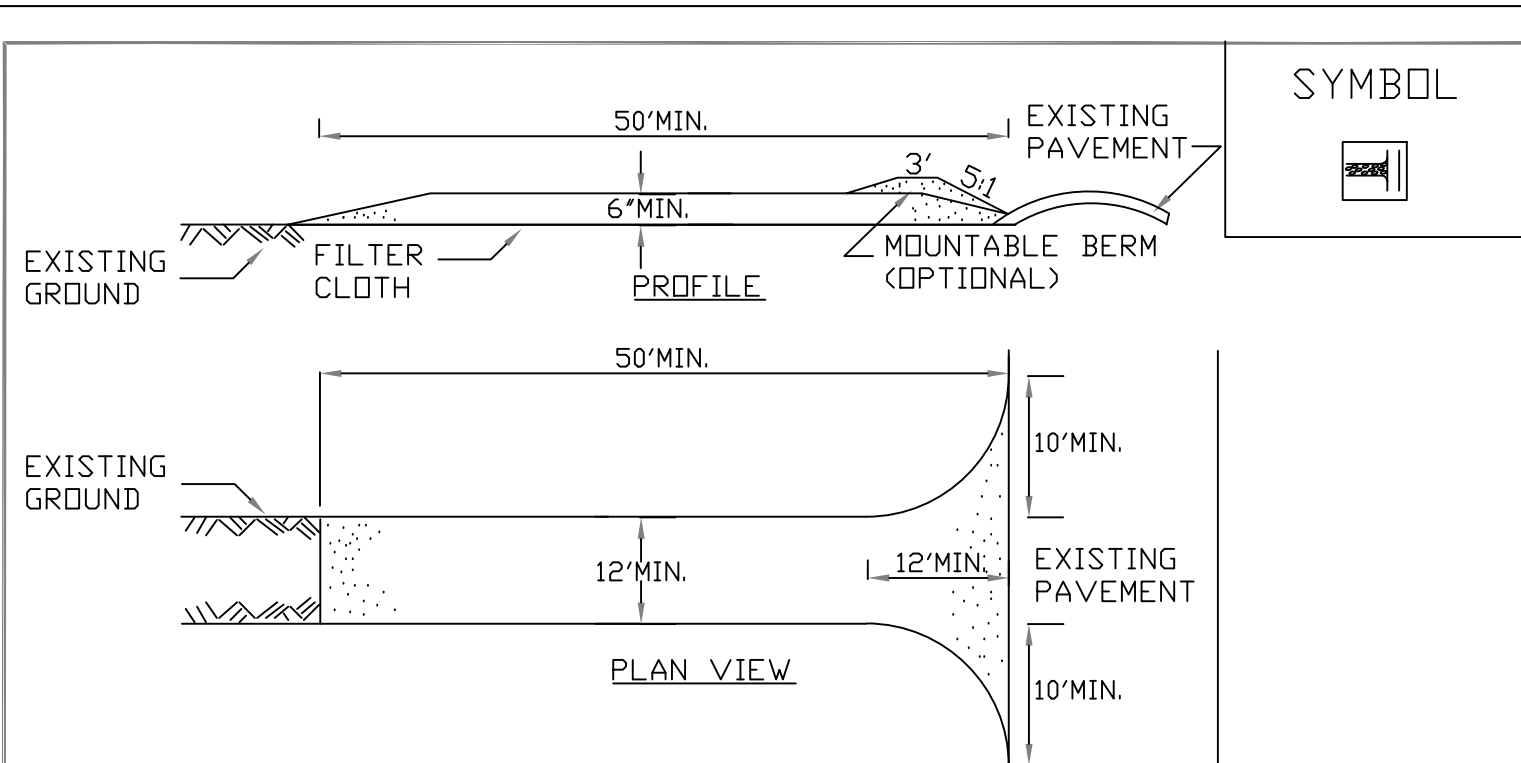


CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

SILT FENCE

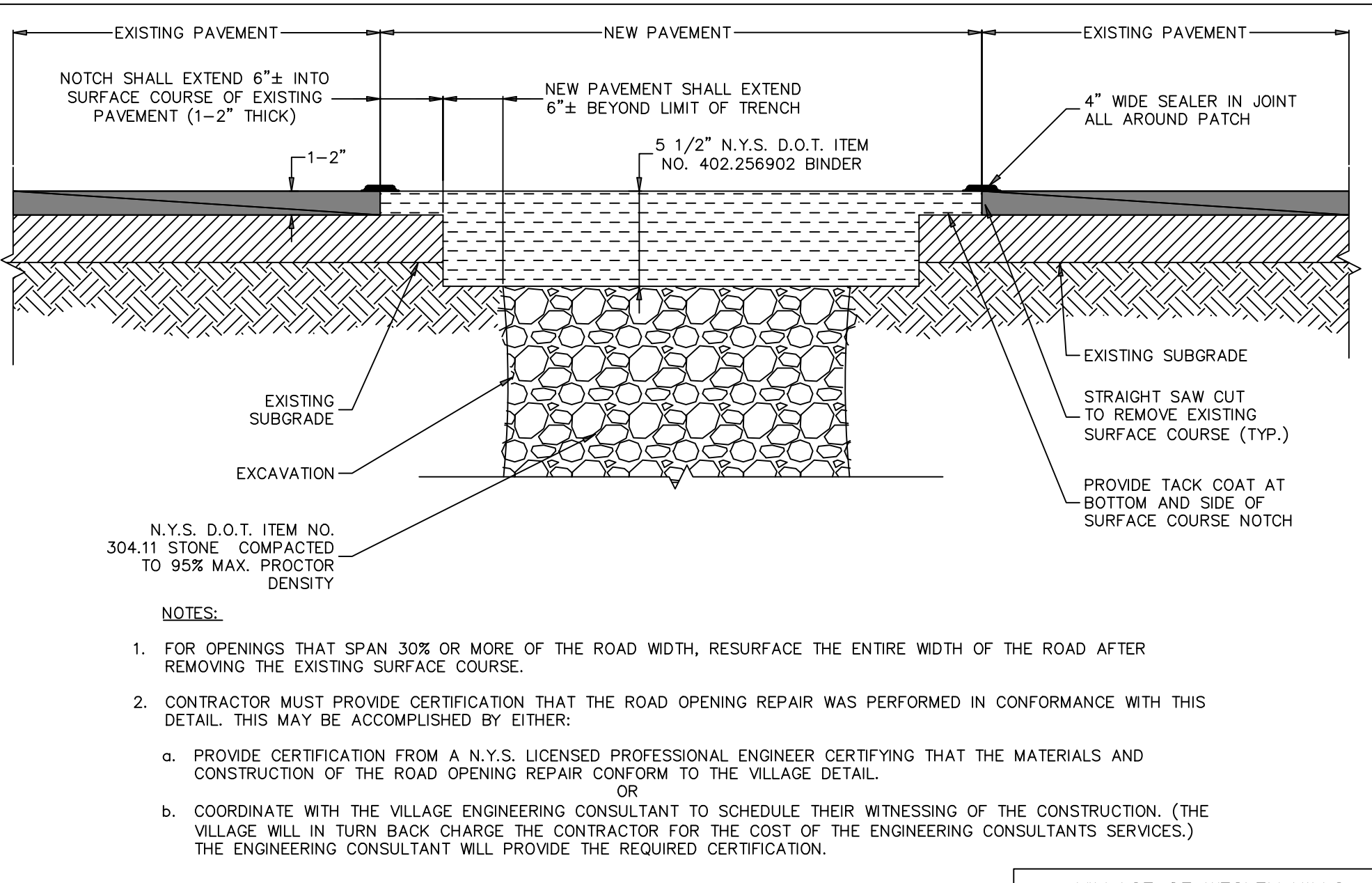


CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

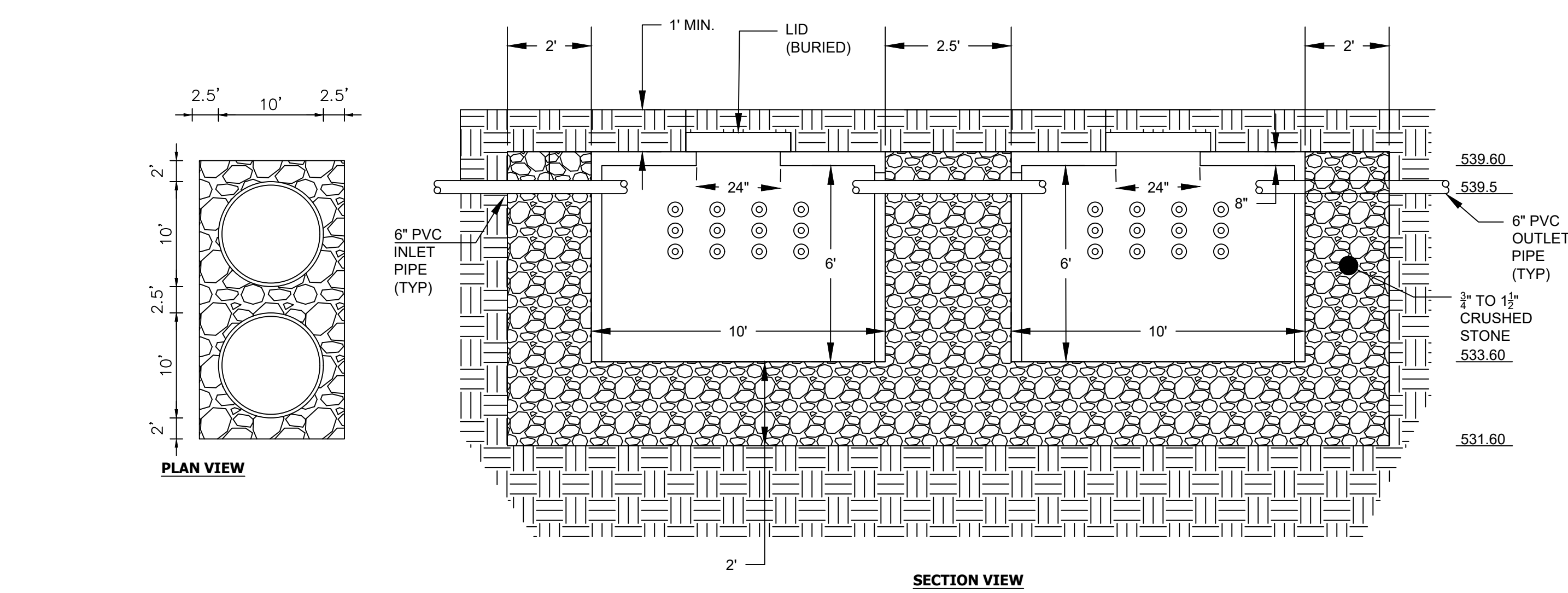
ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

STABILIZED CONSTRUCTION ACCESS



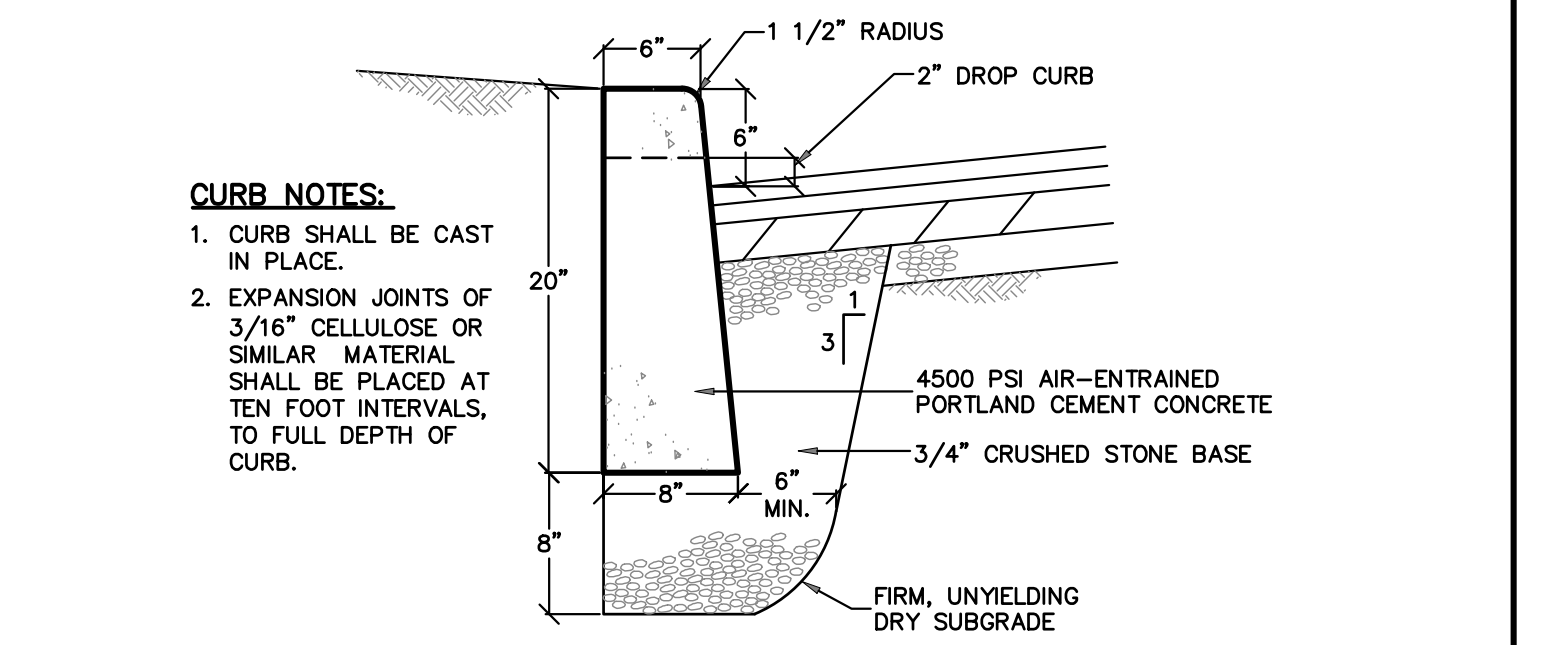
ROAD OPENING REPAIR DETAIL

VILLAGE OF WESLEY HILLS
ROCKLAND COUNTY, N.Y.
ROAD OPENING REPAIR DETAIL



DRYWELL
N.T.S.

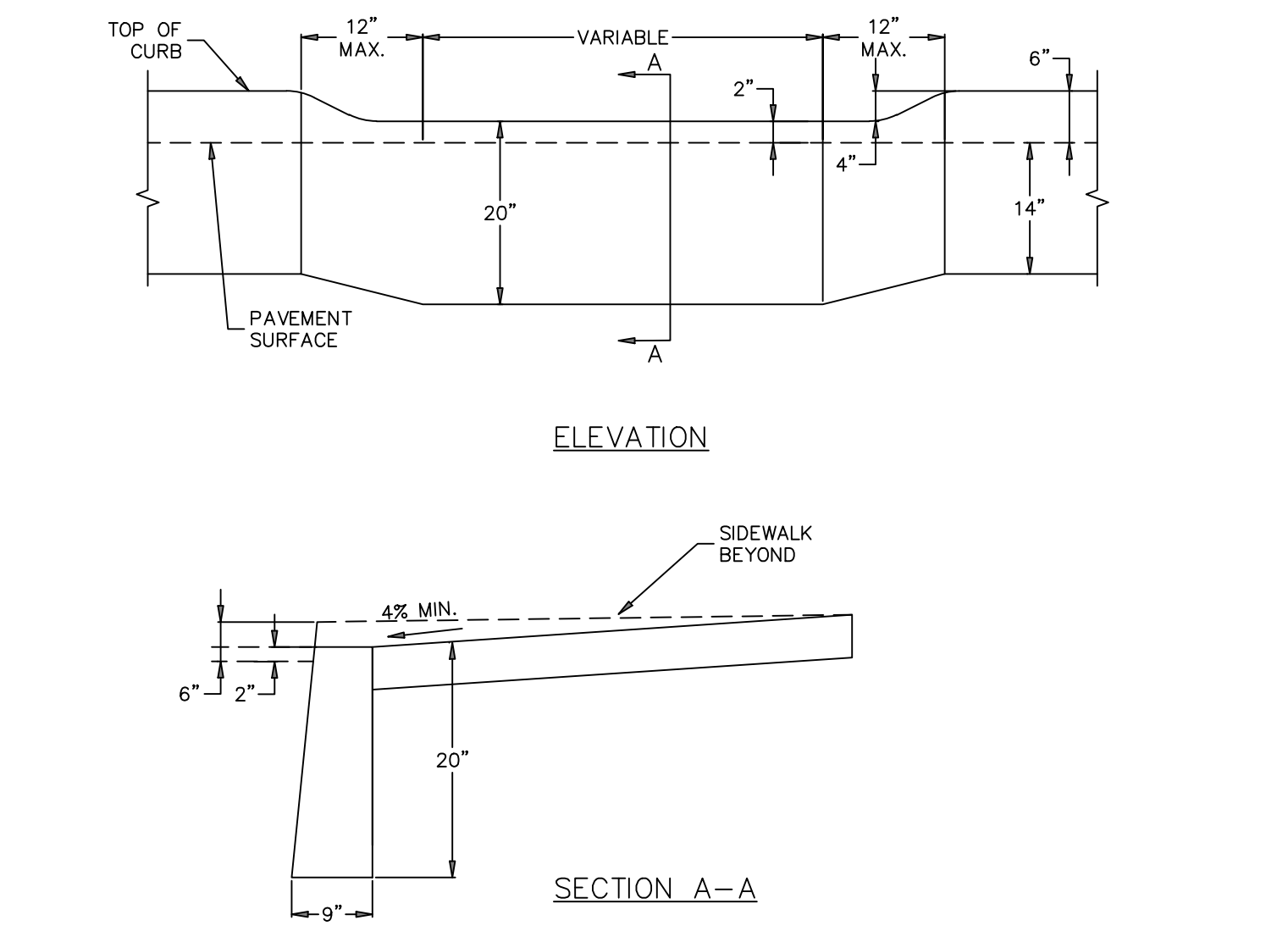
- NOTES:**
1. SEEPAGE PIT SHALL BE BY PEERLESS CONCRETE PRODUCTS OR APPROVED EQUAL.
 2. SEEPAGE PIT INSTALLATION IS SUBJECT TO SOIL PERCOLATION TEST AND GROUNDWATER ELEVATION DETERMINATION IN THE FIELD.



CONCRETE CURB DETAIL
N.T.S.

- CURB NOTES:**
1. CURB SHALL BE CAST IN PLACE.
 2. EXPANSION JOINTS OF 3/16" CELLULOSE OR SIMILAR MATERIAL SHALL BE PLACED AT TEN FOOT INTERVALS, TO FULL DEPTH OF CURB.

VILLAGE OF WESLEY HILLS
ROCKLAND COUNTY, N.Y.



DEPRESSED CURB DETAIL
N.T.S.

- NOTES:**
1. CONCRETE TO TEST 4000 PSI MIN. ON 28 DAY COMPRESSIVE TEST.
 2. STEEL SEPARATIONS SHALL BE USED WITH ALL THE FORMS TO CREATE A CONSTRUCTION JOINT EVERY 10 FEET ALONG CURB.
 3. CONTRACTOR TO NOTIFY VILLAGE ENGINEER PRIOR POURING.

VILLAGE OF WESLEY HILLS
ROCKLAND COUNTY, N.Y.
DEPRESSED CURB DETAIL

NO.	REVISION	DATE	BY
4.	REVISED PER TOWNSHIP REVIEW LETTER	12/24/24	ZF
3.	REVISED PER TOWNSHIP REVIEW LETTER	10/08/24	ZF
2.	REVISED GRADING	08/02/24	ZF
1.	ADJUST HOUSE LOCATION	07/09/24	ZF

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YOSEF PORTNOY PE
10 GILA PLACE
LAKEWOOD, NJ, 08701

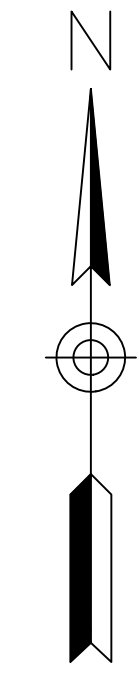
PROJECT:
SINGLE-FAMILY RESIDENCE
18 ROVEN ROAD

LOCATION:
SECTION 41.06, BLOCK 1, LOT 38
VILLAGE OF WESLEY HILLS
ROCKLAND COUNTY
NEW YORK

DRAWING TITLE:
DETAILS

PROJECT NO.	DATE	DRAWN BY	CHECKED BY
23168	01/01/2024	SP	YP

SCALE
AS NOTED
SHEET NO.
3
OF
YOSEF PORTNOY LICENSED PROFESSIONAL ENGINEER NY LICENSE NO. 101151



257.55'

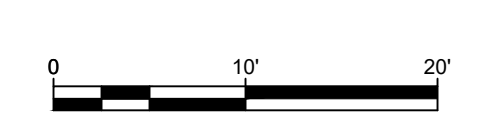
183.86'

41.06 - 1 - 38
25,884 Sq. Feet
0.594 Acres

SINGLE FAMILY HOUSE
BFE: 541.90
GFE: 550.65
FFE: 553.90

41.11 - 1 - 1
N/F ISAACS
CG_SETTING

ROVEN



NO.	REVISION	DATE	BY
4.	REVISED PER TOWNSHIP REVIEW LETTER	12/24/24	ZF
3.	REVISED PER TOWNSHIP REVIEW LETTER	10/08/24	ZF
2.	REVISED GRADING	08/02/24	ZF
1.	ADJUST HOUSE LOCATION	07/09/24	ZF

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ENGINEER AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ENGINEER.

YOSEF PORTNOY PE
10 GILA PLACE
LAKEWOOD, NJ, 08701

PROJECT:
SINGLE-FAMILY RESIDENCE
18 ROVEN ROAD

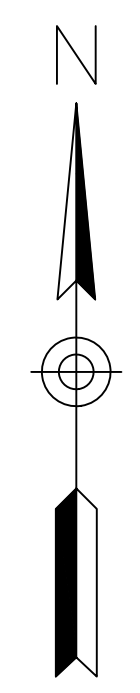
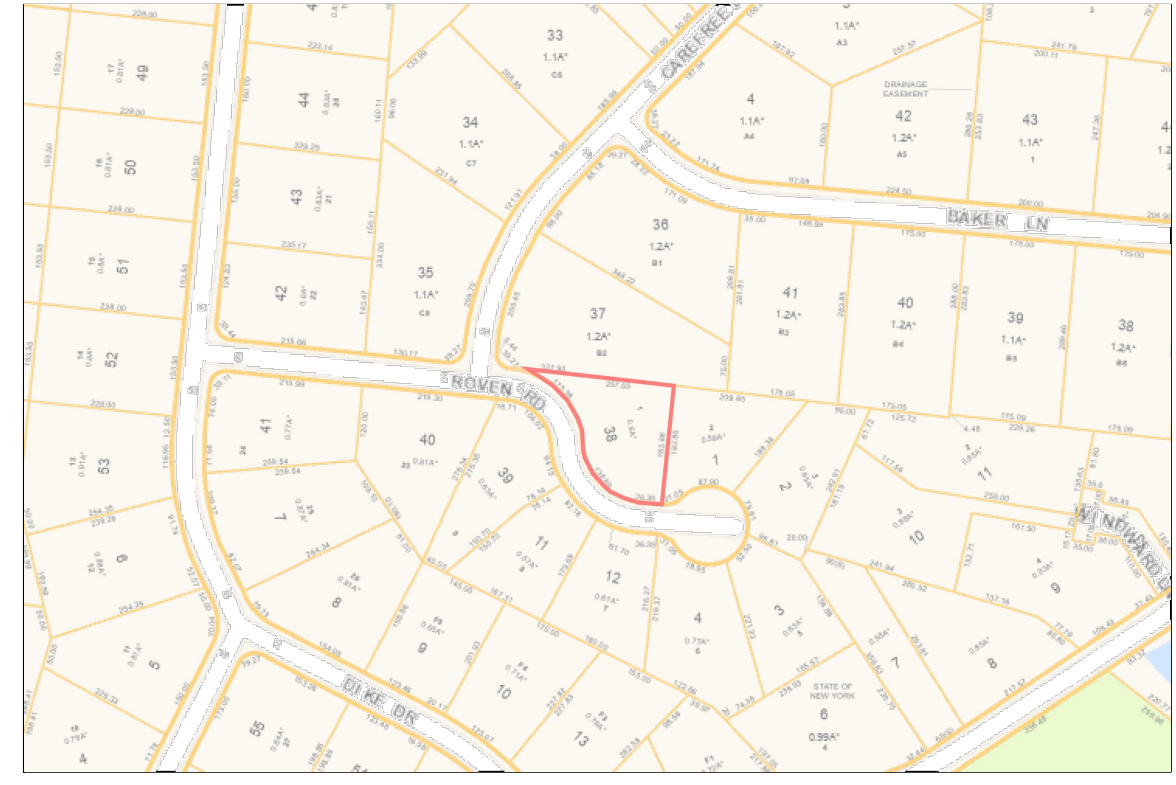
LOCATION:
SECTION 41.06, BLOCK 1, LOT 38
VILLAGE OF WESLEY HILLS
ROCKLAND COUNTY
NEW YORK

DRAWING TITLE:
TREE REMOVAL PLAN

PROJECT NO.	DATE	DRAWN BY	CHECKED BY
23168	01/01/2024	SP	YP

SCALE
AS NOTED
SHEET NO.
1
OF
1

YOSEF PORTNOY
LICENSED PROFESSIONAL ENGINEER
NY LICENSE NO. 101151



ZONING

- PROPERTY ADDRESS: 18 ROVEN ROAD, VILLAGE OF WESLEY HILLS, ROCKLAND COUNTY, NEW YORK
- BEING SECTION 41.06, BLOCK 1, LOT 38 OF THE VILLAGE OF WESLEY HILLS AND TOWN OF RAMAPO TAX MAPING. LOT DESCRIBED BY DEED IN INSTRUMENT NO. 2002 AT PAGE 43993 AT THE ROCKLAND COUNTY CLERK'S OFFICE. BEING LOT 1 ON A MAP ENTITLED "SUBDIVISION OF PROPERTY FOR J.C. BERD, INC.", FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON DECEMBER 21, 1973 IN BOOK 86 ON PAGE 57 AS MAP NUMBER 4479. THE LOT WAS CREATED AS PART OF AN AVERAGE DENSITY SUBDIVISION AS SHOWN ON MAP 4479.
- APPLICANT/OWNER: ELANA MOTECHIN
18 ROVEN RD
WESTLEY HILLS, NY 10952
- EXISTING USE: SINGLE FAMILY HOUSE
- PROPOSED USE: SINGLE FAMILY HOUSE
- EXISTING CONDITIONS BASED ON A SURVEY PREPARED BY: CIVIL TEC ENGINEERING & SURVEYING PC
TITLED "OUTBOUND & TOPOGRAPHIC SURVEY PREPARED FOR 18 ROVEN ROAD, VILLAGE OF WESLEY HILLS, - SECTION 41.06 BLOCK 1 LOT 38 DATED: 10-05-2022
- 3/4 " CORNER IRON PIPES TO BE SET BEFORE C.O. IS ISSUED
- ALL NEW UTILITIES TO BE UNDERGROUND.
- FIRE DISTRICT - MONSEY
- SCHOOL DISTRICT - EAST RAMAPO
- WATER DISTRICT- RAMAPO CONSOLIDATED WATER DISTRICT. WATER SUPPLY BY SUEZ WATER .
- NO OPEN BURNING DURING CONSTRUCTION WITHOUT EXPLICIT PERMISSION FROM THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
- SEWER AND WATER SERVICE LINES ARE TO BE LAID IN SEPARATE TRENCHES, WITH A MINIMUM HORIZONTAL SEPARATION OF 10 FEET.
- SANITARY SEWER INFILTRATION AND EXFILTRATION TESTING OF CONSTRUCTION STANDARDS FOR ROCKLAND COUNTY SEWER DISTRICT NO. 1 SPECIFIED THAT " THE INFILTRATION RATE SHALL NOT EXCEED 25 GALLONS PER 24 HOURS PER MILE PER NOMINAL DIAMETER IN INCHES." CERTIFICATION OF OCCUPANCY MAY NOT BE ISSUED , NOR ANY OCCUPANCY PERMITTED, UNTIL A CERTIFICATE OF COMPLIANCE CERTIFIED BY A LICENSED NYS ROCKLAND COUNTY HEALTH DEPARTMENT AND TO THE ROCKLAND SEWER DISTRICT NO.1.
- DURING THE COURSE OF CONSTRUCTION, THE BUILDER SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID THE CREATION OF DRAINAGE, EROSION AND SILTING PROBLEMS (IN CONSULTATION WITH APPROPRIATE AGENCIES) TO THE TOWN ENGINEERS SATISFACTION
- ALL ELEVATIONS SHOWN ARE ON U.C.S. & G.S. DATUM.
- ALL UTILITIES UNDERGROUND. ELECTRIC SERVICE CONNECTIONS TO INDIVIDUAL HOUSES SHALL BE IN CONDUIT OF NOT LESS THAN 2 INCH DIAMETER.
- ANY EXISTING HOUSE CONNECTION PROPOSED TO BE ABANDONED MUST BE PLUGGED BETWEEN THE EDGE OF THE RIGHT OF WAY AND THE CURB.
- THE LOCATION OF EXISTING UTILITIES MUST BE VERIFIED.
- ALL RETAINING WALLS GREATER THAN FOUR FEET IN HEIGHT MUST BE CERTIFIED AND INSPECTED BY A PROFESSIONAL ENGINEER.
- DISTURBED AREA FOR THE REMOVAL OF THE EXISTING DRIVEWAY TO BE RESTORED WITH TOPSOIL AND SEED.
- PERCOLATION AND DEEP HOLE TESTS ARE REQUIRED TO BE PERFORMED FOR THE PROPOSED DRYWELL FACILITY. THE TESTS SHALL BE WITNESSED/APPROVED BY VILLAGE ENGINEER REPRESENTATIVE. PERCOLATION TESTS ARE TO BE PERFORMED AT THE LOCATION AND ELEVATION OF THE BOTTOM OF THE PROPOSED SYSTEM. DEEP HOLE TESTS SHALL EXTEND AT LEAST (3) FEET BELOW THE PROPOSED SYSTEM.
- VILLAGE ENGINEER TO BE NOTIFIED 48 HOURS PRIOR TO DRAINAGE INSTILLATION AND WITNESS/APPROVED.

R-50 (RESIDENTIAL AVERAGE DENSITY SUBDIVISION)	REQUIRED	PROPOSED
MINIMUM LOT AREA (SQUARE FEET)	25,000 SF *	25,884 SF
MINIMUM LOT FRONTAGE (SQUARE FEET)	90 FT	348 FT
MINIMUM LOT WIDTH (FEET)	125 FT *	190 FT
MINIMUM EFFECTIVE SQUARE, SIDE (FEET)	125 FT	129 FT
FRONT YARD	35 FT *	37.3 FT
REAR YARD	35 FT *	57.8 FT
SIDE YARD (ONE)	20 FT *	20.0 FT
TOTAL SIDE YARDS	50 FT *	50.0 FT
MAXIMUM IMPERVIOUS SURFACE RATIO	0.25	0.43 (V)
MAXIMUM FRONT YARD IMPERVIOUS SURFACE RATIO	0.20	0.19
MAXIMUM BUILDING COVERAGE	0.10	0.34 (V)
MAXIMUM BUILDING HEIGHT (STORIES)	2 1/2	2 1/2
MAXIMUM BUILDING HEIGHT (FEET)	25 FT	28.9 FT (V)
MAXIMUM EXPOSED BUILDING HEIGHT	40 FT	39 FT
ACCESSORY SWIMMING POOL REQUIREMENTS		
SIDE YARD	15 FT	7.4 FT TO POOL, (1.7 FT TO RAISED REAR YARD) (V)
REAR YARD	15 FT	23.4 FT TO POOL, (0.0 FT TO RAISED REAR YARD)

(V) - VARIANCE
* IN ACCORDANCE WITH PLAN TITLED "SUBDIVISION OF PROPERTY FOR J.C. BERD, INC.", PREPARED BY ADLER, CARUSO AND YOUNG ENGINEERS/PLANNERS/LANDSCAPE ARCHTS.

- §230-14(O) - A VARIANCE IS REQUIRED WHERE AN ACCESSORY POOL MAY NOT BE LOCATED CLOSER THEN 15' TO A SIDE OR REAR LOT LINE AND THE PROPOSED POOL IS 7'4" FROM THE EAST SIDE LOT LINE AND 8'3" FROM THE NORTH SIDE LOT LINE. (THE RAISED REAR YARD IS 1.7' FROM THE SIDE LOT LINE, AND THE RAISED REAR YARD IS 0.0 FROM THE REAR LOT LINE).
- §230-17 - A VARIANCE IS REQUIRED WHERE THE MAXIMUM IMPERVIOUS SURFACE RATIO IS 0.25 AND 0.43 IS PROPOSED.
- §230-17 - A VARIANCE IS REQUIRED WHERE THE MAXIMUM BUILDING COVERAGE IS 0.10 AND 0.34 IS PROPOSED.
- §230-17 - A VARIANCE IS REQUIRED WHERE THE MAXIMUM BUILDING HEIGHT IS 2 1/2 STORIES OR 25 FEET AND 2 1/2 STORIES AND 28.9' IS PROPOSED.

PARKING USE	REQUIRED	PROPOSED PARKING
DWELLING UNITS (ONE-FAMILY)	2 SPACES	>2 SPACES

BUILDING COVERAGE CALCULATIONS	PROPOSED
LOT AREA	25,884 SF
BUILDING AREA	5,005 SF
REAR PATIO	3,253 SF
POOL	579 SF
BUILDING COVERAGE INCLUDING PATIO AND POOL	0.34
BUILDING COVERAGE EXCLUDING PATIO AND POOL	0.19

BUILDING HEIGHT CALCULATIONS	PROPOSED
AVERAGE EXISTING GRADE *	546.75 FT
HEIGHT TO EAVE OF THE LARGEST ROOF **	574.9 FT
BUILDING HEIGHT	28.9 FT

IMPERVIOUS SURFACE RATIO CALCULATIONS	PROPOSED
LOT AREA	25,884 SF
BUILDING AREA	5,005 SF
DRIVEWAY AREA	1,429 SF
REAR PATIO AND POOL AREA	3,832 SF
TERRACE AREAS	375 SF
WALKWAY AREAS	489 SF
TOTAL IMPERVIOUS AREA	11,130 SF
IMPERVIOUS SURFACE RATIO	0.43

FRONT YARD IMPERVIOUS SURFACE RATIO CALCULATIONS	PROPOSED
FRONT YARD LOT AREA *	9,451 SF
FRONT YARD IMPERVIOUS AREA	1,786 SF
FRONT YARD IMPERVIOUS SURFACE RATIO	0.19

* IN ACCORDANCE WITH THE DEFINITION IN §230-5 IF THE GRADE ADJACENT TO THE PROPOSED BUILDING IS RAISED THE GRADE AT THE STREET LINE SHALL BE USED AS THE EXISTING GRADE. THE AVERAGE EXISTING GRADE IS BASED ON THE GRADE AT THE STREET LINE. TAKING THE AVERAGE OF 547' AND 546.5' TO OBTAIN AN AVERAGE EXISTING GARDE OF 546.75'.
** THE HEIGHT TO THE EAVE OF THE LARGEST ROOF IS BASED ON THE ARCHITECTURAL PLANS. THE HEIGHT FROM THE FIRST FLOOR TO THE EAVE IS 21'. THE FIRST FLOOR ELEVATION IS 553.9' + 21' = 574.9'.

* THE AREA FROM THE NEAREST BUILDING CORNER TO THE FRONT LOT LINE.

NO.	REVISION	DATE	BY
5.	REVISED REAR LOT LINE DIMENSIONS	12/24/24	ZF
4.	REVISED PER TOWNSHIP REVIEW LETTER	12/24/24	ZF
3.	REVISED PER TOWNSHIP REVIEW LETTER	10/08/24	ZF
2.	REVISED GRADING	08/02/24	ZF
1.	ADJUST HOUSE LOCATION	07/09/24	ZF

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YOSEF PORTNOY PE
10 GILA PLACE
LAKEWOOD, NJ, 08701

PROJECT:
SINGLE-FAMILY RESIDENCE
18 ROVEN ROAD

LOCATION:
SECTION 41.06, BLOCK 1, LOT 38
VILLAGE OF WESLEY HILLS
ROCKLAND COUNTY
NEW YORK

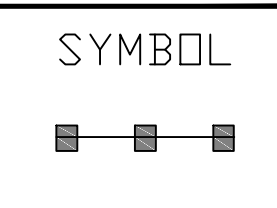
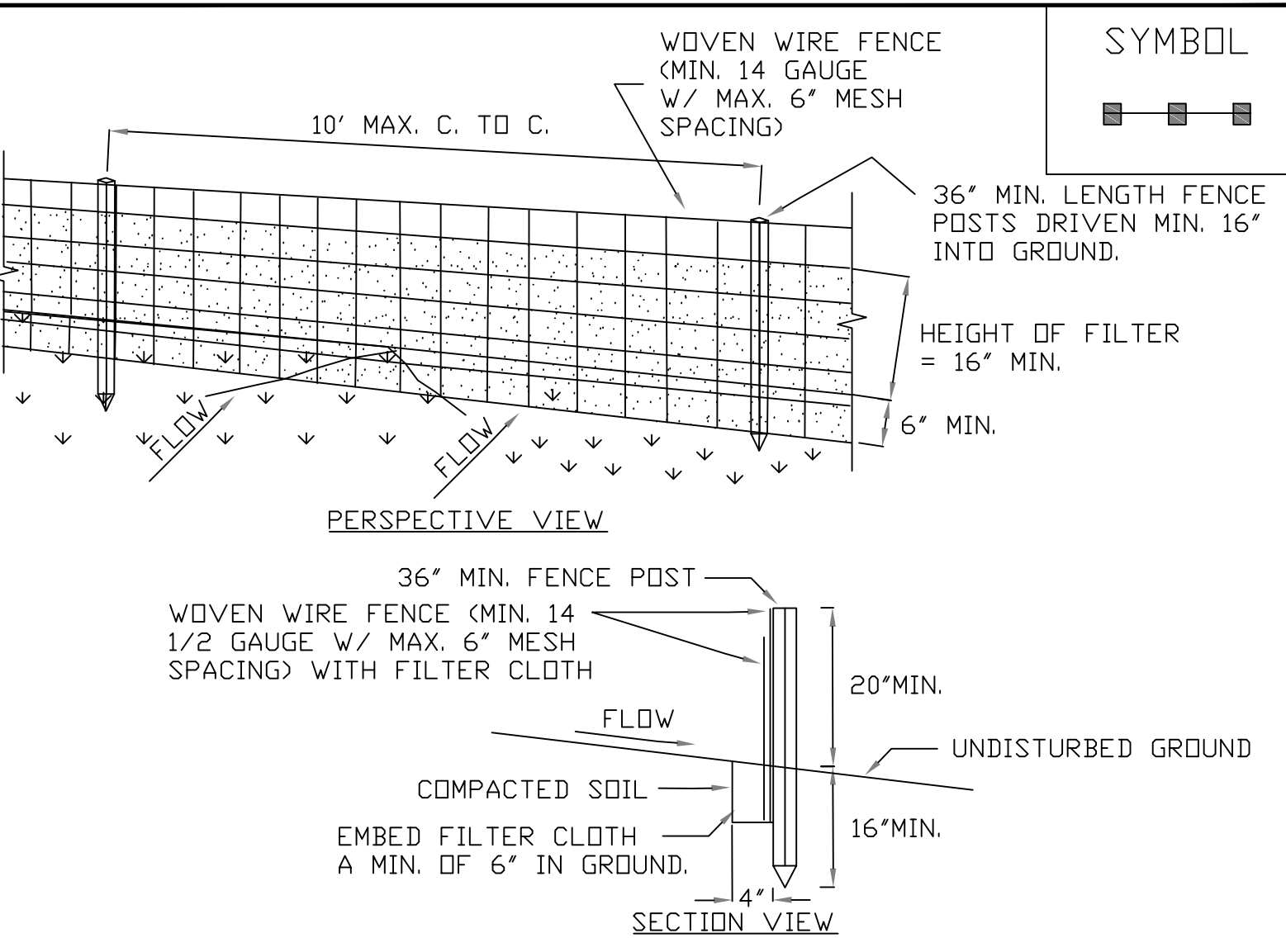
DRAWING TITLE:
PLOT PLAN

PROJECT NO.	DATE	DRAWN BY	CHECKED BY
23168	01/01/2024	SP	YP

SCALE
AS NOTED

SHEET NO.
1
OF
2

YOSEF PORTNOY
LICENSED PROFESSIONAL ENGINEER
NY LICENSE NO. 101151

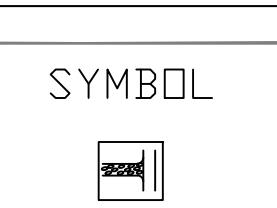
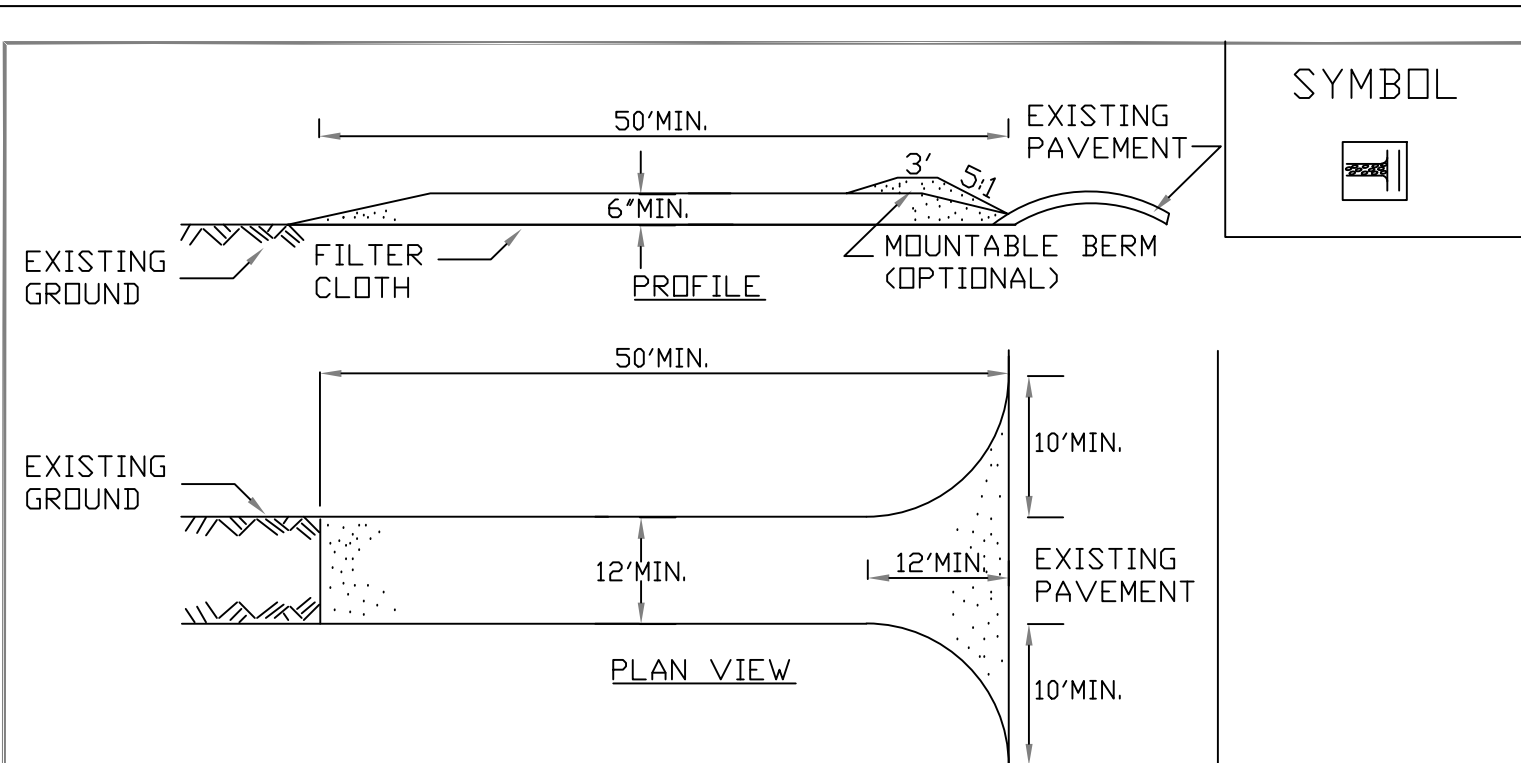


CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER 'T' OR 'U' TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

SILT FENCE

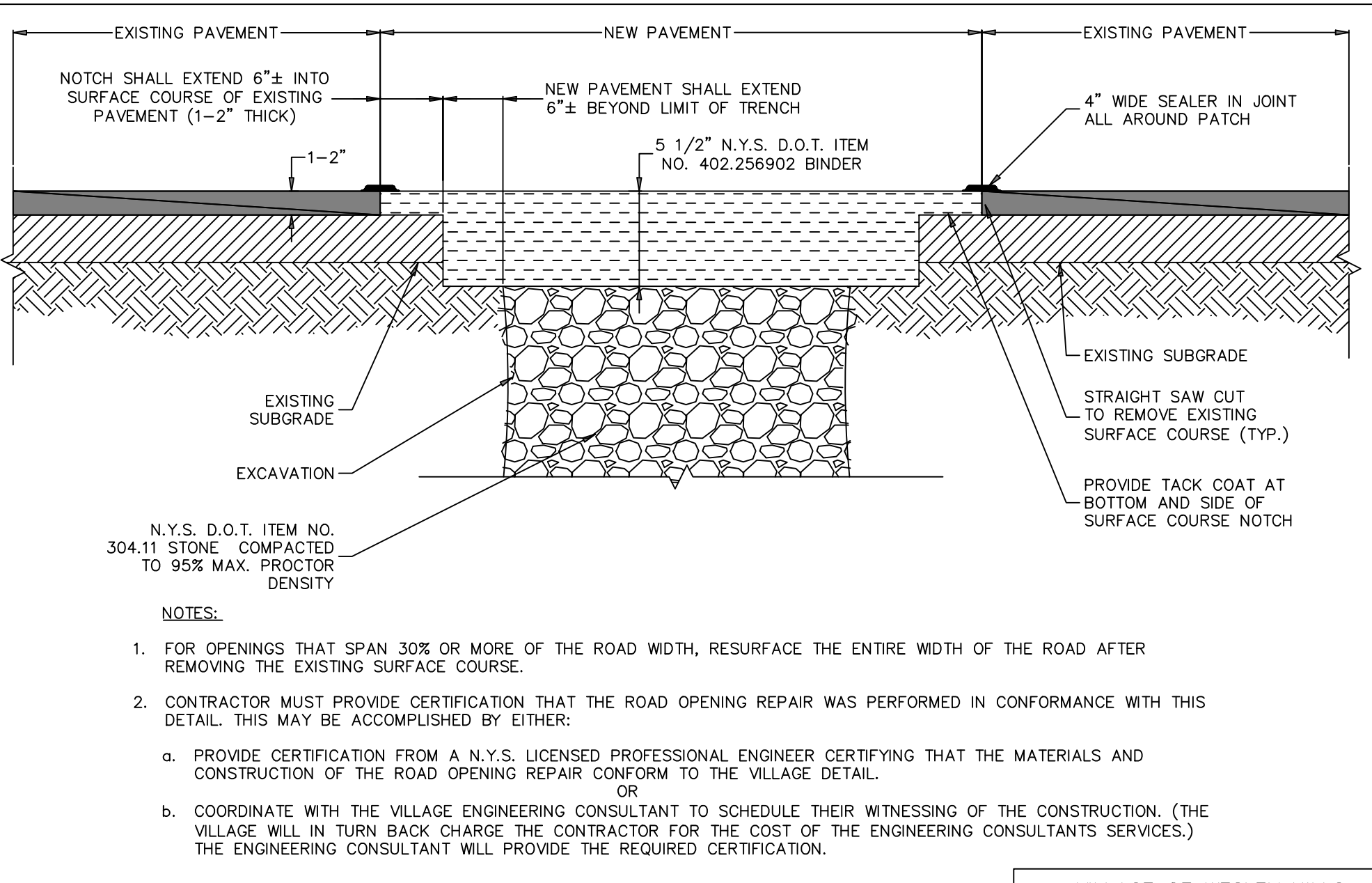


CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

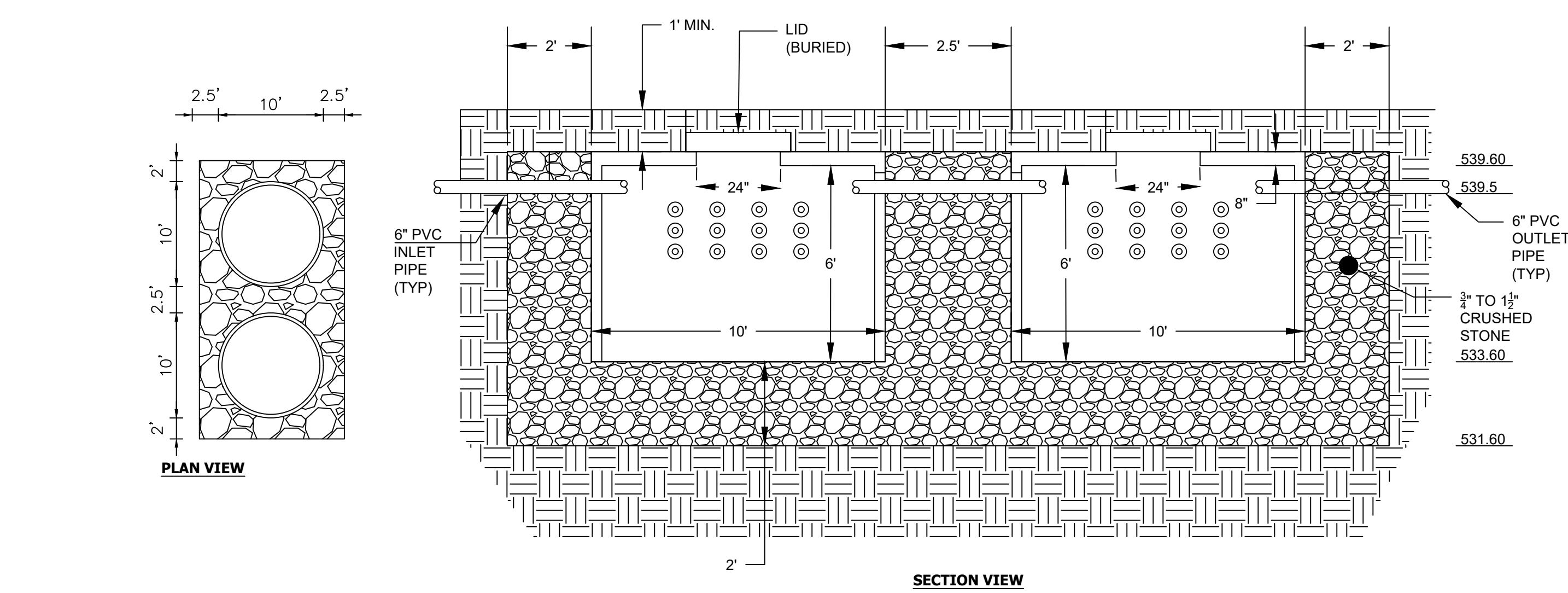
ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

STABILIZED CONSTRUCTION ACCESS



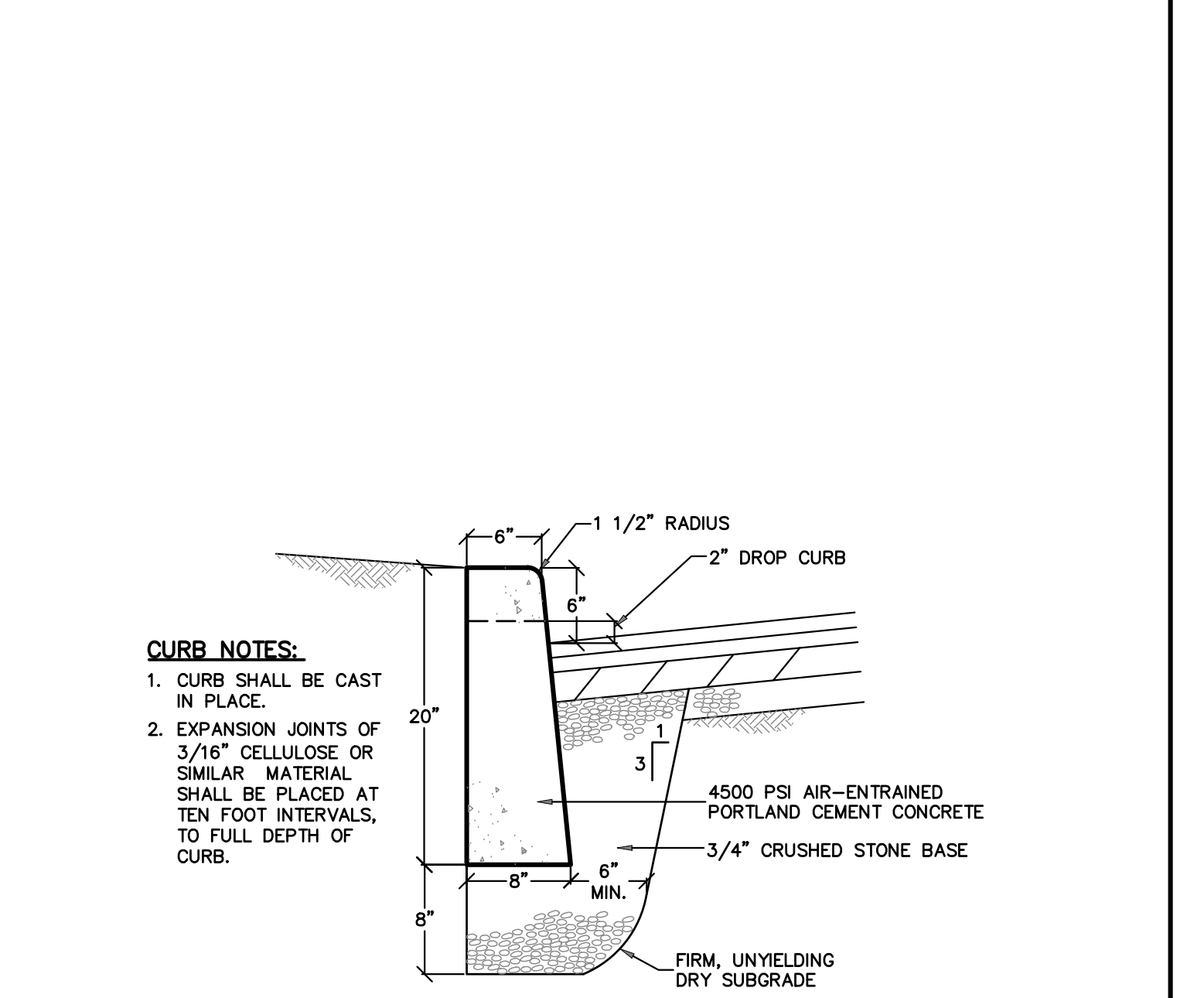
ROAD OPENING REPAIR DETAIL
N.T.S.

VILLAGE OF WESLEY HILLS
ROCKLAND COUNTY, N.Y.
ROAD OPENING REPAIR DETAIL



DRYWELL
N.T.S.

- NOTES**
1. SEEPAGE PIT SHALL BE BY PEERLESS CONCRETE PRODUCTS OR APPROVED EQUAL.
 2. SEEPAGE PIT INSTALLATION IS SUBJECT TO SOIL PERCOLATION TEST AND GROUNDWATER ELEVATION DETERMINATION IN THE FIELD.

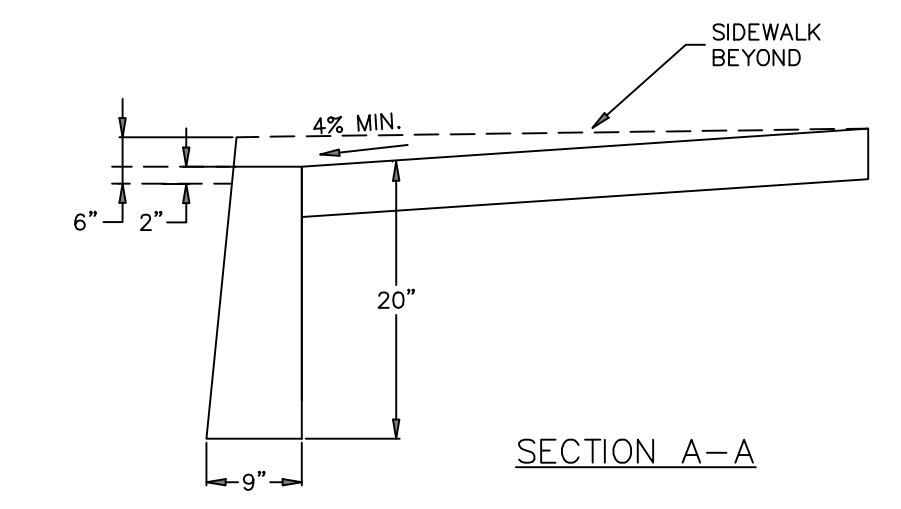
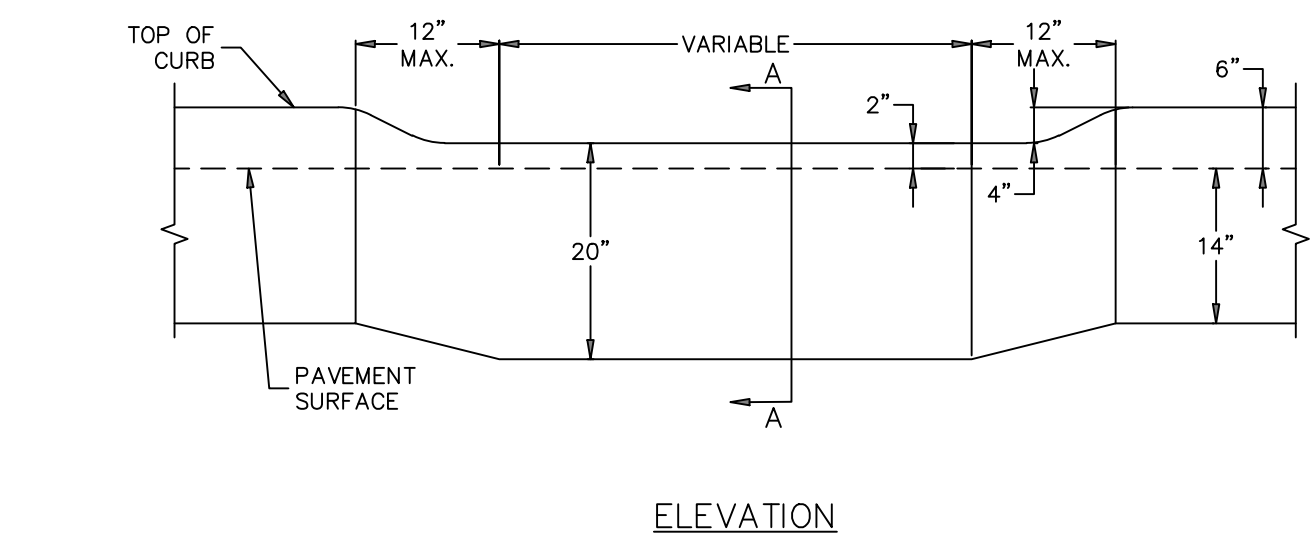


CURB NOTES:

1. CURB SHALL BE CAST IN PLACE.
2. EXPANSION JOINTS OF 3/16" CELLULOSE OR SIMILAR MATERIAL SHALL BE PLACED AT TEN FOOT INTERVALS, TO FULL DEPTH OF CURB.

CONCRETE CURB DETAIL
N.T.S.

VILLAGE OF WESLEY HILLS
ROCKLAND COUNTY, N.Y.



DEPRESSED CURB DETAIL
N.T.S.

- NOTES:**
1. CONCRETE TO TEST 4000 PSI MIN. ON 28 DAY COMPRESSIVE TEST.
 2. STEEL SEPARATIONS SHALL BE USED WITH ALL THE FORMS TO CREATE A CONSTRUCTION JOINT EVERY 10 FEET ALONG CURB.
 3. CONTRACTOR TO NOTIFY VILLAGE ENGINEER PRIOR POURING.

VILLAGE OF WESLEY HILLS
ROCKLAND COUNTY, N.Y.
DEPRESSED CURB DETAIL

NO.	REVISION	DATE	BY
5.	REVISED REAR LOT LINE DIMENSIONS	12/24/24	ZF
4.	REVISED PER TOWNSHIP REVIEW LETTER	12/24/24	ZF
3.	REVISED PER TOWNSHIP REVIEW LETTER	10/08/24	ZF
2.	REVISED GRADING	08/02/24	ZF
1.	ADJUST HOUSE LOCATION	07/09/24	ZF

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YOSEF PORTNOY PE
10 GILA PLACE
LAKEWOOD, NJ, 08701

PROJECT:
SINGLE-FAMILY RESIDENCE
18 ROVEN ROAD

LOCATION:
SECTION 41.06, BLOCK 1, LOT 38
VILLAGE OF WESLEY HILLS
ROCKLAND COUNTY
NEW YORK

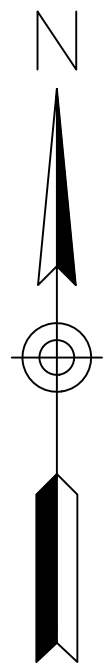
DRAWING TITLE:
DETAILS

PROJECT NO.	DATE	DRAWN BY	CHECKED BY
23168	01/01/2024	SP	YP

SCALE
AS NOTED

SHEET NO.
3
OF

YOSEF PORTNOY
LICENSED PROFESSIONAL ENGINEER
NY LICENSE NO. 101151



41.06 - 1 - 38
25,884 Sq. Feet
0.594 Acres
SINGLE FAMILY HOUSE
BFE: 541.90
GFE: 550.65
FFE: 553.90

41.11 - 1 - 1
N/F ISAACS
CG_SETTING

5.	REVISED REAR LOT LINE DIMENSIONS	12/24/24	ZF
4.	REVISED PER TOWNSHIP REVIEW LETTER	12/24/24	ZF
3.	REVISED PER TOWNSHIP REVIEW LETTER	10/08/24	ZF
2.	REVISED GRADING	08/02/24	ZF
1.	ADJUST HOUSE LOCATION	07/09/24	ZF
NO.	REVISION	DATE	BY

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YOSEF PORTNOY PE
10 GILA PLACE
LAKEWOOD, NJ, 08701

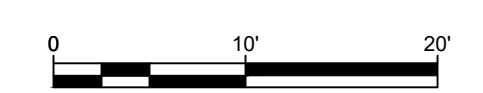
PROJECT:
SINGLE-FAMILY RESIDENCE
18 ROVEN ROAD

LOCATION:
SECTION 41.06, BLOCK 1, LOT 38
VILLAGE OF WESLEY HILLS
ROCKLAND COUNTY
NEW YORK

DRAWING TITLE:
TREE REMOVAL PLAN

PROJECT NO. 23168	DATE 01/01/2024	DRAWN BY SP	CHECKED BY YP
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SCALE AS NOTED
SHEET NO. 1 OF 1
YOSEF PORTNOY LICENSED PROFESSIONAL ENGINEER NY LICENSE NO. 101151



ZONING BOARD OF APPEALS
VILLAGE OF WESLEY HILLS

NARRATIVE SUMMARY

18 ROVEN ROAD
Tax Lot 41.06-1-38

Prepared by: Barnett Brodie

This is an application for the demolition and replacement of an existing house at 18 Roven Road (“plot”), which is one of the nine lots of the J.C. Berd Realty Cluster Subdivision (“Berd Cluster Subdivision”). The applicants (Mrs. Elana Motechin) wish to demolish the existing building and build a new two and a half story home for them and their six children. The applicants also wish to add hardscape and a swimming pool. Because of the undersized nature of the lot (it has a deviated set of density requirements, as explained below), its pie/wedge shape, the depth of the Village of Wesley Hills (“Village”) sanitary sewer main within Roven Road, and the plot topography relative to the street, 4 variances will be required: (1) impervious surface ratio; (2) building coverage; (3) building height (feet); and (4) the accessory structure distance to the side yard.

The precise dimensions of the new home are shown on the plot plan submitted herewith. The original plot plan was submitted to the Village Engineer for review. The application for variances is based on the Village Engineer’s review and comment.¹

The plot was created as part of an average density cluster subdivision, the Berd Cluster Subdivision that was approved on July 6, 1973 and filed on the Town of Ramapo land records on December 21, 1973. (The Village was not incorporated until 1982. The entire Berd Cluster Subdivision is now located in the Village in the R-50 District.) It is therefore a legal non-complying bulk. The subdivision was approved and developed as a cluster subdivision because 40% of the land was donated to the Village in 1973. Upon information and belief, that donated and preserved land is known as 91 Willow Tree Road.

The plot is a pie/wedge-shaped lot on the North side of Roven Road, which ends at a cul-de-sac to the Southeast of the plot. The plot has an area of 25,884 sq. ft. It is improved by a two-story dwelling. The site is in an R-50 zone, which generally requires a minimum lot size of 50,000 sq.

¹ The applicants’ position is that they are not required to obtain a variance for the above listed building requirements because the plot is part of the Berd Cluster Subdivision and there have not been any zoning changes to the subdivision, which is the only manner in which the density requirements could be changed. However, applicants understand the Village’s position and wish to obtain the necessary approvals in the most expeditious manner so they may construct their future residence. Accordingly, applicants submit this narrative in support of their application for variances.

ft. or 40,000 sq. ft. for average density subdivisions. At only 25,884 sq. ft., the plot is well-undersized for that zone.

By virtue of the plot being part of the Berd Cluster Subdivision, it was developed in connection with the donation of common open space that benefits the residents and community at large. See *Kamhi v. Plan. Bd. of Town of Yorktown*, 454 N.Y.S.2d 875, 887 (N.Y. App. Div. 2d Dept. 1982), *rev'd*, 452 N.E.2d 1193 (N.Y. 1983) (internal citations omitted). The donated land has been preserved for its natural and scenic qualities for everyone in the Village to enjoy. The very essence of the plot’s existence has been to provide a benefit to other properties and their homeowners.

[T]he essence and concept of cluster development under section 281 is that common open space must be set aside “to preserve the natural and scenic qualities of open lands.” By clustering the dwellings, the remaining portion of the tract is available for such purposes without altering existing density requirements of the zoning ordinance. Unlike subdivision approval under sections 277 and 278, the tract itself must provide such common open space as a condition of clustering approval By drafting the statute to mandate conditions “on . . . ownership, use, and maintenance”, the Legislature was careful to insert precise terminology designed primarily to address the problems which have arisen in cluster developments. Section 281, therefore, reflects a legislative judgment that such conditions will benefit both the residents thereof, and the community at large, leaving to the planning board the responsibility of balancing the public and private interests involved in the preservation of the common open space.

Kamhi v. Plan. Bd. Of Town of Yorktown, 454 N.Y.S.2d 875, 886 (N.Y. App. Div. 2d Dept. 1982), *rev'd*, 452 N.E.2d 1193 (N.Y. 1983).

In exchange for J.C. Berd Realty’s donation of 4.468 acres of land (approximately 40% of the subdivision) to the Town of Ramapo in 1973 for use as a local park, each parcel of property within the Berd Cluster Subdivision, including the plot, was assigned the following density requirements:

- Minimum Lot Area: 25,000 sq. ft.
- Minimum Lot Width: 125 feet
- Minimum Front Yard: 35 feet
- Minimum Side Yard: 20 feet, Total 50 feet
- Minimum Rear Yard: 35 feet

No other zoning requirements were assigned to the plot. In accordance with the above deviated density requirements, the plot’s lot area is 25,302 sq. ft. As stated above, the plot is approximately 15,000 sq. ft. smaller than other average density subdivision lots in the R-50 zone

and one half of all other lots in the R-50 zone, making current zoning specifications nearly impossible to meet. Accordingly, variances are required.

Criteria for Variance

In deciding to grant an area variance, a board of appeals “shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant.” Town L. § 267-b (3)(b); Village L. § 7-712-b.3(b). The board must also consider the following:

(1) whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance; (2) whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance; (3) whether the requested area variance is substantial; (4) whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and (5) whether the alleged difficulty was self-created, which consideration shall be relevant to the decision of the board of appeals, but shall not necessarily preclude the granting of the area variance.

N.Y. Town Law § 267-b (McKinney).

Reasons why each variance should be granted are set forth in detail below. Each of the above criteria will be discussed for each variance.

Variance Nos. 1 and 2– Impervious Surface Ratio and Maximum Building Coverage

A variance should be granted for the impervious surface ratio and maximum building coverage because, as explained above, the plot is part of the Berd Cluster Subdivision, in which 40% of the subdivision was donated to the Village to be preserved as a park. This directly impacted the size of the plot. It is substantially smaller than other plots in the R-50 zone. The R-50 average density subdivision zone requirements are based on lots that are at least 40,000 sq. ft.

The impervious surfaces of the proposed plans consist of a modest driveway leading to a two-car garage, a small front entrance terrace and walkway, a sunken side property terrace, a backyard terrace, House and a pool. The impervious surface ratio of the proposed plan is .43 of the 25,884 sq. ft. lot and the maximum impervious surface ratio for homes in average density subdivisions in the R-50 zone is 0.25 for 40,000 sq. ft. lots.

The building coverage for the proposed home is .34 of the 25,884 sq. ft. lot and the maximum building coverage for 40,000 sq. ft. lots the R-50 zone (in average density subdivisions) is .10.

Allowing the variance to the impervious surface area and maximum building coverage will not create an undesirable change in the character of the neighborhood. Instead, it will permit the plot to resemble other nearby plots in the same subdivision and zone. As with other areas of the Village, the Roven Road area is undergoing a change. Houses built in the 1970s and 1980s are being replaced with much larger homes. Many of these new homes also have swimming pools, terraces, and other outdoor amenities. A portion of the proposed impervious surface area of the plot is for a swimming pool and terraces. As such, the variance for impervious surface ratio will permit the plot to resemble other nearby plots.

No undesirable change will be created, and it will not be a detriment to other properties. Permitting applicants to include all desired impervious surfaces will increase the value of nearby properties. Also, this plot is significantly smaller in size than all other Zone R-50 properties (which have minimum lot areas of 40,000 and 50,000 sq. ft.) because 40% of the entire subdivision was donated to the Village to be permanently preserved and undeveloped. Had the land not been donated, the plot could have been at least 50,000 sq. ft. and the proposed home would sufficiently comply with the .10 maximum building coverage.

The benefit of an increased impervious surface and building coverage ratios cannot be achieved by some method, feasible for applicants to pursue, other than an area variances. To build a home comparable in size to other nearby homes, while also permitting applicants to construct a beautiful outdoor space for their family to enjoy, applicants require these variances. The applicants are limited by the number of stories they may build. Accordingly, the only way to achieve a home that is comparable to other nearby homes is to cover more ground, both with the building and other outdoor amenities.

The requested area variances are not substantial considering the amount of land donated to the Town of Ramapo to be permanently preserved and the size of the plot, which was a direct result of the land donation. If the impervious surfaces were being built on 40,000 sq. ft., it would result in an impervious surface ratio of .22, which is only .12 greater than the minimum. If they were built on a 50,000 sq. ft. lot (which are also in the R-50 zone), it would result in an impervious surface ratio of .17. Also, the actual building coverage is only .19. However, because the rear patio will be elevated, it is included in the building coverage calculation.

This Board of Appeals regularly grants variances for impervious surface ratios above the allowable ratios. *See Exhibit 1* (on May 15, 2024, applicant was permitted an impervious surface ratio of **.30**); *see Exhibit 2* (on February 15, 2023, applicant, owner of a 15,000 sq. ft. lot, was permitted an impervious surface ratio of **.28**); *see Exhibit 3* (on February 17, 2021, applicant was permitted an impervious surface ratio of **.316** and another applicant was permitted a ratio of **.24**); *see Exhibit 4* (on November 18, 2020, applicant was permitted an impervious surface ratio of **.335** and another applicant was permitted a ratio of **.251**); *see Exhibit 5* (on September 16, 2020, applicant was permitted an impervious surface ratio of **.32** and other applicants were permitted ratios of **.28** and **.26** respectively); *see Exhibit 6* (on April 18, 2018, applicant was permitted an impervious surface ratio of **.36** and another applicant was permitted a ratio of **.282**).

The Board of Appeals also regularly grants variances for maximum building coverage ratios above the allowable ratios. *See Exhibit 1* (on May 15, 2024, applicant, owner of undersized 24,914 sq. ft. lot, was permitted a building coverage ratio of **.125** and another applicant was permitted a building coverage ratio of **.122**); *see Exhibit 7* (on September 20, 2023, applicant was permitted a building coverage ratio of **.13** and another applicant was permitted a ratio of **.132**); *see Exhibit 2* (on February 15, 2023, applicant, owner of 15,000 sq. ft. lot, was permitted a building coverage ratio of **.21**); *see Exhibit 3* (on February 17, 2021, applicant was permitted a building coverage ratio of **.15** and another was permitted a ratio of **.1293**); *see Exhibit 4* (on November 18, 2020, applicant was permitted a building coverage ratio of **.231**); *see Exhibit 5* (on September 16, 2020, applicant was permitted a building coverage ratio of **.135**); *see Exhibit 6* (on April 18, 2018, applicant was permitted a building coverage ratio of **.18**).

The proposed variances will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district. As explained above, the proposed variance is requested to improve the property, increase nearby home values, and maintain the desirability of the neighborhood. Moreover, 40% of the entire subdivision land was previously donated to the Village to be preserved as a park and used by the community. It remains preserved and has had a positive impact on the environmental conditions of the neighborhood.

The alleged difficulty in complying with the current impervious surface and building coverage ratios was not self-created but was the result of a significant donation to the Town of Ramapo by J.C. Berd in 1973.

Variance No. 3– Building Height (Feet)

The applicants seek to build a home that is 28.9 feet high, a mere 3.9 feet taller than the R-50 maximum building height of 25 feet. A variance should be granted for the building height in feet because the property is sunken in - the existing grade at the front right (East) building corner is about 5 feet below the road elevation and the left corner is about 3 feet below the road at that location.. The variance is needed so that the applicants can construct their home with gravity sewer connections – ensuring that the sewer and sewage travels down to the street to avoid the installation of a sewage pipe pump and to avoid a potential pump issue and backup into the home. The proposed home will be elevated to ensure that the sewage pipe runs downstream to the street. Moreover, in the Roven Road area of the Village of Wesley Hills, 11-foot ceilings are typical. To construct a home with two and a half stories, 11-foot ceilings, and leaving sufficient room for the HVAC equipment in the ceiling, the variance is necessary. The Village sewage pipe is not deep enough to account for the two and a half stories, 11-foot ceilings, and sufficient room in the ceiling for the HVAC equipment. It would be a hardship not to permit this variance.

No undesirable change will be produced in the character of the neighborhood, and it will not be a detriment to neighboring properties because the properties across the street from the applicant’s plot (4, 6 and 8 Roven Road) are presently significantly higher than applicants’ property because

of the topography. The proposed plans for 18 Roven Road would result in a home that would still be significantly lower than the home at 8 Roven Road.

The benefit sought by applicants cannot be achieved by some method feasible for applicants other than the variance because applicants cannot change the location of the Village sewer pipe. And, to permit applicants to have plumbing in their basement and ensure gravity sewer connection, the house basement must be raised slightly above the sewer main, which dictates the overall height of the building.

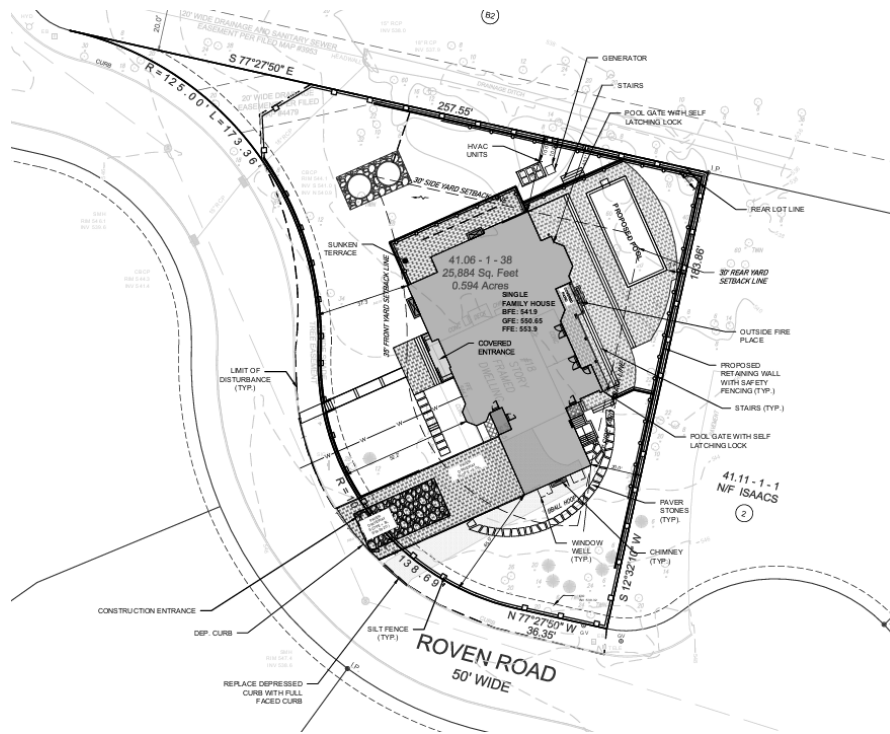
The requested variance is not substantial – it is a mere 3.9 feet greater than the maximum. And, as explained above, when constructed, the home will still be shorter than at least one of the homes across the street (8 Roven Road), which sits on a hill. The other home that is visible online (4 Roven Road) appears to be a one-story home and is not an appropriate comparison to the proposed 2.5 story home.

The proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district. Applicants are not aware of any physical or environmental conditions in the neighborhood or district that will be impacted by permitting the additional 3.9 feet to the home height.

Finally, the alleged difficulty was not self-created but is a result of the current location of the Village sewage pipe and natural topography of the plot.

Variance No. 4 – Accessory Structure (Pool) Distance to the Side Yard

A variance should also be granted for the accessory structure, the pool's, distance to the East Side Yard because, as explained above, the plot is part of the Berd Cluster Subdivision, making it substantially smaller than other plots in the R-50 zone. Also, as depicted below, the plot plan is the shape of a pie. Because of the pie shape, applicants are at a disadvantage in installing a pool in the backyard that is not within 15 yards from the side yard.



Allowing this variance will not create an undesirable change in the character of the neighborhood. Instead, it will permit the plot to resemble other nearby plots in the same subdivision and zone. As with other areas of the Village, the Roven Road area is undergoing a change. Many of these new homes on and near Roven Road have swimming pools, terraces, and other outdoor amenities. As such, the variance for the pool's distance to the side yard will permit the plot to resemble other nearby plots.

The benefit sought by applicants cannot be achieved by some other method. To permit applicants to have a usable backyard patio before the pool area, applicants need the pool to be set back closer to the rear and side yard. Moreover, the requested area variance is not substantial considering the shape of the property. The pool is currently 6.7' from the side lot line. However, applicants plan to construct a retaining wall and fence along the side of the plot where the pool is 6.7' from the side yard. As such, the pool will not impinge upon the neighboring property because the retaining wall and fence will enclose the backyard and any view of the pool.

The proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district. Pools are permitted and the size of the pool is permitted. The only reason for seeking the variance is because one corner of the pool is not 15 feet from the side lot line. However, as stated above, the retaining wall and fence will prevent any issues with the abutting property.


The alleged difficulty was not self-created. The plot is significantly smaller than other plots in the R-50 zone because 40% of the land was donated to the Town of Ramapo in 1973. As such,

the plot is a smaller size and the shape of a pie, limiting the land on which applicants may construct an outdoor space, including a pool.

Relief requested

Accordingly, applicants request the following variances: (1) impervious surface ratio; (2) building coverage; (3) building height (feet); and (4) the accessory structure distance to the side lot lines, all as set forth on the site plan drawing submitted herewith.

Dated: December __, 2024
Village of Wesley Hills, New York



Barnett Brodie

File Attachments for Item:

6. February 19, 2025



ZONING BOARD OF APPEALS MEETING MINUTES

February 19, 2025, at 7:30 PM

432 Route 306, Wesley Hills, NY 10952

Phone: 845-354-0400 | Fax: 845-354-4097

MEMBERS PRESENT:

Stefanie Collantes-Bouvry, Acting Chairwoman
Richard Weinberger, Member
Stuart Zelmanovitz, Member
Randi Marlin, Member
Barry Rozenberg, Ad Hoc

ABSENT:

Jonathan Gewirtz, Chairman
Anita Hajioff, Ad Hoc

OTHERS PRESENT:

Doris Ulman, Assistant Village Attorney
Camille Guido-Downey, Village Clerk-Treasurer

Acting Chairwoman Collantes-Bouvry opened the meeting at 7:35 pm followed by a roll call.

ITEM #1-PUBLIC HEARING – 4 Kentor Lane

Acting Chairwoman Collantes-Bouvry read the following public hearing notice into the record:

Application submitted by Yisroel Sandel for variances from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of an addition to a single-family residence having a front yard of 40 feet instead of the minimum required of 50 feet and rear yard of 20.4 feet instead of the minimum required of 50 feet.

The subject premises are situated on the south side of Kentor Lane approximately 200 feet east of Route 306, known as 4 Kentor Lane, designated on the Tax Map as Section 41.11 Block 2 Lot 36, in an R-35 Zoning District.

Yisroel Sandel was present and was affirmed to tell the truth. Mr. Sandel stated that his family wished to construct an addition to their existing home that requires and front and rear yard variance. Mr. Sandel stated that he is a contractor and will be the GC on the project. Mr. Sandel stated that his family is growing, and additional space is needed. The addition will be placed on the right side of the home and the main entrance to the home will be relocated to the side of the home of the new addition.

Acting Chairwoman Collantes-Bouvry read into the record an email from Howard Richman from 4 Kentor Lane who objects to the front yard variance request.

Mrs. Sandel was present and affirmed to tell the truth and stated that when designing the addition they decided to move everything to one side of the property to lessen the noise to the neighbors.

Lilli Bernstein, 6 Kentor Lane was present and affirmed to tell the truth and stated that she objects to any variance that places a structure closer to her lot lines. Ms. Bernstein stated that she does yoga outside and wants her privacy. Mrs. Bernstein stated that the area is wet and cautions the homeowner when constructing the addition.

Joshua Stein, 12 Kentor Lane was present and affirmed to tell the truth and noted that this property borders' Town wetlands.

John Hughs, 5 Earl Court was present and affirmed to tell the truth and stated that he is concerned with the wetlands and wants to ensure that the contractor/homeowner does not disturb the water table in the area.

Stuart Zelmanovitz made a motion to adjourn this application to the March 19, 2025, meeting and further schedule a site visit on March 9, 2025, seconded by Randi Marlin. Upon vote, this motion carried unanimously.

ITEM #2-PUBLIC HEARING – 6 HASTINGS ROAD

Acting Chairwoman Collantes-Bouvry read the following public hearing notice into the record:

Application submitted by Nancy Rubin on behalf of Avrohom Orzel for variances from the provisions of Section 230-17 Attachment I and Section 230-14O(4)(a) of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of a single family residence, inground swimming pool and other structures having building coverage of .14 instead of the maximum permitted of .10, impervious surface ratio of .40 instead of the maximum permitted of .25, front yard impervious surface ratio of .24 instead of the maximum permitted of .20, side yard setback of 14.5 feet to the swimming pool instead of the minimum required of 15 feet and rear yard setback of 14.7 feet to the swimming pool instead of the minimum required of 15 feet.

The subject premises are situated on the north side of Hastings Road approximately 750 feet east of Forshay Road, known as 6 Hastings Road, designated on the Tax Map as Section 41.14 Block 1 Lot 35, in an R-35 Zoning District.

Stanley Mayerfeld, Architect, was present and affirmed to tell the truth. Mr. Mayerfeld stated that the family is seeking to construct a new home with a pool for themselves and extended family. Mr. Mayerfeld stated that he was recently retained and that the family is reviewing the proposed plans for a reduction in all the variances. The family wants to respect their neighbors and their privacy.

Doris Ulman requested that the revised plan be submitted to the Board by the March 9 site visit.

Jeffrey Nulman, 14 Glenbrook was present and affirmed to tell the truth and stated that he is concerned as the homeowner has removed all the trees on the property. Mr. Mayerfeld noted that Mr. Nulman is mistaken as they do not share the same rear yards.

Barry Rozenberg questioned if the homeowner will be installing landscaping?

Malky Orzel was present and affirmed to tell the truth. Mrs. Orzel answered yes, they will be installing landscaping and screening from the neighbors. Mrs. Orzel stated that they have not removed any trees on their property and noted that during a recent storm some trees fell down due to nature.

Richard Weinberger requested letters of support from the neighbors.

Mr. Brody, 8 Carter Lane was present and affirmed to tell the truth and stated that the Board should grant the requested variances as the home will be a beautiful improvement to the community. Mr. Brodie stated that the proposed home is smaller than the surrounding homes.

Randi Marlin made a motion to adjourn this application to the March 19, 2025, meeting and further schedule a site visit on March 9, 2025, seconded by Stuart Zelmanovitz. Upon vote, this motion carried unanimously.

ITEM #3 – PUBLIC HEARING – 16 AMSTERDAM AVE

Acting Chairwoman Collantes-Bouvry read the following public hearing notice into the record:

Application submitted by Mark Mindick for variances from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of an addition to a single family residence and deck having front yard of 38.6 feet on Amsterdam Avenue instead of the minimum required of 50 feet, 29.7 feet on Jodi Court instead of the minimum required of 50 feet and building coverage of .154 instead of the maximum permitted of .10.

The subject premises are situated on the south side of Amsterdam Avenue 0 feet west of the intersection with Jodi Court, known as 16 Amsterdam Avenue, designated on the Tax Map as Section 41.11 Block 1 Lot 45, in an R-35 Zoning District.

Stanley Mayerfeld, Architect, was present and affirmed to tell the truth. Mr. Mayerfeld stated that the existing home is a ranch style home with one level. The homeowners are proposing an addition to the existing home which includes a dining room and two bedrooms. The Applicant is also replacing the existing pool deck material which is impervious with pervious pavers to reduce the variances being sort.

Doris Ulman stated that the Applicant has received variances in 2017 and 2019.

Stanley Mayerfeld stated that variances were granted in 2017, but construction never occurred. The Applicant modified their plan and came back to the ZBA in 2019 for revised variances.

Mrs. Mindick was present and sworn in and stated that while this is the second addition to the home, she stated that the lot is oddly shaped and undersized. Mrs. Mindick provided the Board with a list of homeowners who are in support of the project. The following names and addresses were on the list:

- Fruchthandler, 21 Amsterdam Ave
- Schlisselfeld, 19 Amsterdam Ave
- Koblick, 17 Amsterdam Ave
- Kram, 15 Amsterdam Ave

- Schlisselfeld, 11 Amsterdam Ave
- Jacobson, 5 Jodi Court
- Hershkowitz, 1 Jodi Court

Barry Rozenberg questioned if the homeowner will be installing landscaping? Mr. Rozenberg also mentioned that the calculations on the bulk table seem to be off, please review.

Stanley Mayerfeld answered yes landscaping screening will be provided and he will review the calculations.

Acting Chairwoman Collantes-Bouvry made a motion to adjourn this application to the March 19, 2025, meeting and further schedule a site visit on March 9, 2025, seconded by Stuart Zelmanovitz. Upon vote, this motion carried unanimously.

ITEM #4 – PUBLIC HEARING – 57 EAST WILLOW TREE ROAD

Acting Chairwoman Collantes-Bouvry read the following public hearing notice into the record:

Application submitted by Pablo Umansky for variances from the provisions of Section 230-17 Attachment I and Section 230-14O(a)(4) and (5) of the Code of the Village of Wesley Hills to permit the construction, maintenance and use of a two story addition and terraces to a single family residence having a side yard of 11.5 feet instead of the minimum required of 25 feet, building coverage of .12 instead of the maximum permitted of .10, impervious surface ratio of .35 instead of the maximum permitted of .25 and an accessory building (garage) that is 1340 square feet instead of the maximum permitted of 900 square feet.

The subject premises are situated on the south side of East Willow Tree Road approximately 175 feet west of Arcadian Drive, known as 57 East Willow Tree Road, designated on the Tax Map as Section 41.12 Block 2 Lot 4, in an R-35 Zoning District.

Paul Baum, Esq was present on behalf of the applicant and stated that the property is located in an R35 zone and is a single-family home. The applicant would like to construct a small addition to the rear of the home in the amount of 610 sf and another small addition of 100 sf to the master bedroom. The applicant’s family is expanding, and the family needs some extra space. Mr. Baum listed the following variances:

- 1. side yard of 11.5 feet instead of the minimum required of 25 feet.
- 2. building coverage of .12 instead of the maximum permitted of .10.
- 3. impervious surface ratio of .35 instead of the maximum permitted of .25.

Mr. Baum stated that the accessory building (garage) has been on the property for several years. The garage has a C of O and is not a part of the application. Mr. Baum stated that he is confused as to why the variance for an accessory building, 1,340 square feet, instead of the maximum permitted of 900 square feet was written in the public hearing notice.

Doris Ulman stated that she added that to the application as the plan did not say that the garage was preexisting. Ms. Ulman apologized and stated that the variance will be removed. Ms. Ulman requested the Clerk to provide her with all the C of Os for the property. Mr. Baum requested the same.

Mr. Baum stated that there will be no deterrent to the neighbor or the community as the additions are very small. Mr. Baum noted that the next-door lot is vacant, and they have support of the rear home.

Doris Ulman stated that the plan submitted to the Board does not show the height of the fences and requested Mr. Baum to show her on the plan the height of the existing fence. Mr. Baum directed Ms. Ulman to the note on the side of the plan that was submitted this evening.

Mr. Baum provided the Board with an aerial picture of the home and the surrounding properties.

Mr. Nulman, 14 Glenbrook was present and affirmed to tell the truth and asked if the attic would be increased to create additional living space?

Mr. Baum answered there is no plan for any attic renovation.

Stuart Zelmanovitz made a motion to adjourn this application to the March 19, 2025, meeting and further schedule a site visit on March 9, 2025, seconded by Randi Marlin. Upon vote, this motion carried unanimously.

ITEM #5 – PUBLIC HEARING – 9 MARCUS DRIVE

Acting Chairwoman Collantes-Bouvry read the following public hearing notice into the record:

Application submitted by Nancy Rubin on behalf of Kenneth and Tamar Schaum for variances from the provisions of Section 230-17 Attachment I of the Code of the Village of Wesley Hills, to permit the construction, maintenance and use of an addition to a single family residence having total side yard of 59.9 feet instead of the minimum required of 60 feet, building coverage of .12 instead of the maximum permitted of .10, impervious surface ratio of .409 instead of the maximum permitted of .25 and front yard impervious surface ratio of .269 instead of the maximum permitted of .20.

The subject premises are situated on the east side of Marcus Drive approximately 300 feet south of Village Green, known as 9 Marcus Drive, designated on the Tax Map as Section 41.12 Block 1 Lot 37, in an R-35 Zoning District.

Kenneth Schaum, the owner, was present and affirmed to tell the truth. Mr. Schaum stated that his family is proposing three additions to the existing home. One addition is two stories which will accommodate a larger kitchen area and second floor bedroom. The second bump out is squaring off the rear deck area by 6-7 feet to enlarged dining area. We are also proposing a covered porch area to the front entrance of the home.

Acting Chairwoman Collantes-Bouvry requested letters of support from neighbors.

Randi Marlin made a motion to adjourn this application to the March 19, 2025, meeting and further schedule a site visit on March 9, 2025, seconded by Acting Chairwoman Collantes-Bouvry. Upon vote, this motion carried unanimously.

ITEM #6 – PUBLIC HEARING – 18 ROVEN ROAD

Acting Chairwoman Collantes-Bouvry read the following public hearing notice into the record:

Application submitted by Elana Motechin for variances from the provisions of Sections 230-17 Attachment I and 230-140(4)(a) to permit the construction, maintenance and use of a single family residence and inground swimming pool having a rear setback of 30 feet instead of the minimum required

of 35 feet, building coverage of .34 instead of the maximum permitted of .10, building height of 28.9 feet instead of the maximum permitted of 25 feet, impervious surface ratio of .43 instead of the maximum permitted of .25, swimming pool side setback of 7.4 feet instead of the minimum required of 15 feet and swimming pool rear setback of 8.3 feet instead of the minimum required of 15 feet.

The subject premises are situated on the north side of Roven Road 0 feet from the intersection with Carefree Lane, known as 18 Roven Road, designated on the Tax Map as Section 41.06 Block 1 Lot 38, in an R-50 Zoning District.

Barnett Brodie, 8 Carter Lane was present and stated he is the owner of the property with his wife. Mr. Brodie was affirmed to tell the truth and read into the record his narrative that he provided to the Board.

Mr. Brodie stated that he takes objection to Ms. Ulman’s requirement that they apply for variances because park property was donated to the Town by the subdivision.

Ms. Ulman stated he is welcome to submit an interpretation of the law for the Board’s review.

Yosef Portnoy, PE was present and affirmed to tell the truth. Mr. Portnoy displayed for the Board the site plan that was provided and described the variances needed. Mr. Portnoy is the applicant’s engineer.

Mr. Fienberg, Architect, was present and affirmed to tell the truth. Mr. Feinberg provided to the Board four color pictures of the proposed new home on the lot. Mr. Feinberg described the architecture design of the home and stated that they feel the design of the home will fit into the neighborhood.

The following letters of support were provided to the Board:

- | | |
|------------------------------|---------------------------|
| Finkelstein, 12 Dike Drive | Rothschild, 16 Roven Road |
| Gutman, 80 Willow Tree Road | Zahler, 22 Dike Drive |
| Lampert, 21 Dike Drive | Zelinger, 9 Dike Drive |
| Herbst Family, 16 Dike Drive | Singer, 3 Carefree Lane |
| Edelstein, 14 Roven Road | |

Acting Chairwoman Collantes-Bouvry stated that the Village received an anonymous letter from a neighbor. A copy was provided to the Applicant.

Mr. Brodie stated that he takes objection to the Board accepting the letter as the letter could be from anyone, especially from someone who does not even live in the area.

Ms. Ulman stated that the Board accepts all letters from anyone, and everyone has the right to be heard as this is a public hearing. The Board will apply whatever weight to the letter that they feel is appropriate.

Yosef Portnoy, PE added that the Applicant wishes to install pervious pavers, and he was unsure if that material is used if that reduces the impervious surface calculations.

Ms. Ulman answered yes it does, and the Board always encourages applicants to use pervious materials to reduce the numbers.

Barry Rozenberg asked if the height variance is needed to accommodate the sewer line.

Mr. Fienberg answered yes.

Barry Rozenberg stated that the Applicant could also reduce the height of the home by 1-2% to also meet the current height requirement.

Acting Chairwoman Collantes-Bouvry made a motion to adjourn this application to the March 19, 2025, meeting and further schedule a site visit on March 9, 2025, seconded by Randi Marlin. Upon vote, this motion carried unanimously.

ITEM #7 - APPROVAL OF MINUTES – DECEMBER 18, 2024

Barry Rozenberg made a motion to approve the Zoning Board of Appeals minutes of December 18, 2024, seconded by Randi Marlin. Upon vote, this motion carried unanimously.

ADJOURNMENT

Acting Chairwoman Collantes-Bouvry made a motion to adjourn the meeting, seconded by Barry Rozenberg. Upon vote, this motion carried unanimously.

Respectfully submitted,
Camille Guido-Downey