



PLANNING BOARD MEETING AGENDA

July 23, 2025 at 7:30 PM

432 Route 306, Wesley Hills, NY 10952

Phone: 845-354-0400 | Fax: 845-354-4097

CALL TO ORDER

PUBLIC HEARING

- 1. PUBLIC HEARING ON THE APPLICATION SUBMITTED BY KAMRAN AMONA FOR ARCHITECTURAL PLAN REVIEW.** Affecting property located on the eastern side of Rockwood Lane. Designated on the Town of Ramapo Tax Map as Parcel ID #32.19-2-4.9. Subject property located at 31 Rockwood Lane.
- 2. PUBLIC HEARING ON THE APPLICATION SUBMITTED BY KAMRAN AMONA FOR ARCHITECTURAL PLAN REVIEW.** Affecting property located on the northerly side of Rockwood Lane. Designated on the Town of Ramapo Tax Map as Parcel ID #32.19-2-4.12. Subject property located at 18 Rockwood Lane.
- 3. PUBLIC HEARING ON THE APPLICATION SUBMITTED BY KAMRAN AMONA FOR ARCHITECTURAL PLAN REVIEW.** Affecting property located on the northerly side of Jeremy Court. Designated on the Town of Ramapo Tax Map as Parcel ID #32.19-2-4.4. Subject property located at 17 Jeremy Court.

APPROVAL OF MINUTES

- 4. May 22, 2025**

ADJOURNMENT



PART I

Name of Municipality VILLAGE OF WESLEY HILLS Date _____

Please check all that apply:

<input type="checkbox"/> Planning Board	<input type="checkbox"/> Municipal Board
<input type="checkbox"/> Zoning Board of Appeals* <i>(Fill out Part II of this form.)</i>	<input type="checkbox"/> Historical Board
	<input checked="" type="checkbox"/> Architectural Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Sketch
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Preliminary
	<input type="checkbox"/> Final
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Zone Change
<input type="checkbox"/> Zoning Code Amendment	
<input type="checkbox"/> Variance	

RECEIVED
VILLAGE OF WESLEY HILLS
JUN 25 2025
BUILDING,
PLANNING & ZONING

Applicant: Mazal 18 Builders Inc Phone # 8455964471
Address: 435 Buena Vista Rd, New City, NY 10956
Email: kamranamona@hotmail.com

Project Name: Dahan House
Tax Map Lot No. 32.19, Block 2, Lot 4.9 **Map Date** _____
Current Zoning _____

Location: On the East side of Rockwood Lane,
_____ feet _____ of _____ in the
town of Ramapo hamlet/village of Wesley Hills.

Acreage of Parcel 46,000 sq ft **Zoning District** R-50
School District Ramapo **Postal District** 10901
Fire District Monsey FD **Ambulance District** Monsey
Water District Veolia **Sewer District** S.D. #1

Project Description: *(If additional space required, please attach a narrative summary.)*
See attached

If subdivision:

- 1) Is any variance from the subdivision regulations required? No
- 2) Is any open space being offered? No If so, what amount? _____
- 3) Is this a standard or average density subdivision? Yes

If site plan:

- 1) Total size of building(s) in square feet 8,640
- 2) Proposed addition _____
- 3) Number of dwelling units 1

If special permit, list special permit use and what the property will be used for.

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area. No

Are there streams on the site? If yes, please provide the names. No

Are there wetlands on the site? If yes, please provide the names and type. No

Project History: Has this project ever been reviewed before? -----

If so, provide a narrative, including the list case number, name, date, and the board you appeared before. _____

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

Property Owner: Shai & Chedva Dahan Phone # 561-955-0965

Address: 24 Scenic Dr, Suffern NY, 10901 Email: _____

Engineer/Architect/Surveyor: John Atzel Phone # 845-634-4694

Address: 234 N. Main St., New City, NY 10956 Email: _____

Attorney: Chaim Dahan Phone # 718-961-4111

Address: 151 S. Main St, New City NY 10956 Email: _____

Contact Person: Kamran Amona Phone # 845-596-4471

Address: 435 Buena Vista Rd, New City NY 10956 Email: _____

VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

AFFIDAVIT OF OWNERSHIP

RECEIVED
VILLAGE OF WESLEY HILLS
JUN 25 2025
BUILDING,
PLANNING & ZONING

STATE OF NEW YORK }
COUNTY OF ROCKLAND } SS:
VILLAGE OF WESLEY HILLS }

Neil Dahan being duly sworn, deposes and
says that he/she resides at 24 Scenic Dr.
Sutton NY 10901

in the County of Rockland, State of New York; that he/she is the owner in
fee of all that certain lot, piece or parcel of land situated, lying and being
in the Village of Wesley Hills, and designated on the Town of Ramapo
Map as Section No. 32.19 Lot No. 2-4.9 and that he/she hereby
authorizes the attached application to be submitted in his/her behalf and
that the statements of fact contained in said application are true.

The applicant is the (owner) (contract vendee) of the said property.

Owner: [Signature]
Address: 24 Scenic Dr.
Sutton NY 10901

Sworn to before me this
25 day of June 2025

[Signature]
Notary Public

Florence M. Gutmacher
Notary Public, State of New York
Reg. No. 01GU6277836
Qualified in Rockland County
Commission Expires March 18, 2029

DISCLAIMER

APPLICANT TAKES FULL RESPONSIBILITY FOR RESEARCHING THE TAX MAP FOR THE LIST OF NAMES OF PROPERTY OWNERS ON THE ENCLOSED **AFFIDAVIT OF MAILING LIST**, AND SUPPLYING THE NECESSARY AMOUNT OF SELF-ADDRESSED STAMPED ENVELOPES.

THE APPLICANT'S ENVELOPES MUST COINCIDE WITH THE LIST. THE CLERK'S RESPONSIBILITY IS LIMITED TO CHECKING NAMES ON THE ENVELOPES AGAINST THE AFOREMENTIONED AFFIDAVIT BEFORE MAILING THEM.

RECEIPT OF THIS DISCLAIMER IS ACKNOWLEDGED

MARAL IS Butler Co
APPLICANT

1-25-25
DATED

Item 1.

11/32.19-2-20.6
KAHAN ELLIOT & ATARA
REVOCABLE LIVING TRUSTS
2 HUNTERS RUN
SUFFERN, NY 10901

11/32.19-2-20.3
HAGLER DARYL
1 HUNTERS RUN
SUFFERN, NY 10901

11/32.19-2-20.2
LEMPER ESTHER
11 ROCKWOOD LN
SUFFERN, NY 10901

11/32.19-2-20.1
GROSS JONATHAN E
15 ROCKWOOD LN
SUFFERN, NY 10901

11/41.07-1-6
CNTRL SCHL DSTRIC NO
245-302 OF THE TOWNS OF R
105 SO MADISON AV
SPRING VALLEY, NY 10977

11/32.19-2-21
FETMAN JESSICA &
SHERMAN RALPH & SUSAN
26 CORTLAND RD
MONSEY, NY 10952

11/32.19-2-24
ZOLDAN SHIRA
6 ROCKWOOD LA
SUFFERN, NY 10901

11/32.19-2-26
10 ROCKWOOD HOLDINGS LLC
C/O KELMAN LEVI
18 SKYLARK DRIVE
SPRING VALLEY, NY 10977

11/32.19-2-27
AWE LEGACY TRUST
12 ROCKWOOD LA
SUFFERN, NY 10901

11/32.19-2-7
ARM MAIER
7 POMONA RD
SUFFERN, NY 10901

11/32.19-2-25
SCHRIER JEANY
8 ROCKWOOD LN
SUFFERN, NY 10901

11/32.19-2-6
WEIL NATHANIEL REV LIVING
TRUST, THE
571 CYPRESS AVE
LOS ANGELES, CA 90065

11/32.19-2-5
JUNGREIS DAVID
9 CAINS RD
SUFFERN, NY 10901

11/32.19-1-63
FIRST NATHANEL &
KATZ CHAYA
4 OLD POMONA RD
WESLEY HILLS, NY 10901

BUILDING,
PLANNING & ZONING
11/32.19-1-61
SANDOVAL PABLO & YESVELI
ROXANNA
5 CAINS RD
SUFFERN, NY 10901

11/32.19-1-62
ORLANSKY AVROHOM &
HOFFMAN SHIRA
7 CAINS RD
SUFFERN, NY 10901

11/32.19-1-64
FRIEDMAN ALEX & NECHAMA S
6 OLD POMONA RD
SUFFERN, NY 10901

11/32.19-1-59
SIEGEL JEFFREY & KIM
4 SERVEN RD
SUFFERN, NY 10901

11/32.19-1-60
FOGEL MOSHE & CYNTHIA
4 CAINS RD
SUFFERN, NY 10901

11/32.19-1-48
ROZENBERG KENNETH
3 HUNTERS RUN
SUFFERN, NY 10901

11/32.19-2-4
DAHAN NEIL SHAI &
ALEXANDER HEDVA Y
24 SCENIC DR
SUFFERN, NY 10901

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

RECEIVED
VILLAGE OF WESLEY HILLS

JUN 25 2025

BUILDING,
PLANNING & ZONING

Part 1 – Project and Sponsor Information			
Mazal 18 Builders Inc			
Name of Action or Project: Dahan House			
Project Location (describe, and attach a location map): 31 Rockwood Lane			
Brief Description of Proposed Action: We are proposing the construction of a single-family residence in the Village of Wesley Hills. This home is designed in full accordance with all applicable local zoning laws, building codes, and architectural guidelines. The proposed house reflects the character and aesthetic of the surrounding homes in the neighborhood, maintaining harmony with the community's established architectural style. Care has been taken to ensure that building materials, scale, roofline, and overall design are consistent with the look and feel of nearby properties. This home will serve as a permanent residence for a family that is excited to become part of the Wesley Hills community. Their presence will positively contribute to the neighborhood's vibrancy and continued growth.			
Name of Applicant or Sponsor: Kamran Amona		Telephone: 845-596-4471 E-Mail: kamranamona@gmail.com	
Address: 435 Buena Vista Rd			
City/PO: New City		State: NY	Zip Code: 10956
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Building Dept- Building Permit			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		1.05 acres	
b. Total acreage to be physically disturbed?		.10 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.05 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

		NO	YES	Item 1.
5. Is the proposed action,				
a. A permitted use under the zoning regulations?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
b. Consistent with the adopted comprehensive plan?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____				

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:

- Shoreline
- Forest
- Agricultural/grasslands
- Early mid-successional
- Wetland
- Urban
- Suburban

15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

16. Is the project site located in the 100-year flood plan?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

17. Will the proposed action create storm water discharge, either from point or non-point sources?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

If Yes,

a. Will storm water discharges flow to adjacent properties?

<input type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------

b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?

<input type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------

If Yes, briefly describe:

Storm water will be conveyed to municipal drainage system per approved subdivision.

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

If Yes, explain the purpose and size of the impoundment:

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

If Yes, describe:


20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

If Yes, describe:

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor/name: Kamran Amona Date: 6/24/25

Signature: Kamran Amona  Title: President



*Mazal 18
Builders*

Phone: 845-596-4471
Email: mazal18builders@gmail.com
Address: 435 Buena Vista Road
New City, New York, 10956

JUNE 28 2024

Dear ARB Members,

We respectfully submit for your review and consideration the architectural plans for a new single-family residence, located at 31 Rockwood Ln. Wesley Hills NY thoughtfully designed by Todd Rosenblum architect. And engineered by Atzel ,Nasher and Zigler. The proposed home will be a true two-story dwelling that combines modern simplicity with timeless elegance, fitting harmoniously within the character of the surrounding neighborhood. The exterior of the home will feature a clean, smooth stucco finish in a neutral palette with stone accents, complementing contemporary black-framed windows that provide both style and energy efficiency. The charcoal-colored shingle roof will offer a subtle contrast, enhancing the home’s sleek, modern prole while maintaining a sense of warmth and approachability. At the front, a double-door entry anchors the design, offering a balanced focal point and a welcoming sense of arrival. This entrance has been carefully integrated to highlight the clean architectural lines and understated elegance of the overall facade. The residence also includes a two-car garage, and sports court, seamlessly integrated into the architectural form to preserve the aesthetic continuity of the home’s design. The garage door will be designed in a complementary tone and style to ensure cohesion with the overall material and color palette. Landscaping will be intentionally minimalistic yet refined, using drought-tolerant and low maintenance plantings to enhance the curb appeal without overwhelming the architecture. The landscape design will include clean lines, natural textures, and native plant materials, creating an inviting but restrained environment that supports sustainability and complements the architectural vision. The overall design reflects a commitment to quality, functionality, and understated elegance. We believe this residence will make a valuable contribution to the architectural character of the community and respectfully request the board’s approval to proceed.

Regards,
Kamran Amona
Mazal !8 Builders Inc.

RECEIVED
VILLAGE OF WESLEY HILLS
JUN 25 2025
BUILDING & ZONING




BASEMENT AND FOUNDATION PLAN
 SCALE: 1/4"=1'-0" FLOOR AREA = 3,350 SF

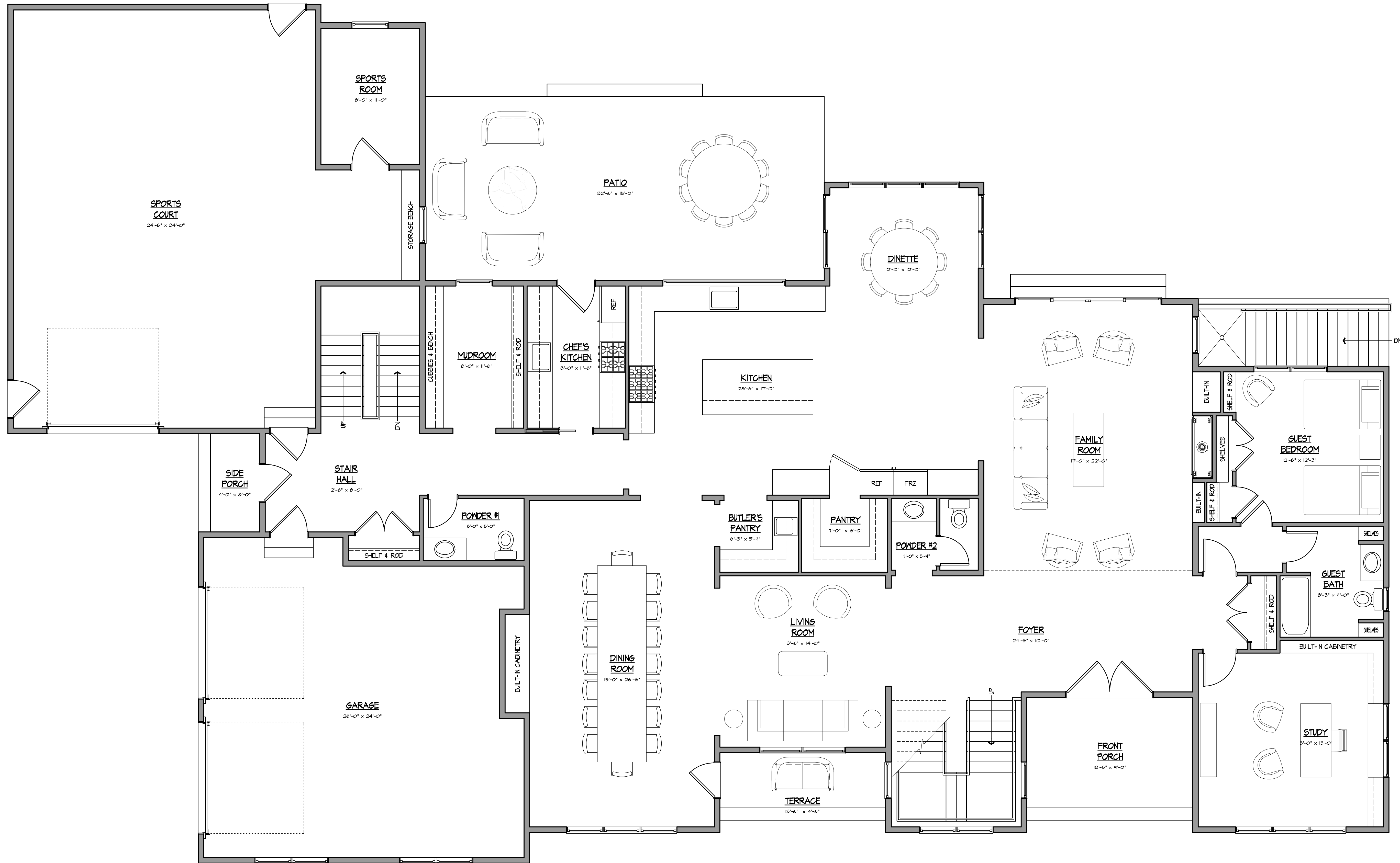
DAHAN RESIDENCE
 ROCKWOOD LANE (LOT 9 TERRACE ROAD SUBDIVISION), WESLEY HILLS, NY
 PROPOSED FLOOR PLAN

PROJECT	DAHAN RESIDENCE
PROJECT NUMBER	2420-00
DATE	6/12/25
SCALE	AS NOTED
DESIGNED BY	TR

ROSENBLUM ARCHITECTURE
 221 QUAKER ROAD
 POMONA, NEW YORK 10570
 (845) 364-0337
 info@adaparch.com

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SHEET NUMBER
A1



FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"
 FLOOR AREA = 3,350 SF PORCH AND GARAGE AREA = 2,200 SF

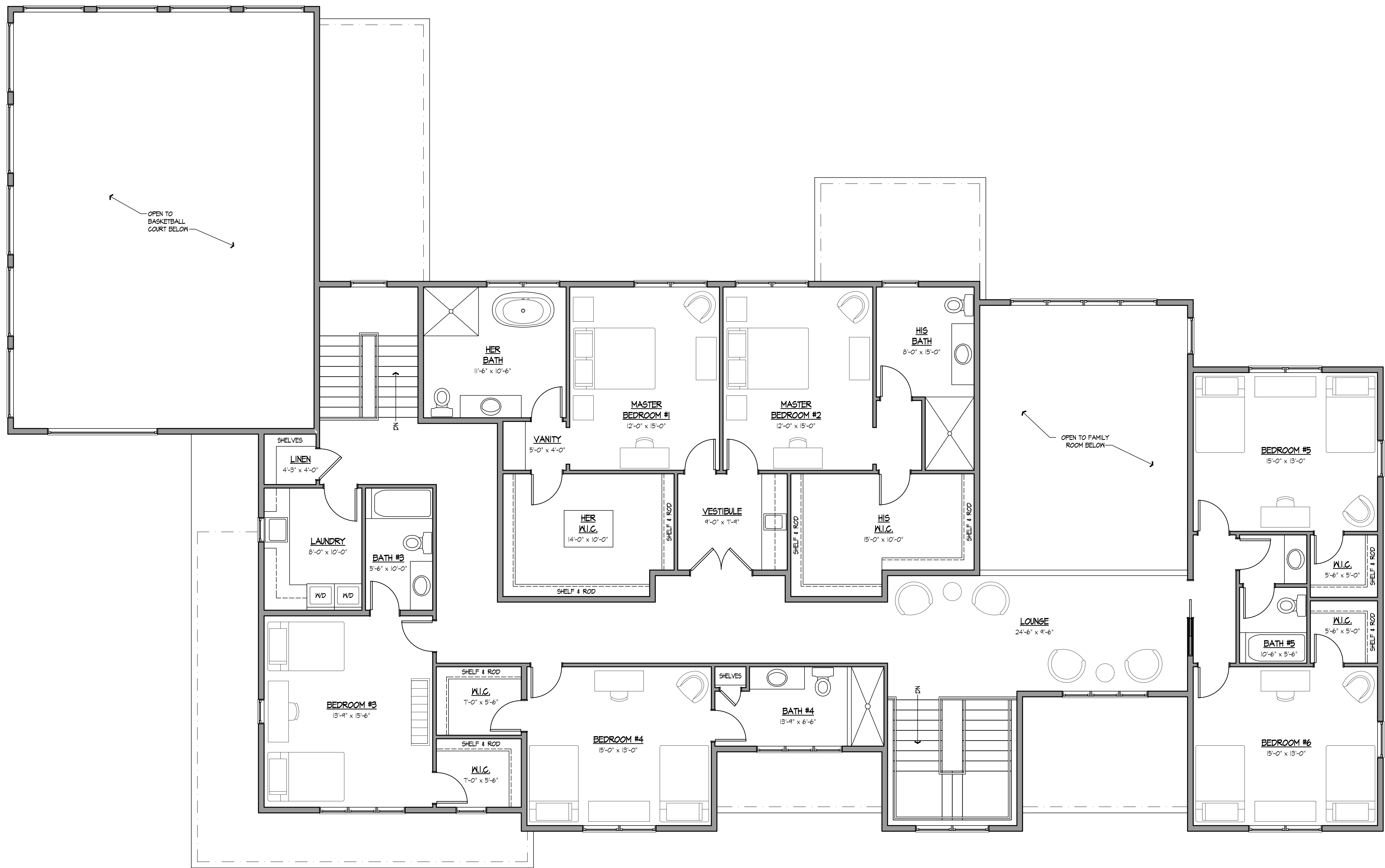
DAHAN RESIDENCE
 ROCKWOOD LANE (LOT 9 TERRACE ROAD SUBDIVISION), WESLEY HILLS, NY

PROJECT	DAHAN RESIDENCE
PROJECT NUMBER	2420-00
DATE	6/12/25
SCALE	AS NOTED
DRAWN BY	TR

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SHEET NUMBER
A2




SECOND FLOOR PLAN
 SCALE: 1/4"=1'-0"
 FLOOR AREA = 3,090 SF

DAHAN RESIDENCE
 ROCKWOOD LANE (LOT 9 TERRACE ROAD SUBDIVISION), WESLEY HILLS, NY
 PROPOSED FLOOR PLAN

PROJECT	DAHAN RESIDENCE
PROJECT NUMBER	2420-00
DATE	6/12/25
SCALE	AS NOTED
DRAWN BY	TR

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SHEET NUMBER
A3



FRONT ELEVATION
SCALE: 1/4"=1'-0"

DAHAN RESIDENCE
ROCKWOOD LANE (LOT 9 TERRACE ROAD SUBDIVISION), WESLEY HILLS, NY

PROJECT	PROJECT NUMBER	DATE	SCALE	SHEET TITLE
	2420-00	6/12/25	AS NOTED	EXTERIOR ELEVATIONS
REVISIONS	NO.	DATE	DESCRIPTION	DRAWN BY
				TR

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SHEET NUMBER
A4



REAR ELEVATION
SCALE: 1/8"=1'-0"

DAHAN RESIDENCE
ROCKWOOD LANE (LOT 9 TERRACE ROAD SUBDIVISION), WESLEY HILLS, NY

PROJECT NUMBER: 2420-00
DATE: 6/12/25
SCALE: AS NOTED
DRAWN BY: TR

NO.	DATE	REVISIONS	DESCRIPTION

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SHEET NUMBER
A5

EXTERIOR ELEVATIONS



RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

PROJECT
DAHAN RESIDENCE
ROCKWOOD LANE (LOT 9 TERRACE ROAD SUBDIVISION), WESLEY HILLS, NY

PROJECT NUMBER
2420-00

DATE
6/12/25

SCALE
AS NOTED

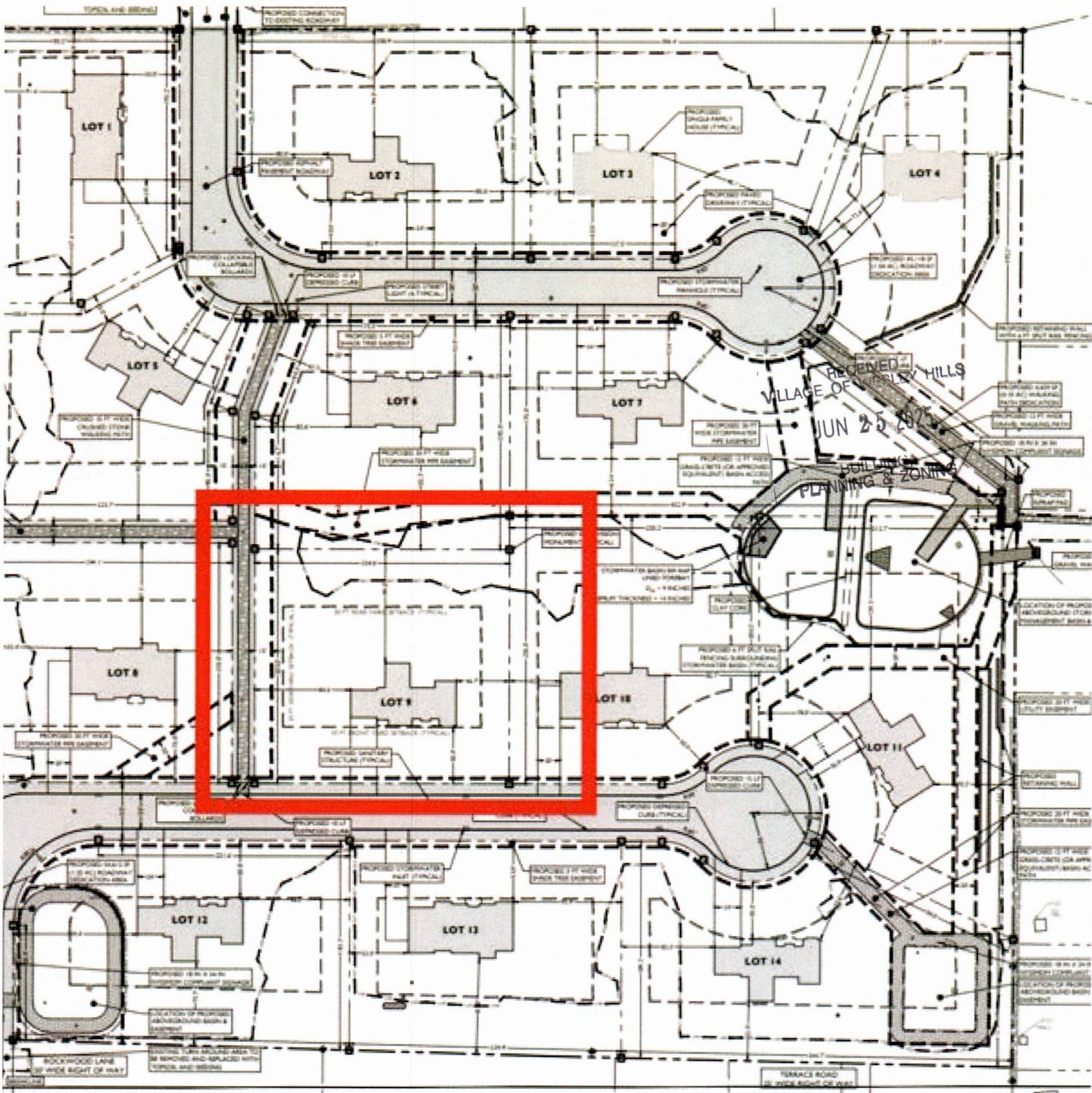
DRAWN BY
TR

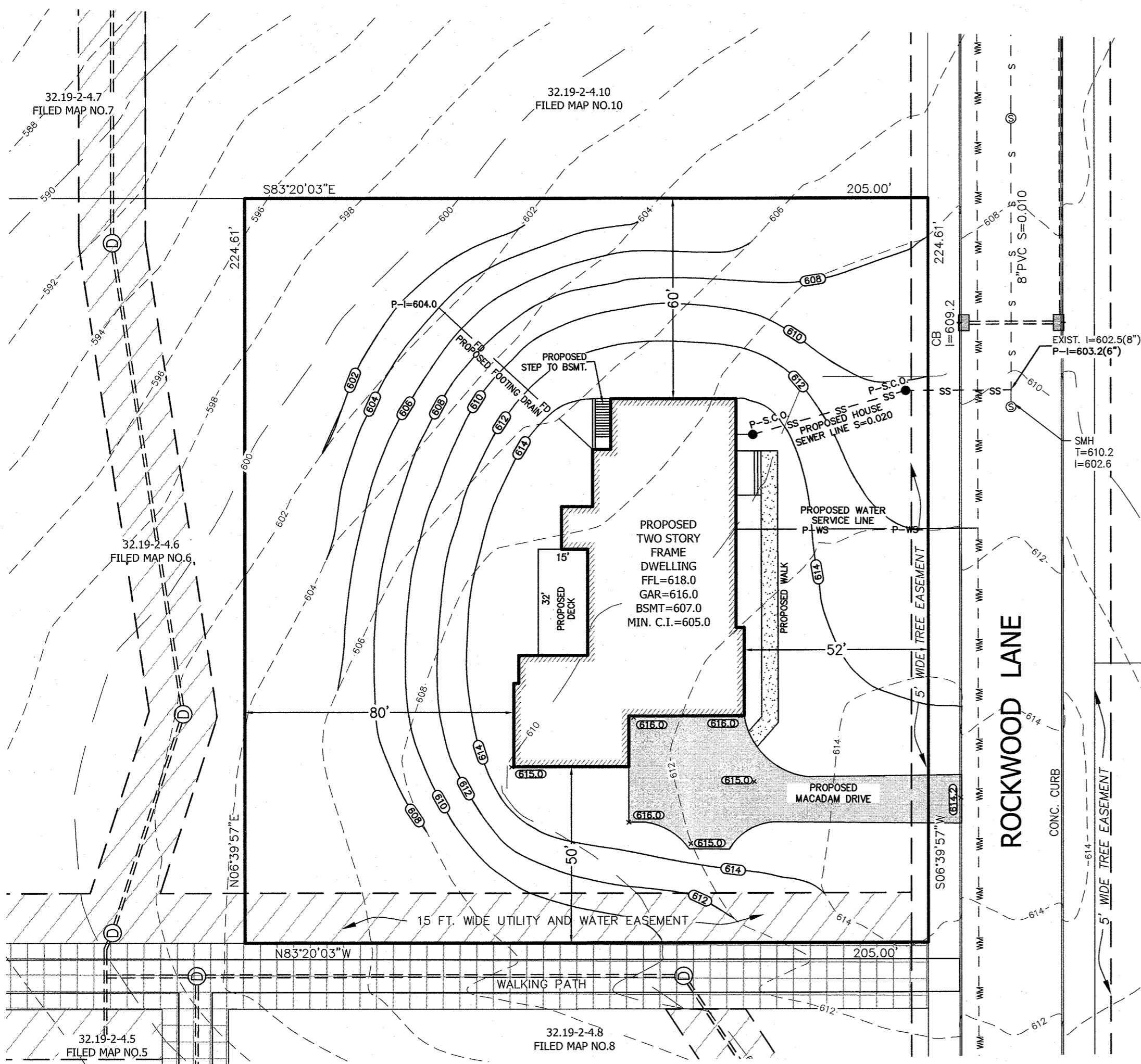
NO.	DATE	DESCRIPTION

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SHEET NUMBER
A6





BULK REQUIREMENTS

ZONE R-50 (AVERAGE DENSITY)	REQUIRED	LOT 9
MINIMUM LOT AREA	40,000 SQ.FT.	46,062 SQ.FT.
MINIMUM LOT WIDTH	125 FT.	224 FT.
MINIMUM EFFECTIVE SQUARE, SIDE	125 FT.	125 FT.
MINIMUM FRONT SETBACK	50 FT.	52 FT.
MINIMUM SIDE SETBACK	25 FT.	50 FT.
MINIMUM TOTAL SIDE SETBACK	60 FT.	110 FT.
MINIMUM REAR SETBACK	50 FT.	80 FT.
MAXIMUM BUILDING HEIGHT (FT)	25 FT.	24 FT.
MAXIMUM BUILDING HEIGHT (STORIES)	2.5 STORIES	2 STORIES
MAXIMUM IMPERVIOUS SURFACE RATIO	0.25	0.17
MAXIMUM FRONT YARD IMPERVIOUS SURFACE RATIO	0.20	0.13
MAXIMUM BUILDING COVERAGE	0.115 *	0.115
MAXIMUM EXPOSED BUILDING HEIGHT	40 FT.	34 FT.
MINIMUM LOT FRONTAGE	90 FT.	224 FT.

* PER NOTE 10, TABLE OF DIMENSIONAL REQUIREMENTS AND ARCHITECT PLANS.

TAX MAP REFERENCE:

TOWN OF RAMAPO TAX MAP
SECTION 32.19, BLOCK 2, LOT 4.9

SITE ADDRESS:

ROCKWOOD LANE
WESLEY HILLS, NY 10901

SUBDIVISION REFERENCE:

SUBDIVISION ENTITLED "15 TERRACE ROAD, LLC."
FILED IN THE ROCKLAND COUNTY CLERK'S
OFFICE ON APRIL 12, 2024 IN BOOK 133, PAGE
96, AS MAP No. 8646.

NOTE: SUBJECT TO AN ORANGE & ROCKLAND
UTILITIES, INC. EASEMENT,

"UNAUTHORIZED ALTERATIONS OR
ADDITIONS TO A SURVEY MAP BEARING A
LICENSED LAND SURVEYOR'S EMBOSSED
SEAL IS A VIOLATION OF SECTION 7209,
SUBDIVISION 2, OF THE NEW YORK STATE
EDUCATION LAW."

"ONLY COPIES FROM THE ORIGINAL TRACING
OF THIS SURVEY MAP MARKED WITH THE
LAND SURVEYOR'S EMBOSSED SEAL SHALL
BE CONSIDERED TO BE VALID TRUE
COPIES."

"CERTIFICATION INDICATED HERE ON SIGNIFY
THAT THIS SURVEY WAS PREPARED IN
ACCORDANCE WITH THE EXISTING CODE OF
PRACTICE FOR LAND SURVEYOR'S ADOPTED
BY THE DELAWARE - HUDSON LAND
SURVEYORS ASSOCIATION. SAID
CERTIFICATIONS SHALL RUN ONLY TO
THOSE NAMED INDIVIDUALS AND/OR
INSTITUTIONS FOR WHOM THE SURVEY WAS
PREPARED. CERTIFICATIONS ARE NOT
TRANSFERABLE TO ADDITIONAL INDIVIDUALS,
INSTITUTIONS, THEIR SUCCESSORS AND/OR
AGENTS OR SUBSEQUENT OWNERS."

THE EDUCATION LAW OF THE STATE OF NEW
YORK PROHIBITS ANY PERSON ALTERING
ANYTHING ON THESE DRAWINGS AND/OR THE
ACCOMPANYING SPECIFICATIONS, UNLESS IT IS
UNDER THE DIRECTION OF A LICENSED
PROFESSIONAL ENGINEER, WHERE SUCH
ALTERATIONS ARE MADE, THE PROFESSIONAL
ENGINEER MUST SIGN, SEAL, DATE AND
DESCRIBE THE FULL EXTENT OF THE
ALTERATION ON THE DRAWINGS AND/OR IN
THE SPECIFICATIONS. (NYS EDUCATION LAW
SECTION 7209-2)

STATE OF NEW YORK
SEAL OF SURVEYOR
RYAN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89066

STATE OF NEW YORK
SEAL OF SURVEYOR
JOHN R. ATZL
N.Y.S. P.L.S. LIC. NO. 50228

REVISION	DATE	DESCRIPTION
1	6-24-25	REVISE BULK TABLE

ATZL, NASHER & ZIGLER P.C.
ENGINEERS-SURVEYORS-PLANNERS
232 North Main Street
New City, New York 10956
Tel: (845) 634-4694
Fax: (845) 634-5543
E-mail: info@anzny.com
Web: www.ANZNY.com

PROJECT:
15 TERRACE ROAD, LLC.

**VILLAGE OF WESLEY HILLS
ROCKLAND COUNTY, NEW YORK**

TITLE:
SITE PLAN LOT 9

DRAWN BY: JDP	CHECKED BY: JRA
DATE: JUNE 19, 2025	SCALE: 1 IN. = 30 FT.
PROJECT NO: 5275	DRAWING NO: 1



MEMORANDUM

TO: Lon Lieberman, Chairman
Members, Village of Wesley Hills Planning Board

FROM: William Brady, AICP
Gerard Chesterman, Planner

DATE: July 21, 2025

RE: 31 Rockwood Lane Architectural Review
Applicant: Kamran Amona
Owner: Shai & Chedva Dahan.
SBL: 32.19-2-4.9; R-50 Zoning District

CC: John Layne, Building Inspector
Alicia Schultz, Deputy Village Clerk
Stewart Strow, P.E., Village Engineer
Bruce Minsky, Esq., Planning Board Attorney

Items Reviewed for this Memorandum

- Architectural Review Application Package, prepared and signed by Kamran Amona, signed June 25, 2025.
- Project Narrative, prepared by Kamran Amona, dated June 28, 2025.
- Proposed house renderings.
- Short Environmental Assessment Form Part 1, prepared and signed by Kamran Amona, June 24, 2025.
- Architectural Plans and Elevations, 6 sheets, unstamped, by Rosenblum Architecture, dated June 12, 2025.
- Site Plan, prepared, stamped and signed by Ryan A. Nasher and John R. Atzl of Atzl, Nasher & Zigler, dated June 19, 2025, last revised June 24, 2025.

Project Summary

Kamran Amona (“the Applicant”) is applying to construct a single-family home at 31 Rockwood Lane for the owners Shai & Chedva Dahan and is seeking architectural approval. The two-story home has a proposed total square footage of 8,640 s.f. of floor area. The site is about 46,000 square feet (1.05 acres), located on the east side of Rockwood Lane, and located in the R-50 zone. The home is being constructed on lot #9 of the AMS Subdivision (also known as “15 Terrace”), so ARB review is required by §230-36.E.(5). The SBL number of the full parcel prior to subdivision is 32.19-2-4.9.

Submission Comments

1. Please submit these required additional items, per §230-36.E(5)(a): Colors and samples of façade and roofing materials to be used (with manufacturers’ pictures if available)

Architectural Review Comments

2. A public hearing is required as per Village Code §230-36.E(5)(c). The Planning Board may wish to schedule a public hearing if it finds the application to be complete enough.
3. As per the Village Code §230-36.E(5)(e)[1] and [2], no proposed construction should be excessively similar or dissimilar in relation to the surrounding existing structures within 500 feet. Photographs from Google Maps of nearby homes are included below. The proposed design does not appear to be excessively similar or dissimilar to homes in the surrounding neighborhood.

10 Rockwood Lane



12 Rockwood Lane



9 Cains Road



15 Rockwood Lane



SEQR/GML Comments

4. GML review will not be required for this application, as the County does not review ARB applications.
5. This can be classified as a Type II action as per SEQR §617.5(25), as “official acts of ministerial nature involving no exercise of discretion, including building permits and historic preservation permits where issuance is predicated solely on the applicant’s compliance or noncompliance with the relevant local building or preservation codes.”

Mazal 18 Builders inc

435 Buena Vista Rd.

New City NY 10956

RECEIVED
VILLAGE OF WESLEY HILLS

MAY 30 2025

BUILDING,
PLANNING & ZONING

Dear ARB Members

We respectfully submit for your review and consideration the architectural plans for a new single-family residence, located at 18 Rockwood Ln. Wesley Hills NY thoughtfully designed by architect Eric Osborne. The proposed home will be a true single-story dwelling that combines modern simplicity with timeless elegance, fitting harmoniously within the character of the surrounding neighborhood.

The exterior of the home will feature smooth stucco finish, complementing contemporary black-framed Sierra Pacific windows that provide both style and energy efficiency. The charcoal-colored shingle roof will offer a subtle contrast, enhancing the home's sleek,

At the front, a double-door entry anchors the design, offering a balanced focal point and a welcoming sense of arrival.

The residence also includes a two-car garage, seamlessly integrated into the architectural form to preserve the aesthetic continuity of the home's design.

Landscaping will be intentionally minimalistic yet refined, using drought-tolerant and low-maintenance plantings to enhance the curb appeal without overwhelming the architecture. The landscape design will include clean lines, natural textures, and native plant materials.

The overall design reflects a commitment to quality, functionality, and understated elegance. We believe this residence will make a valuable contribution to the architectural character of the community and respectfully request the board's approval to proceed.

Respectfully yours,

Mazal 18 Builders inc

Kamran Amona

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VILLAGE OF WESLEY HILLS

JUN 6 2025

BUILDING,
PLANNING & ZONING

PART I

Name of Municipality VILLAGE OF WESLEY HILLS Date _____

Please check all that apply:

<input type="checkbox"/> Planning Board	<input type="checkbox"/> Municipal Board
<input type="checkbox"/> Zoning Board of Appeals* (Fill out Part II of this form.)	<input type="checkbox"/> Historical Board
	<input checked="" type="checkbox"/> Architectural Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Sketch
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Preliminary
	<input type="checkbox"/> Final
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Zone Change
<input type="checkbox"/> Zoning Code Amendment	
<input type="checkbox"/> Variance	

Applicant: MAZAL IR BUILDERS INC Phone # 845-5964471
 Address: 435 BUONA VISTA RD. NEWAITY NY 10956
 Email: Karmel@ramapo.net

Project Name: Karmel
 Tax Map Lot No. 32-19-2-4.42 Map Date 5-29-25
 Current Zoning R50

Location: On the NORTH side of ROCKWOOD BLVD.
 _____ feet of _____ in the
 town of Ramapo hamlet/village of Wesley Hills

Acreage of Parcel 40,150.- Zoning District R50
 School District Ramapo Postal District 10956
 Fire District Ramapo Monsey F.D. Ambulance District MONSEY
 Water District VEALIA WATER Sewer District SEWER DISTRICT #1

Project Description: (If additional space required, please attach a narrative summary.)

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VILLAGE OF WESLEY
JUN 6 2025
BUILDING
PLANNING & ZONING

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? NO If so, what amount? _____
- 3) Is this a standard or average density subdivision? yes

If site plan:

- 1) Total size of building(s) in square feet 6740
- 2) Proposed addition _____
- 3) Number of dwelling units 1

If special permit, list special permit use and what the property will be used for.

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area. NO

Are there streams on the site? If yes, please provide the names. NO

Are there wetlands on the site? If yes, please provide the names and type. NO

Project History: Has this project ever been reviewed before? NO

If so, provide a narrative, including the list case number, name, date, and the board you appeared before. _____

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

NONE

Property Owner: MAZAL IB BUILDERS INC Phone # 845-5464471

Address: 435 BUENA VISTA Email: _____
NEW CITY N.Y. 10956

Engineer/Architect/Surveyor: ATZEL, JOHN Phone # 845-6344694

Address: 234 N. MAIN ST. Email: YATZEL@ANZNY.COM
NEW CITY N.Y. 10956

Attorney: Deborah Coenenberg Phone # 845 639 9100

Address: 155 N. MAIN ST. Email: _____
NEW CITY N.Y. 10956

Contact Person: Kamran Amara Phone # 8455964471

Address: 435 BUENA VISTA RD. Email: Kamranamara@hatmail.com

VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

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VILLAGE OF WESLEY HILLS
JUN 6 2025
BUILDING,
PLANNING & ZONING

AFFIDAVIT OF OWNERSHIP

STATE OF NEW YORK }
COUNTY OF ROCKLAND } SS:
VILLAGE OF WESLEY HILLS }

Kamran Amana being duly sworn, deposes and
says that he/she resides at 435 - Buena Vista Rd

in the County of Rockland, State of New York; that he/she is the owner in
fee of all that certain lot, piece or parcel of land situated, lying and being
in the Village of Wesley Hills, and designated on the Town of Ramapo
Map as Section No. 32.19 Lot No. 24.12 and that he/she hereby
authorizes the attached application to be submitted in his/her behalf and
that the statements of fact contained in said application are true.

The applicant is the (owner) (contract vendee) of the said property.

Owner: _____

Address: _____

[Signature]

MAZAL 18 Builders Inc

Sworn to before me this

29th day of May 2025

Notary Public

CAMILLE GUIDO-DOWNEY
NOTARY PUBLIC STATE OF NEW YORK
RESIDING IN ROCKLAND COUNTY
NO. 01GU6337245
MY COMMISSION EXPIRES 02/22/2028

DISCLAIMER

APPLICANT TAKES FULL RESPONSIBILITY FOR RESEARCHING THE TAX MAP FOR THE LIST OF NAMES OF PROPERTY OWNERS ON THE ENCLOSED **AFFIDAVIT OF MAILING LIST**, AND SUPPLYING THE NECESSARY AMOUNT OF SELF-ADDRESSED STAMPED ENVELOPES.

THE APPLICANT'S ENVELOPES MUST COINCIDE WITH THE LIST. THE CLERK'S RESPONSIBILITY IS LIMITED TO CHECKING NAMES ON THE ENVELOPES AGAINST THE AFOREMENTIONED AFFIDAVIT BEFORE MAILING THEM.

RECEIPT OF THIS DISCLAIMER IS ACKNOWLEDGED

[Signature] MAZAL IS BUILDERS LLC
APPLICANT

6-5-25
DATED

RECEIVED
VILLAGE OF WESLEY HILLS
JUN 6 2025
BUILDING,
PLANNING & ZONING

11/32.19-1-46
GROSS FAIGY
1448 50TH ST
BROOKLYN, NY 11219

11/32.19-1-23
JACOBSON BARBARA & JONAH
21 BUENA VISTA RD
SUFFERN, NY 10901

11/32.19-1-45
KOHN SHOSHANA
26 BUENA VISTA RD
WESLEY HILLS, NY 10901

11/32.19-1-18
OSEN JANET
12 ONDERDONK RD
SUFFERN, NY 10901

11/32.19-1-19
HEFFLER MARK & MARY
14 ONDERDONK RD
SUFFERN, NY 10901

11/32.19-1-43
GOLDBERGER SHARON
18 BUENA VISTA RD
SUFFERN, NY 10901

11/32.19-1-50
HALPERT SHMUEL & AVIVA
2 CAINS RD
SUFFERN, NY 10901

11/41.07-1-5
WESLEY HILLS VILLAGE OF
432 ROUTE 306
MONSEY, NY 10952

11/32.19-2-42
COHEN LEVY SUSAN DIANE
LEGACY TRUST
24 POWDER HORN DR
WESLEY HILLS, NY 10901

11/32.19-1-49
ROZENBERG KENNETH
3 CAINS RD
SUFFERN, NY 10901

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VILLAGE OF WESLEY HILLS

MAY 30 2025

11/32.19-2-56
HURWITZ CHAYA BRACHA
43 POWDER HORN DR
WESLEY HILLS, NY 10977

BUILDING
PLANNING & ZONING

11/32.19-1-20
KERZNER JOSEPH A & LICHTER
RACHEL M
16 ONDERDONK RD
WESLEY HILLS, NY 10901

11/32.19-2-53
RATNER JOSHUA S & AMY R &
RATNER ROBERT & CAMILLE
48 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-1-15
KLEIN JACK W & PAULINE
17 BUENA VISTA RD
SUFFERN, NY 10901

11/32.19-2-59
SIEGEL JEFFREY & KIM
4 SERVEN RD
SUFFERN, NY 10901

11/32.19-2-57
41 POWDERHORN LLC
41 POWDERHORN LLC
SUFFERN, NY 10901

11/32.19-1-21
GUZELGUL MICHAEL & TROPPER
NECHOMA GILA
53 EDISON COURT
MONSEY, NY 10952

11/32.19-2-58
CAREN MARK S & VANESSA B
33 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-52
LIPOFF LAWRENCE & LAUREN
46 POWDER HORN LN
SUFFERN, NY 10901

11/32.19-1-1
25 ONDERDONK LLC
527 MARCY AVE
BROOKLYN, NY 11206

11/32.19-1-40
DARSHAN NAVEENA & PAMELA
12 BUENA VISTA RD
SUFFERN, NY 10901

11/32.19-2-25
SCHRIER JEANY
8 ROCKWOOD LN
SUFFERN, NY 10901

11/32.19-2-20.2
LEMPER ESTHER
11 ROCKWOOD LN
SUFFERN, NY 10901

11/32.19-2-5
JUNGREIS DAVID
9 CAINS RD
SUFFERN, NY 10901

11/32.19-2-31
KIGLER MARVIN J & IRENE G
17 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-62
SCHEINFELD MEIR & STERN ALISA
536 ROUTE 306
MONSEY, NY 10952

11/32.19-1-64
FRIEDMAN ALEX & NECHAMA S
6 OLD POMONA RD
SUFFERN, NY 10901

11/32.19-2-38
RATZKER GARY & ARLENE
3 ARI DR
SUFFERN, NY 10901

11/32.19-2-2
BELSKY FRANCES
12 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-29
JILLEBA FREDERICK & UGHETTA
21 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-54
REICHMANN MARC & TOVAH
MIRIYAM TZIPPORAH
47 POWDER HORN LN
SUFFERN, NY 10901

11/32.19-2-20.1
GROSS JONATHAN E
15 ROCKWOOD LN
SUFFERN, NY 10901

11/32.19-1-60
FOGEL MOSHE & CYNTHIA
4 CAINS RD
SUFFERN, NY 10901

11/32.19-2-40
KOTCH BRETT & EVA REVOCABLE
TRUST
20 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-36
BENDRIHEM YOSEF & SHOSHANA
14 POWDER HORN DR
SUFFERN, NY 10901

RECEIVED
VILLAGE OF WESLEY HILLS

MAY 30 2025

BUILDING
PLANNING & ZONING

11/32.19-2-3
ADAMS MITRA & ZIVARI SOHALVA S
11 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-26
10 ROCKWOOD HOLDINGS LLC
C/O KELMAN LEVI
18 SKYMARK DRIVE
SPRING VALLEY, NY 10977

11/32.19-2-28
KUNSTLINGER DANIEL & WEISSMAN
REBECCA
23 POWDER HORN DR
WESLEY HILLS, NY 10901

11/32.19-2-63
BAROUK BELLA
4 OLD POMONA RD
SUFFERN, NY 10901

11/32.19-2-33
COHEN AARON M & GOLDA R
9 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-6
WEIL NATHANIEL REV LIVING
TRUST, THE
571 CYPRESS AVE
LOS ANGELES, CA 90065

11/32.18-2-19
KERN FAMILY 2020 TRUST
20 ROBLE RD
WESLEY HILLS, NY 10901

11/32.19-2-37
CHESIR JOSHUA & FRANCINE
16 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-50
SCHOCHET CHAIM & SARAH
42 POWDER HORN DR
WESLEY HILL, NY 10901

11/32.19-1-63
BAROUK BELLA
4 OLD POMONA RD
SUFFERN, NY 10901

11/32.19-2-61
SANDOVAL PABLO & YESWELI
ROXANNA
5 CAINS RD
SUFFERN, NY 10901

11/32.19-2-62
ORLANSKY AVROHOM & HOFFMAN
SHIRA
7 CAINS RD
SUFFERN, NY 10901

11/32.19-2-35
BELSKY FRANCES
12 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-3
ADAMS MITRA & ZIVARI SOHALVA S
11 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-30
WATIMI ROBERT M & PRINCE SHIRA
19 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-43
26 POWDERHORN DRIVE LEGACY
TRUST
26 POWDER HORN LN
SUFFERN, NY 10901

RECEIVED
TOWN BOARD OF WESLEY HILLS
MAY 30 2025
BUILDING,
PLANNING & ZONING

11/32.19-2-51
SHAPIRO HADASSAH
44 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-1-29
BEACON SEVEN INC
C/O ROSENBERG SUSAN
130 ROUTE 59
MONSEY, NY 10977

11/32.19-2-20.1
GROSS JONATHAN E
15 ROCKWOOD LN
SUFFERN, NY 10901

11/32.19-1-41
MANN ELIEZER M & BAKER ZEHAVA
14 BUENA VISTA ROAD
SUFFERN, NY 10901

11/32.19-2-61
YANIV DANIEL & RAIZEL
27 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-1-26
KAHANA PINCHAS & HALPERT
CHANA
15 BUENA VISTA RD
SUFFERN, NY 10901

11/32.19-1-51
MAKOWSKY PHILIP A & SARA M
72 EDISON CT
MONSEY, NY 10952

11/32.19-2-55
FLORANS MOSHE & TISMINAN FEIGA
45 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-4
FIFTEEN TERRACE RD., LLC
555 TAXTER RD. STE. 235
ELMSFORD, NY 10523

11/32.19-1-42
SHTAYGRUD YEHUDAH & FUCHS
HINDY MIRIAM
1 CAINS RD
SUFFERN, NY 10901

11/32.19-1-44
ZOLDAN DAVID
65 CARTERET ST
WEST ORANGE, NJ 07052

11/32.19-2-60
SPITZ ABRAHAM & RACHEL*
29 POWDER HORN DR
WESLEY HILLS, NY 10901

11/32.19-2-39
OLLECH MARCEL & BARBARA L
18 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-1-47
WEG LEGACY TRUST
26 BUENA VISTA RD
SUFFERN, NY 10901

11/32.19-1-24
SOSOVER MOSHE
6654 SELFRIDGE ST
FOREST HILLS, NY 11375

11/32.19-1-27
KAHAN MORDECHAI & KAHANA
CHAYA
13 BUENA VISTA ROAD
WESLEY HILLS, NY 10901

11/32.18-2-18
WASSERMAN NEAL I & ELEANOR N
22 ROBLE RD
SUFFERN, NY 10901

11/32.19-2-44
HOLZBERG BASYA & RONALD
PO BOX 500
MONTVALE, NJ 07645

RECEIVED
VILLAGE OF WESLEY HILLS
MAY 30 2025
BUILDINGS,
PLANNING & ZONING

11/32.19-2-27
AWE LEGACY TRUST
12 ROCKWOOD LA
SUFFERN, NY 10901

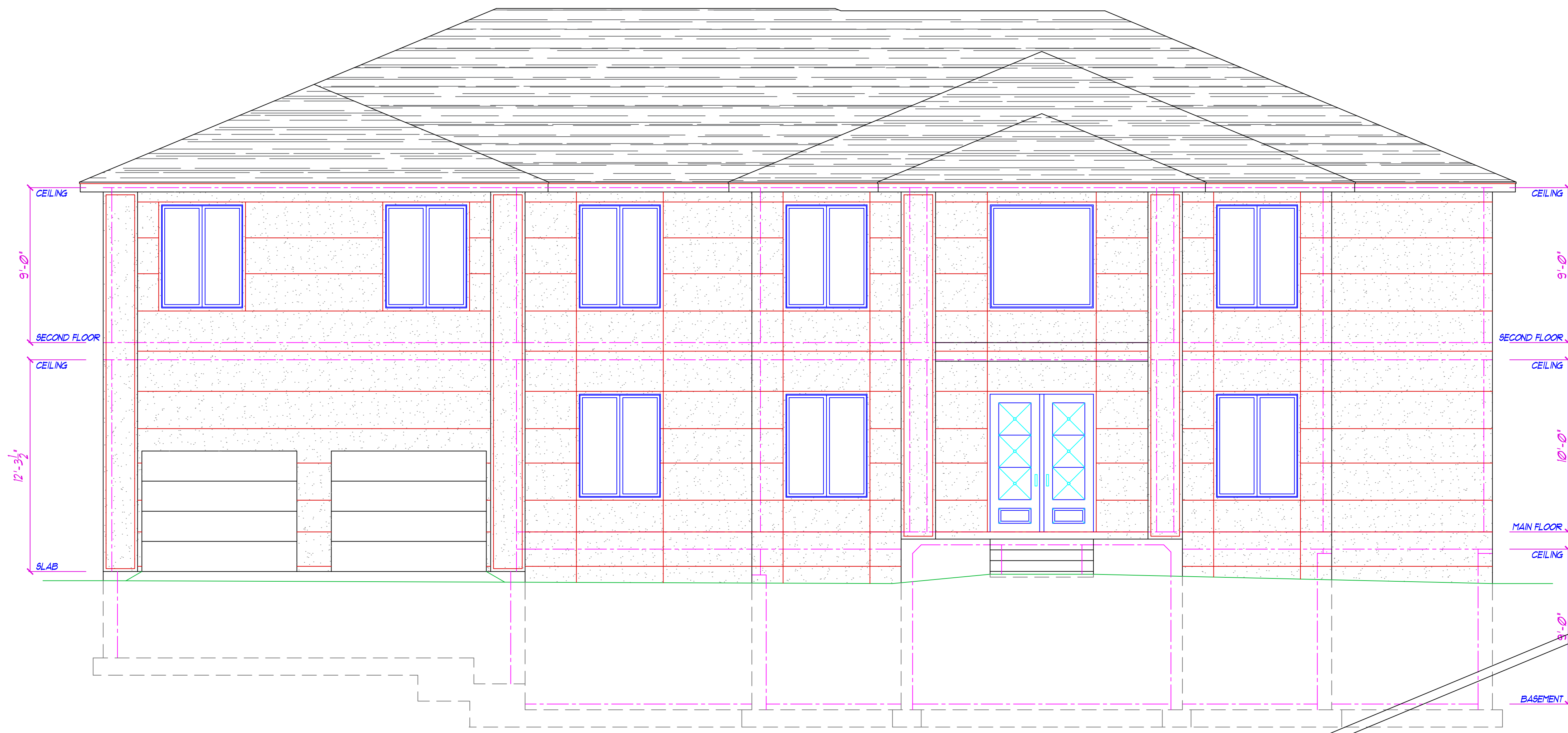
11/32.19-1-15
KLEIN JACK W & PAULINE
17 BUENA VISTA RD
SUFFERN, NY 10901

11/32.19-1-22
WEISSBERG BELINDA
23 BUENA VISTA RD
SUFFERN, NY 10901

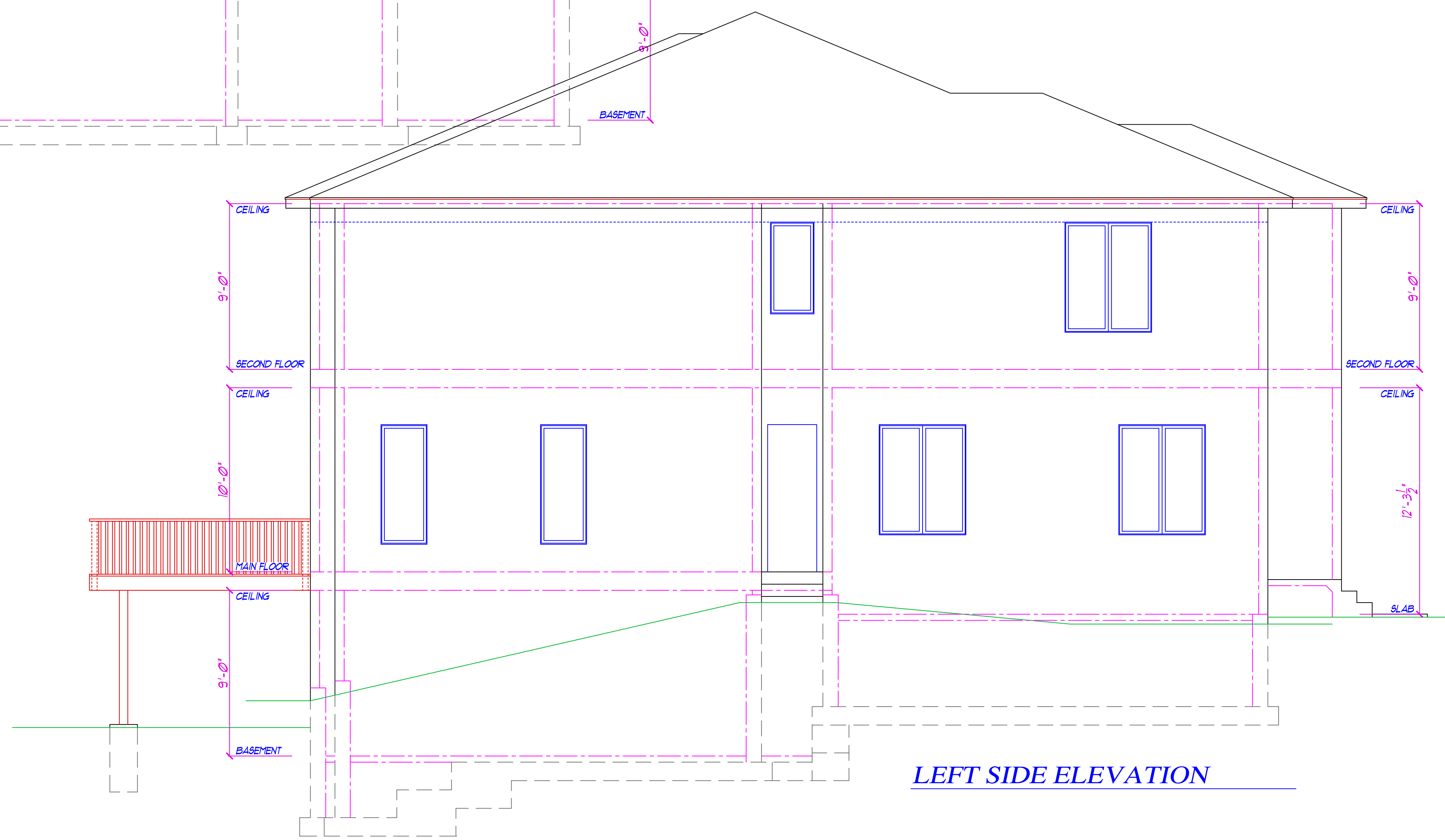
11/41.07-1-6
CNTRL SCHL DISTRICT NO
245-302 OF THE TOWNS OF R
50 MADISON AV
SPRING VALLEY, NY 10977

RECEIVED
VILLAGE OF WESLEY HILLS
MAY 30 2025
BUILDING,
PLANNING & ZONING

THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. LOANED TO THE CLIENT FOR USE AS A CONSTRUCTION GUIDE FOR THIS PROJECT ONLY. SUBSTITUTIONS AND/OR REVISIONS MADE DIFFERING FROM THESE PLANS WITHOUT WRITTEN NOTICE SHALL VOID ARCHITECT'S RESPONSIBILITY. ARCHITECT NOT RESPONSIBLE FOR CONTRACTORS METHODS AND WORKMANSHIP. ARCHITECT NOT LIABLE FOR EXISTING AND UNKNOWN CONDITIONS.

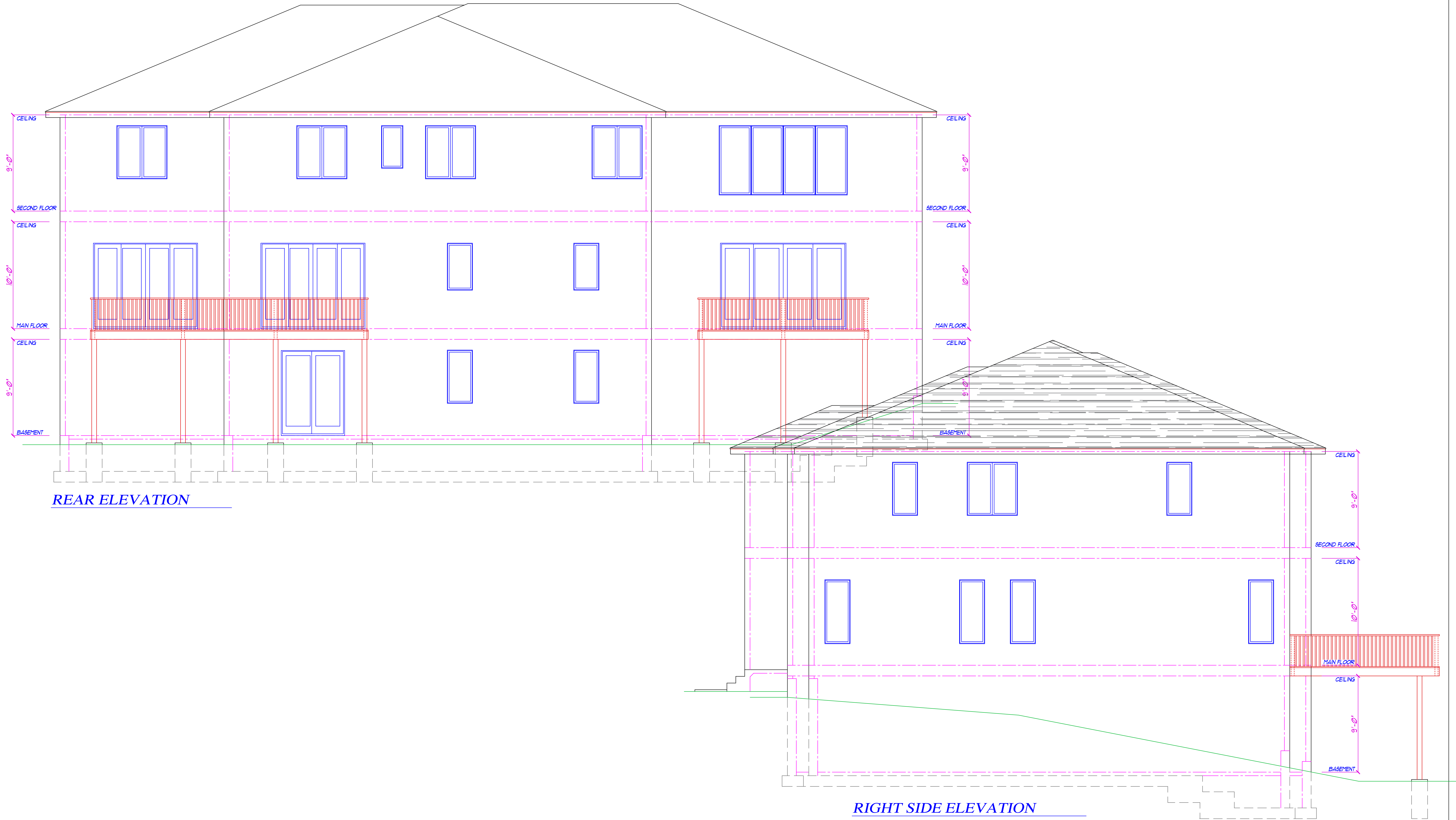


FRONT ELEVATION



LEFT SIDE ELEVATION

<p>NOTES:</p>	<p>PROJECT DATA MAIN FLOOR AREA = 3,884 SQ. FT. GARAGE AREA = -560.5 SQ. FT. MAIN LIVING AREA = 3,323.5 SQ. FT. 2ND LIVING AREA = 3,419 SQ. FT. TOTAL LIVING AREA = 6,742 SQ. FT.</p>	<p>WALL LEGEND</p> <ul style="list-style-type: none"> STANDARD FRAME WALLS LOAD BEARING WALLS FIRE RATED WALLS 		<p>ERIC KNUTE OSBORN ARCHITECT 48 YEARS' EXPERIENCE RESIDENTIAL - COMMERCIAL - ADDITIONS 58 BARNES ROAD WASHINGTONVILLE, N.Y. 10992 EMAIL - EKOSBORNARCHITECT@GMAIL.COM (845) 629-7474</p>	<p>PROJECT PROPOSED RESIDENCE FOR MR. & MRS. ISSAC KARMEL LOT # 12 - 15 TERRACE VILLAGE OF WESLEY HILLS ROCKLAND COUNTY, NEW YORK TAX LOT 12 BLK. 2 SECT. 32.19</p>	<p><u>BASEMENT PLAN</u></p>	<p>START DATE: 11 MAR. 2025</p>	<p>PROJECT # 2025-CHSE-3 SCALE 1/4" = 1'-0" DWG. No. A-4</p>	<p>4 OF 8</p>
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REAR ELEVATION

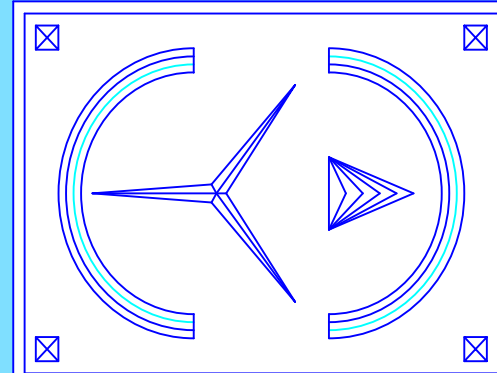
RIGHT SIDE ELEVATION

NOTES:

PROJECT DATA
 MAIN FLOOR AREA = 3,884 SQ. FT.
 GARAGE AREA = 560.5 SQ. FT.
 MAIN LIVING AREA = 3,323.5 SQ. FT.
 2ND LIVING AREA = 3,419 SQ. FT.
 TOTAL LIVING AREA = 6,742 SQ. FT.

WALL LEGEND

- STANDARD FRAME WALLS
- LOAD BEARING WALLS
- FIRE RATED WALLS



ERIC KNUTE OSBORN ARCHITECT
 48 YEARS' EXPERIENCE
 RESIDENTIAL - COMMERCIAL - ADDITIONS
 58 BARNES ROAD
 WASHINGTONVILLE, N.Y. 10992
 EMAIL - EKOSBORNARCHITECT@GMAIL.COM
 (845) 629-7474

PROJECT
PROPOSED RESIDENCE FOR MR. & MRS. ISSAC KARMEL
 LOT # 12 - 15 TERRACE
 VILLAGE OF WESLEY HILLS
 ROCKLAND COUNTY, NEW YORK
 TAX LOT 12 BLK. 2 SECT. 32.19

BASEMENT PLAN

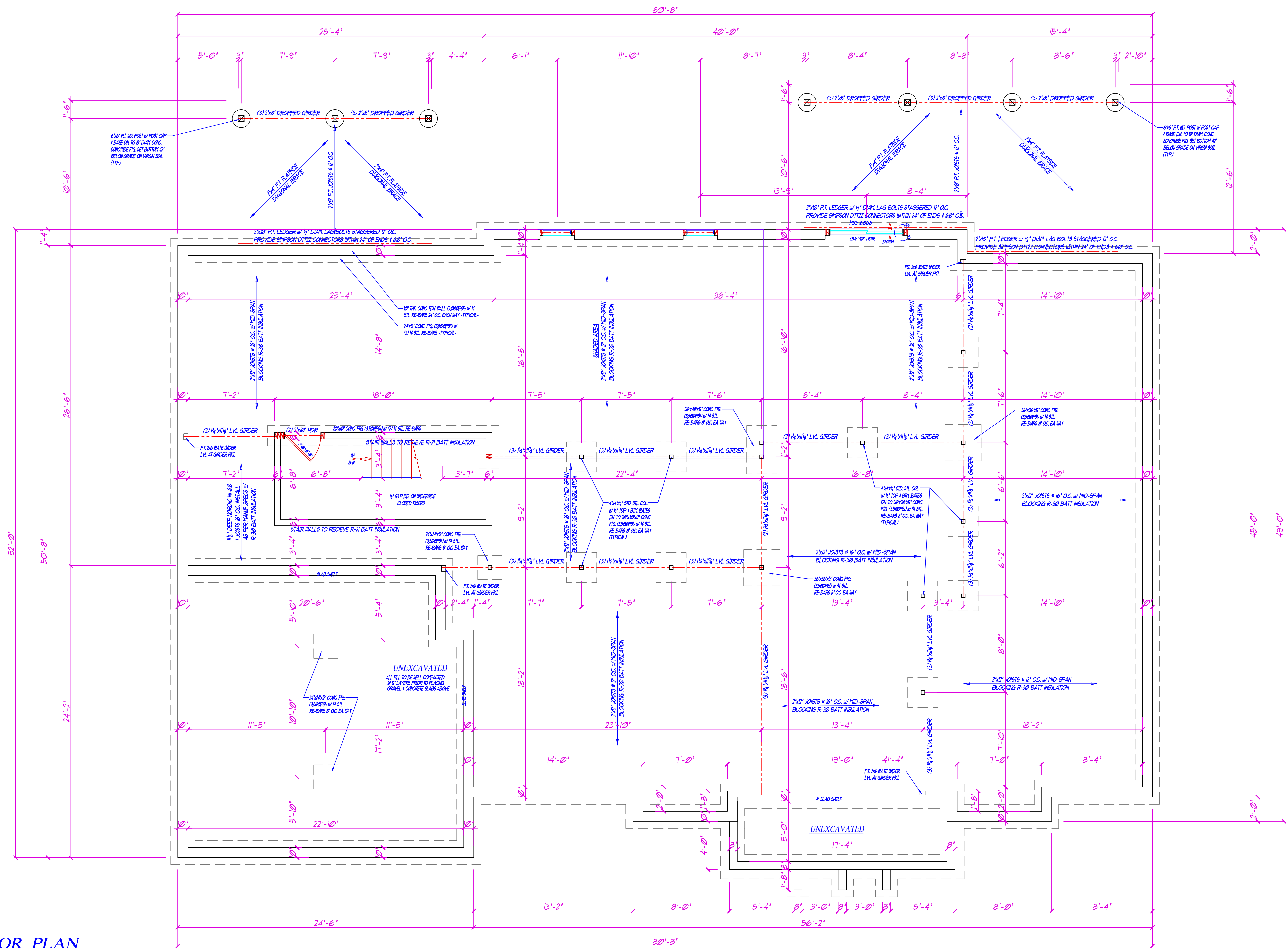
START DATE: 11 MAR. 2025

PROJECT # 2025-CHSE-3
 SCALE 1/4" = 1'-0"
 DWG. No.

A-2

4 OF 8

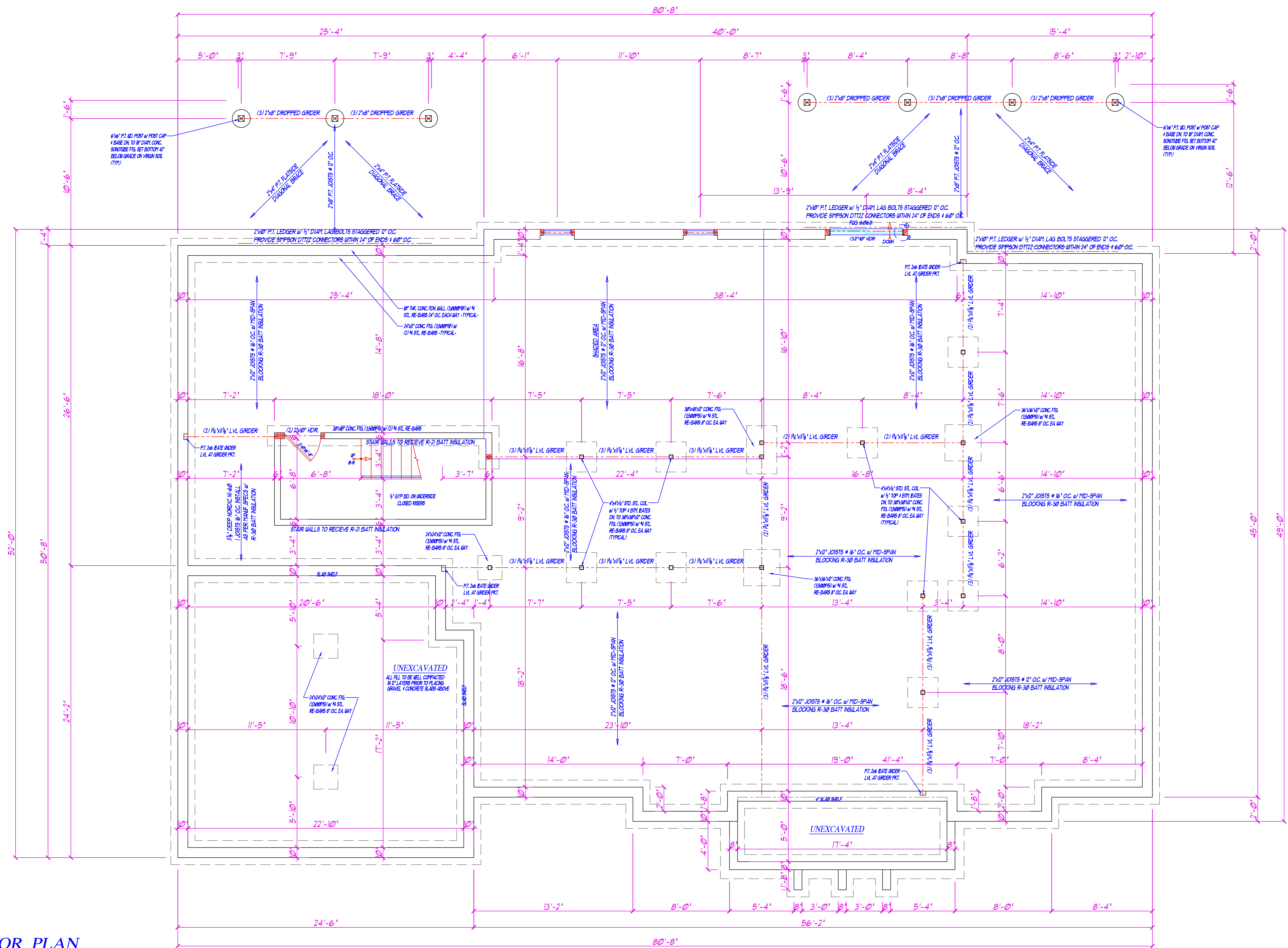
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. LOANED TO THE CLIENT FOR USE AS A CONSTRUCTION GUIDE FOR THIS PROJECT ONLY. SUBSTITUTIONS AND/OR REVISIONS MADE DIFFERING FROM THESE PLANS WITHOUT WRITTEN NOTICE SHALL VOID ARCHITECT'S RESPONSIBILITY. ARCHITECT NOT RESPONSIBLE FOR CONTRACTORS METHODS AND WORKMANSHIP. ARCHITECT NOT LIABLE FOR EXISTING AND UNKNOWN CONDITIONS.



MAIN FLOOR PLAN

<p>NOTES:</p>	<p>PROJECT DATA MAIN FLOOR AREA = 3,884 SQ. FT. GARAGE AREA = 560.5 SQ. FT. MAIN LIVING AREA = 3,323.5 SQ. FT. 2ND LIVING AREA = 3,419 SQ. FT. TOTAL LIVING AREA = 6,742 SQ. FT.</p>	<p>WALL LEGEND</p> <ul style="list-style-type: none"> STANDARD FRAME WALLS LOAD BEARING WALLS FIRE RATED WALLS 		<p>ERIC KNUTE OSBORN ARCHITECT 48 YEARS' EXPERIENCE RESIDENTIAL - COMMERCIAL - ADDITIONS 58 BARNES ROAD WASHINGTONVILLE, N.Y. 10992 EMAIL - EKOSBORNARCHITECT@GMAIL.COM (845) 629-7474</p>	<p>PROJECT PROPOSED RESIDENCE FOR MR. & MRS. ISSAC KARMEL LOT # 12 - 15 TERRACE VILLAGE OF WESLEY HILLS ROCKLAND COUNTY, NEW YORK TAX LOT 12 BLK. 2 SECT. 32.19</p>	<p>BASEMENT PLAN</p>	<p>START DATE: 11 MAR. 2025</p>	<p>PROJECT # 2025-CHSE-3 SCALE 1/4" = 1'-0" DWG. No. <h1 style="font-size: 2em;">A-4</h1> 4 OF 8</p>
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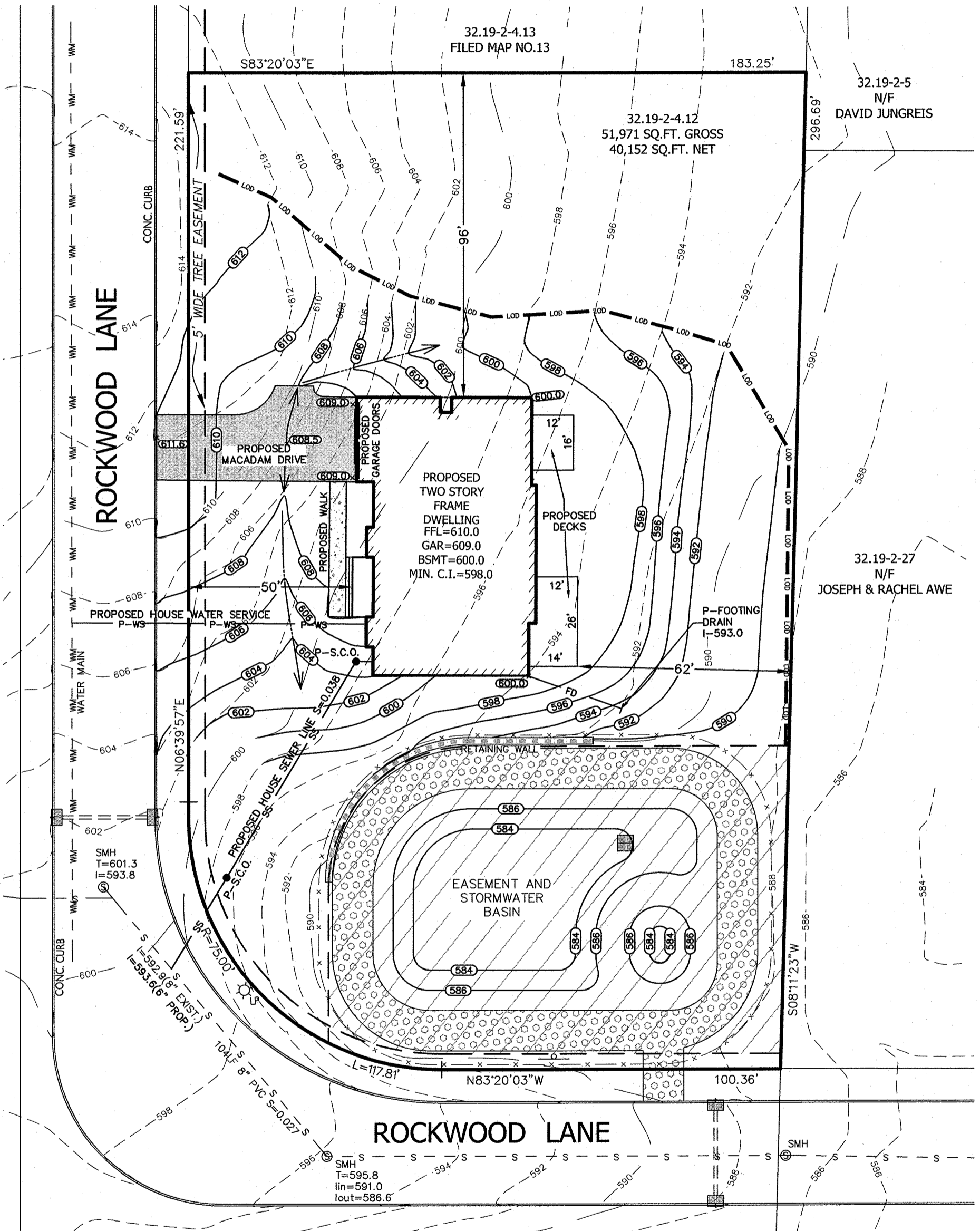
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MAIN FLOOR PLAN

<p>NOTES:</p>	<p>PROJECT DATA MAIN FLOOR AREA = 3,884 SQ. FT. GARAGE AREA = 560.5 SQ. FT. MAIN LIVING AREA = 3,323.5 SQ. FT. 2ND LIVING AREA = 3,419 SQ. FT. TOTAL LIVING AREA = 6,742 SQ. FT.</p>	<p>WALL LEGEND</p> <ul style="list-style-type: none"> STANDARD FRAME WALLS LOAD BEARING WALLS FIRE RATED WALLS 		<p>ERIC KNUTE OSBORN ARCHITECT 48 YEARS' EXPERIENCE RESIDENTIAL - COMMERCIAL - ADDITIONS 58 BARNES ROAD WASHINGTONVILLE, N.Y. 10992 EMAIL - EKOSBORNARCHITECT@GMAIL.COM (845) 629-7474</p>	<p>PROJECT PROPOSED RESIDENCE FOR MR. & MRS. ISSAC KARMEL LOT # 12 - 15 TERRACE VILLAGE OF WESLEY HILLS ROCKLAND COUNTY, NEW YORK TAX LOT 12 BLK. 2 SECT. 32.19</p>	<p>BASEMENT PLAN</p>	<p>START DATE: 11 MAR. 2025</p>	<p>PROJECT # 2025-CHSE-3 SCALE 1/4" = 1'-0" DWG. No. A-4 4 OF 8</p>
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BULK REQUIREMENTS

ZONE R-50	REQUIRED	LOT 12
MAXIMUM FLOOR AREA RATIO	0.15	0.15
MINIMUM LOT AREA	40,000 SQ.FT.	40,152 SQ.FT. NET
MINIMUM LOT WIDTH	125 FT.	362 FT.
MINIMUM EFFECTIVE SQUARE, SIDE	125 FT.	125 FT.
MINIMUM FRONT SETBACK	50 FT.	50 FT.
MINIMUM SIDE SETBACK	25 FT.	96 FT.
MINIMUM TOTAL SIDE SETBACK	60 FT.	N/A CORNER LOT
MINIMUM REAR SETBACK	50 FT.	62 FT.
MAXIMUM BUILDING HEIGHT (FT)	25 FT.	23 FT.
MAXIMUM BUILDING HEIGHT (STORIES)	2.5 STORIES	2 STORIES
MAXIMUM IMPERVIOUS SURFACE RATIO	0.25	0.14
MAXIMUM FRONT YARD IMPERVIOUS SURFACE RATIO	0.20	0.10
MAXIMUM BUILDING COVERAGE	0.10	0.10
MAXIMUM EXPOSED BUILDING HEIGHT	40 FT.	33 FT.
MINIMUM LOT FRONTAGE	90 FT.	439 FT.

TAX MAP REFERENCE:
TOWN OF RAMAPO TAX MAP
SECTION 32.19, BLOCK 2, LOT 4.12

SITE ADDRESS:
18 ROCKWOOD LANE
WESLEY HILLS, NY 10901

SUBDIVISION REFERENCE:
SUBDIVISION ENTITLED "15 TERRACE ROAD, LLC."
FILED IN THE ROCKLAND COUNTY CLERK'S
OFFICE ON APRIL 12, 2024 IN BOOK 133, PAGE
96, AS MAP No. 8646.

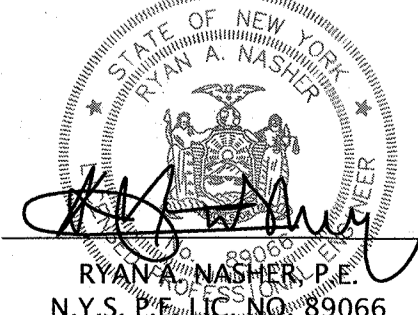
NOTE: SUBJECT TO AN ORANGE & ROCKLAND
UTILITIES, INC. EASEMENT,


"UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW."

"ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES."

"CERTIFICATION INDICATED HERE ON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE DELAWARE - HUDSON LAND SURVEYORS ASSOCIATION. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS OR SUBSEQUENT OWNERS."

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 7209-2)



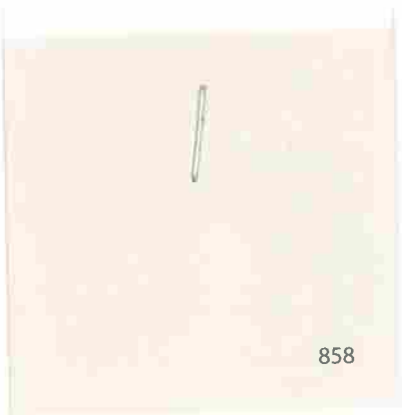
REVISION	DATE	DESCRIPTION
 ATZL, NASHER & ZIGLER P.C. ENGINEERS-SURVEYORS-PLANNERS 232 North Main Street New City, New York 10956 Tel: (845) 634-4694 Fax: (845) 634-5543 E-mail: info@anzny.com Web: www.ANZNY.com		
PROJECT: 15 TERRACE ROAD, LLC.		
TITLE: VILLAGE OF WESLEY HILLS ROCKLAND COUNTY, NEW YORK SITE PLAN LOT 12		
DRAWN BY: IS DATE: APRIL 02, 2025 PROJECT NO: 5275	CHECKED BY: JRA SCALE: 1 IN. = 30 FT. DRAWING NO: 1	

RECEIVED
VILLAGE OF WESLEY HILLS

MAY 30 2025

BUILDING,
PLANNING & ZONING

Color of Stucco



 Benjamin Moore



Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information							
Mazal 18 Builders Inc							
Name of Action or Project: Karmel House							
Project Location (describe, and attach a location map): 18 Rockwood Lane							
Brief Description of Proposed Action: We are proposing the construction of a single-family residence in the Village of Wesley Hills. This home is designed in full accordance with all applicable local zoning laws, building codes, and architectural guidelines. The proposed house reflects the character and aesthetic of the surrounding homes in the neighborhood, maintaining harmony with the community's established architectural style. Care has been taken to ensure that building materials, scale, roofline, and overall design are consistent with the look and feel of nearby properties. This home will serve as a permanent residence for a family that is excited to become part of the Wesley Hills community. Their presence will positively contribute to the neighborhood's vibrancy and continued growth.							
Name of Applicant or Sponsor: Kamran Amona		Telephone: 845-596-4471 E-Mail: kamranamona@gmail.com					
Address: 435 Buena Vista Rd							
City/PO: New City		State: NY	Zip Code: 10956				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; text-align: center;"> <tr> <td style="width: 50%;">NO</td> <td style="width: 50%;">YES</td> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Building Dept- Building Permit			<table border="1" style="width: 100%; text-align: center;"> <tr> <td style="width: 50%;">NO</td> <td style="width: 50%;">YES</td> </tr> <tr> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>
NO	YES						
<input type="checkbox"/>	<input checked="" type="checkbox"/>						
3. a. Total acreage of the site of the proposed action? _____ .9 acres b. Total acreage to be physically disturbed? _____ .15 acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ .9 acres							
4. Check all land uses that occur on, are adjoining or near the proposed action: <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland							

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:

- Shoreline
- Forest
- Agricultural/grasslands
- Early mid-successional
- Wetland
- Urban
- Suburban

15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

16. Is the project site located in the 100-year flood plan?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

17. Will the proposed action create storm water discharge, either from point or non-point sources?
If Yes,

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

a. Will storm water discharges flow to adjacent properties?

<input type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------

b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?

<input type="checkbox"/>	<input type="checkbox"/>
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If Yes, briefly describe:

Storm water will be conveyed to municipal drainage system per approved subdivision.

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?
If Yes, explain the purpose and size of the impoundment:

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?
If Yes, describe:

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?
If Yes, describe:

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

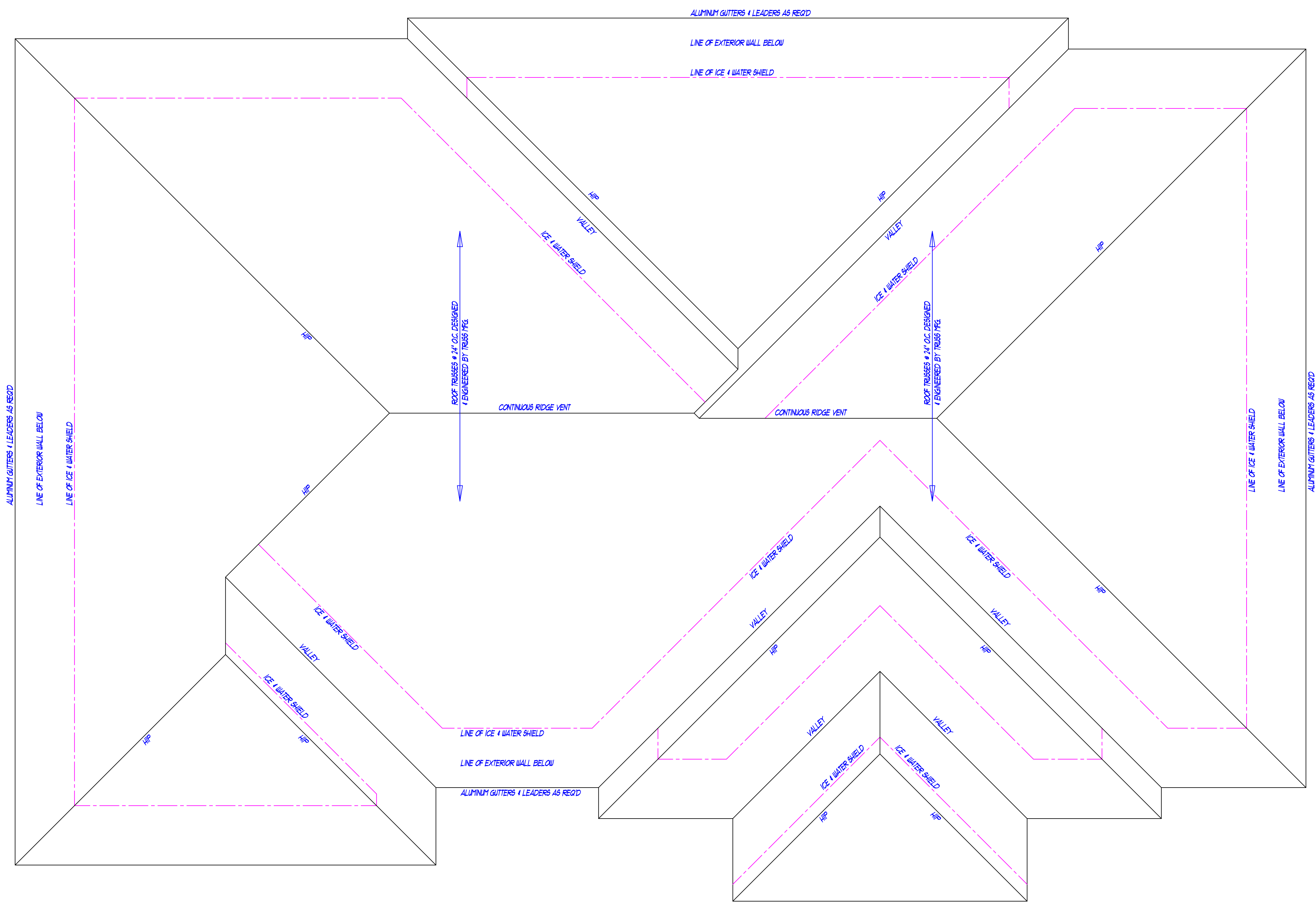
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor/name: Kamran Amona

Date: 6/24/25

Signature: Kamran Amona

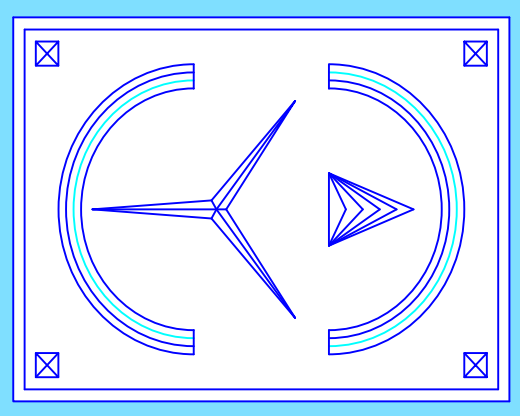
Title: President



NOTES:

PROJECT DATA

WALL LEGEND



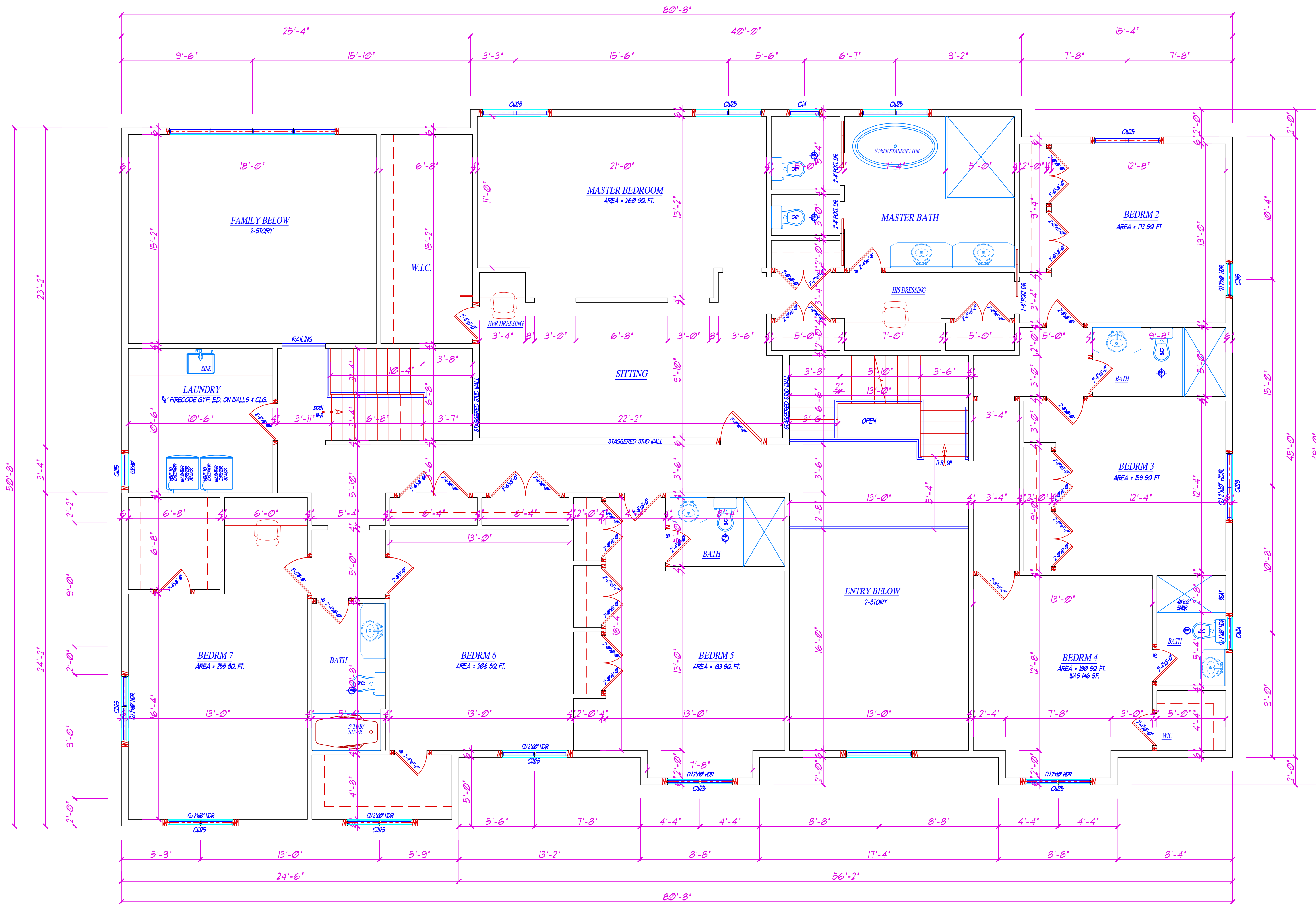
ERIC KNUTE OSBORN ARCHITECT
 48 YEARS' EXPERIENCE
 RESIDENTIAL - COMMERCIAL - ADDITIONS
 58 BARNES ROAD
 WASHINGTONVILLE, N.Y. 10992
 EMAIL - EKOSBORNARCHITECT@GMAIL.COM
 (845) 629-7474

PROJECT
PROPOSED RESIDENCE FOR MR. & MRS. ISSAC KARMEL
 LOT # 12 - 15 TERRACE
 VILLAGE OF WESLEY HILLS
 ROCKLAND COUNTY, NEW YORK
 TAX LOT 12 BLK. 2 SECT. 32.19

ROOF PLAN

START DATE: 18 MAR. 2025

PROJECT # 2025-CHSE-3
 SCALE 1/4" = 1'-0"
 DWG. No.
A-7
 OF



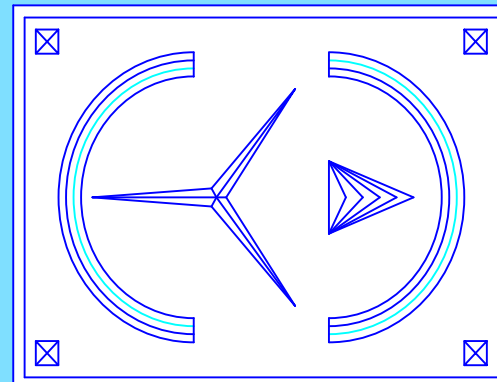
SECOND FLOOR PLAN

NOTES:

PROJECT DATA
 2ND FLOOR AREA = 3,884 SQ. FT.
 - OPEN AREA = - 465 SQ. FT.
 2ND LIVING AREA = 3,419 SQ. FT.

WALL LEGEND

- STANDARD FRAME WALLS
- LOAD BEARING WALLS
- STAGGERED STUD SOUND WALL



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 ROCKLAND COUNTY, NEW YORK
 TAX LOT 12 BLK. 2 SECT. 32.19

SECOND FLOOR PLAN

START DATE: 18 MAR. 2025

PROJECT # 2025-CHSE-3
 SCALE 1/4" = 1'-0"
 DWG. No.

A-6

6 OF 8



MEMORANDUM

TO: Lon Lieberman, Chairman
Members, Village of Wesley Hills Planning Board

FROM: William Brady, AICP
Gerard Chesterman, Planner

DATE: July 21, 2025

RE: 18 Rockwood Lane Architectural Review
Applicant: Kamran Amona
Owner: Mazal 18 Builders Inc.
SBL: 32.19-2-4.12; R-50 Zoning District

CC: John Layne, Building Inspector
Alicia Schultz, Deputy Village Clerk
Stewart Strow, P.E., Village Engineer
Bruce Minsky, Esq., Planning Board Attorney

Items Reviewed for this Memorandum

- Architectural Review Application Package, prepared and signed by Kamran Amona, signed June 6, 2025.
- Project Narrative, prepared by Kamran Amona, received May 30, 2025.
- Proposed house renderings.
- Short Environmental Assessment Form Part 1, prepared and signed by Kamran Amona, June 24, 2025.
- Color of Stucco example, received May 30, 2025.
- Architectural Plans and Elevations for 18 Rockwood Lane, 7 sheets, unstamped, by Eric Knute Osborn, Architect, dated March 11, 2025.
- Site Plan, prepared, stamped and signed by Ryan A. Nasher and John R. Atzl of Atzl, Nasher & Zigler, dated April 2, 2024.

Project Summary

Kamran Amona (“the Applicant”) is applying to construct a single-family home at 18 Rockwood Lane for the owner Mazal 18 Builders Inc. and is seeking architectural approval. The two-story home has a proposed total square footage of 6,742 square feet of floor area. The site is about 39,204 square feet (.9 acres), located on the north side of Rockwood Lane, and located in the R-50 zone. The home is being constructed on lot #12 of the AMS Subdivision (also known as “15 Terrace”), so ARB review is required by §230-36.E.(5). The SBL number of the full parcel prior to subdivision is 32.19-2-4.12.

Submission Comments

- 1. We note that the applicant’s narrative describes the proposed home as a “true single-story dwelling,” while the plans provided show that the home would be a two-story home.
- 2. Please submit these required additional items, per §230-36.E(5)(a): Colors and samples of façade and roofing materials to be used (with manufacturers’ pictures if available)

Architectural Review Comments

- 3. A public hearing is required as per Village Code §230-36.E(5)(c). The Planning Board may wish to schedule a public hearing if it finds the application to be complete enough.
- 4. As per the Village Code §230-36.E(5)(e)[1] and [2], no proposed construction should be excessively similar or dissimilar in relation to the surrounding existing structures within 500 feet. Photographs from Google Maps of nearby homes are included below. The proposed design does not appear to be excessively similar or dissimilar to homes in the surrounding neighborhood.

9 Cains Road



12 Rockwood Lane



10 Rockwood Lane



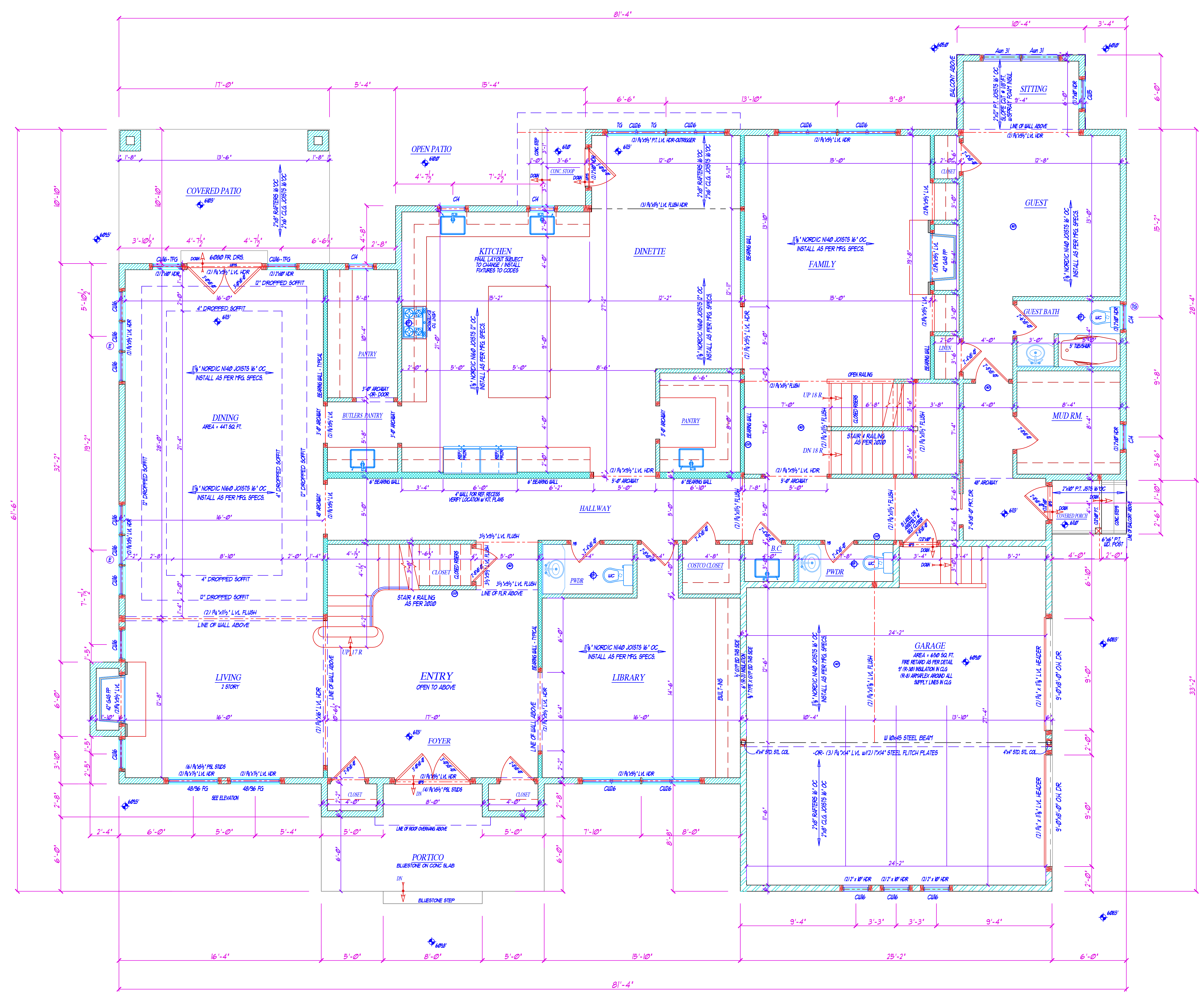
15 Rockwood Lane



5. We recommend that the applicant discuss the differences between the rendering of the front of the home and the Front Elevation shown on Drawing A-4. The rendering shows several differences from the Front Elevation:
 - a. No garage is shown on the rendering of the front.
 - b. The windows shown on the rendering appear much larger than the Front Elevation drawing, and more windows are shown on the rendering than the drawing.
 - c. The roof lines on the rendering appear to be different than shown on the Front Elevation drawing.
 - d. The front doorway shown on the elevation is in a different location than shown on the Front Elevation drawing.

SEQR/GML Comments

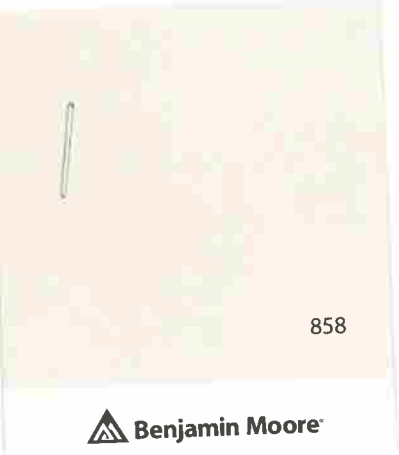
6. GML review will not be required for this application, as the County does not review ARB applications.
7. This can be classified as a Type II action as per SEQR §617.5(25), as “official acts of ministerial nature involving no exercise of discretion, including building permits and historic preservation permits where issuance is predicated solely on the applicant’s compliance or noncompliance with the relevant local building or preservation codes.”



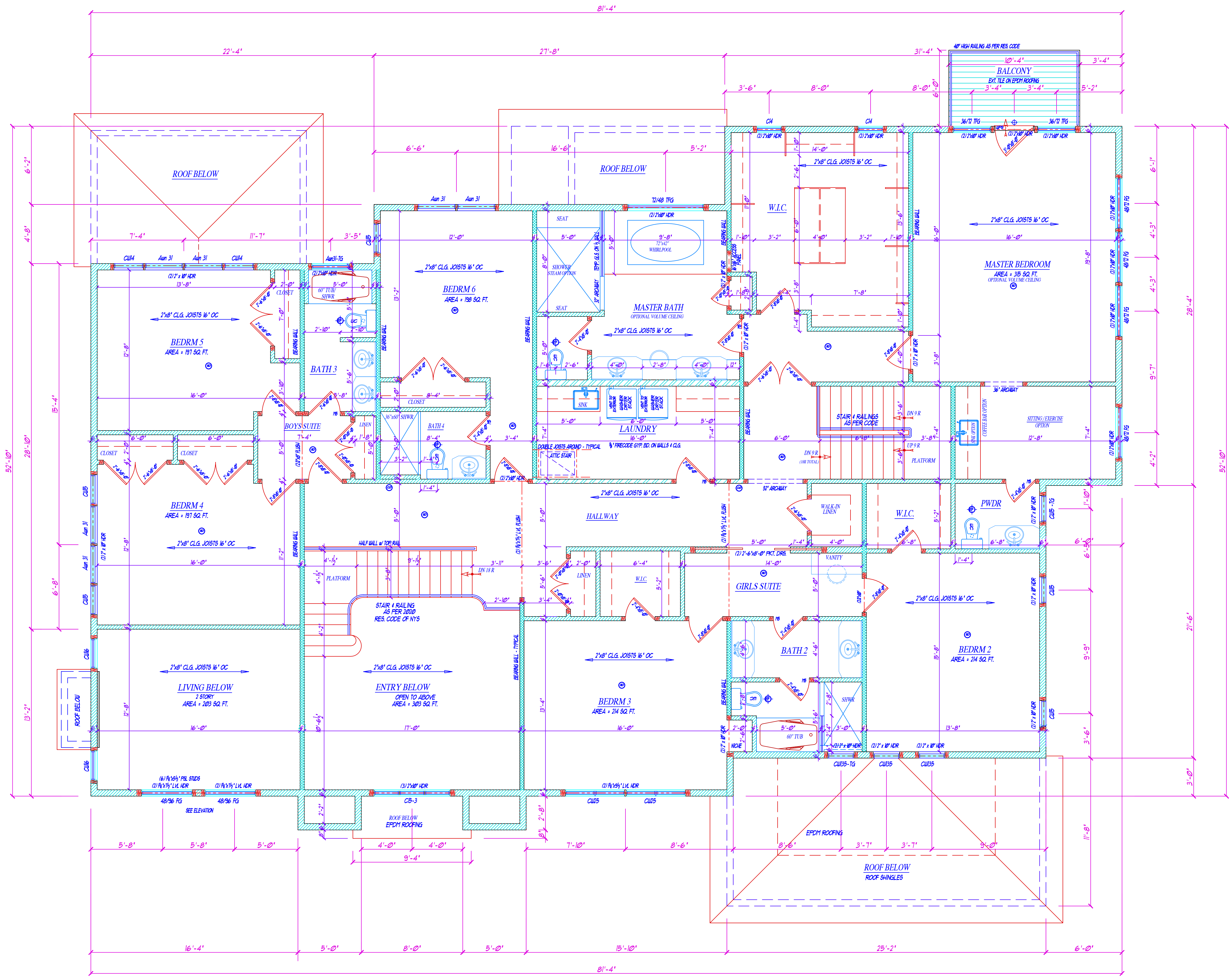
MAIN FLOOR PLAN

<p>NOTES:</p>	<p>PROJECT DATA MAIN FLOOR AREA = 4,058 SQ. FT. GARAGE AREA = 650 SQ. FT. MAIN LIVING AREA = 3,470 SQ. FT. UPPER LIVING AREA = 3,084 SQ. FT. TOTAL LIVING AREA = 6,554 SQ. FT. LOT AREA = 54,162 SQ. FT.</p>	<p>WALL LEGEND</p> <ul style="list-style-type: none"> STANDARD FRAME WALLS LOAD BEARING WALLS FIRE RATED WALLS 		<p>ERIC KNUTE OSBORN ARCHITECT 48 YEARS' EXPERIENCE RESIDENTIAL - COMMERCIAL - ADDITIONS 58 BARNES ROAD WASHINGTONVILLE, N.Y. 10992 EMAIL - EKOSBORNARCHITECT@GMAIL.COM (845) 629-7474</p>	<p>PROJECT PROPOSED RESIDENCE FOR JOSH & BRACHA LOWINGER LOT # 4 JEREMY COURT VILLAGE OF WESLEY HILLS ROCKLAND COUNTY, NEW YORK TAX LOT 4.4 BLK. 2 SECT. 32.19</p>	<p style="text-align: center;">MAIN FLOOR PLAN</p>	<p>START DATE: 13 AUGUST 2024</p>	<p>PROJECT # 2025-CHSE-1 SCALE 1/4" = 1'-0" DWG. No. A-4</p>	
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Color of Stucco

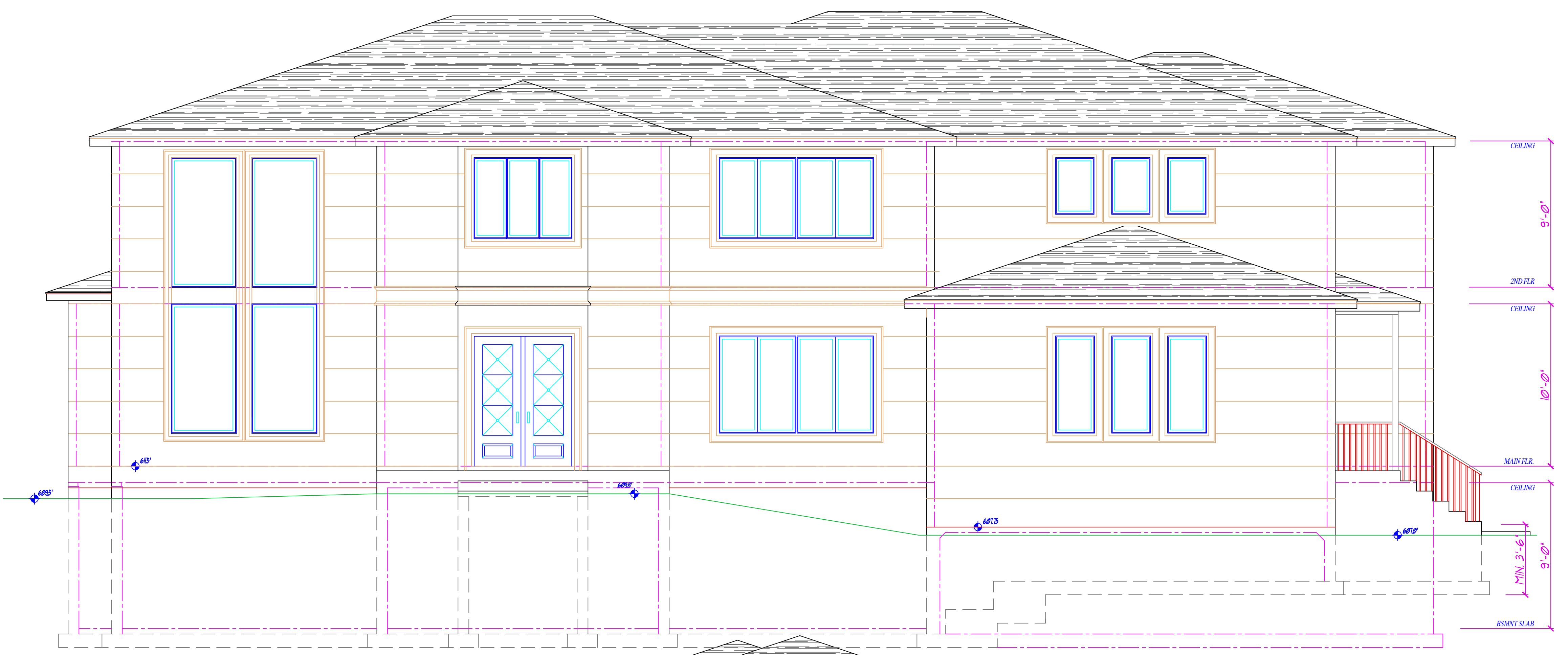


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VILLAGE OF WESLEY HILLS
MAY 30 2025
BUILDING,
PLANNING & ZONING

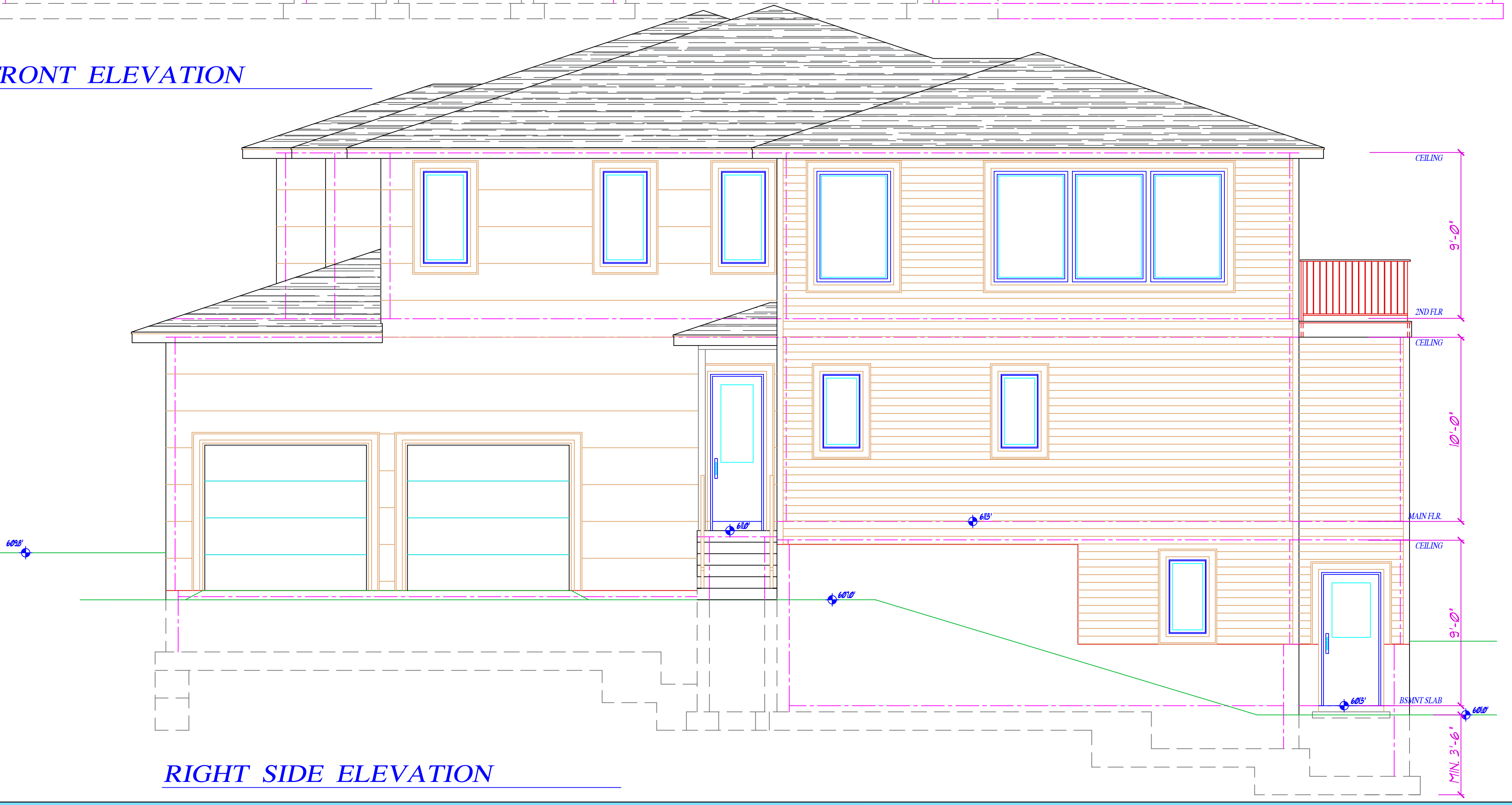


UPPER FLOOR PLAN

<p>NOTES:</p>	<p>PROJECT DATA UPPER FLOOR AREA = 3,664 SQ. FT. OPEN AREA = 580 SQ. FT. UPPER LIVING AREA = 3,084 SQ. FT.</p>	<p>WALL LEGEND</p> <ul style="list-style-type: none"> STANDARD FRAME WALLS LOAD BEARING WALLS FIRE RATED WALLS 		<p>ERIC KNUTE OSBORN ARCHITECT 48 YEARS' EXPERIENCE RESIDENTIAL - COMMERCIAL - ADDITIONS 58 BARNES ROAD WASHINGTONVILLE, N.Y. 10992 EMAIL - EKOSBORNARCHITECT@GMAIL.COM (845) 629-7474</p>	<p>PROJECT PROPOSED RESIDENCE FOR JOSH & BRACHA LOWINGER LOT # 4 JEREMY COURT VILLAGE OF WESLEY HILLS ROCKLAND COUNTY, NEW YORK TAX LOT 4.4 BLK. 2 SECT. 32.19</p>	<p style="text-align: center;">UPPER FLOOR PLAN</p>	<p>START DATE: 13 AUGUST 2024</p>	<p>PROJECT # 2025-CHSE-1 SCALE 1/4" = 1'-0" DWG. No. <h1 style="font-size: 2em;">A-5</h1></p>	
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FRONT ELEVATION



RIGHT SIDE ELEVATION

NOTES:	PROJECT DATA			<p>ERIC KNUTE OSBORN ARCHITECT 48 YEARS' EXPERIENCE RESIDENTIAL - COMMERCIAL - ADDITIONS 58 BARNES ROAD WASHINGTONVILLE, N.Y. 10992 EMAIL - EKOSBORNARCHITECT@GMAIL.COM (845) 629-7474</p>	<p>PROJECT PROPOSED RESIDENCE FOR JOSH & BRACHA LOWINGER LOT # 4 JEREMY COURT VILLAGE OF WESLEY HILLS ROCKLAND COUNTY, NEW YORK TAX LOT 4.4 BLK. 2 SECT. 32.19</p>	<p><i>ELEVATIONS</i></p>	<p>START DATE: 13 AUGUST 2024</p>	<p>PROJECT # 2025-CHSE-1 SCALE 1/4" = 1'-0" DWG. No. A-1</p>	 <p>23 MAY 2025</p>
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THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. LOANED TO THE CLIENT FOR USE AS A CONSTRUCTION GUIDE FOR THIS PROJECT ONLY. SUBSTITUTIONS AND/OR REVISIONS MADE DIFFERING FROM THESE PLANS WITHOUT WRITTEN NOTICE SHALL VOID ARCHITECT'S RESPONSIBILITY. ARCHITECT NOT RESPONSIBLE FOR CONTRACTORS METHODS AND WORKMANSHIP. ARCHITECT NOT LIABLE FOR EXISTING AND UNKNOWN CONDITIONS.



CREATED DATE
5/28/2025

LATEST UPDATE
5/28/2025

OWNER
Ricardo Ferreira

SOLD BY:
1261 Home Depot Nanuet
PO Box 105524
Atlanta, GA 30348-5524

SOLD TO:
RECEIVED
VILLAGE OF WESLEY HILLS

MAY 30 2025

BUILDING,
PLANNING & ZONING

Window Schedule Report

QUOTE NAME	PROJECT NAME	QUOTE NUMBER	CUSTOMER PO#	TRADE ID
KAMRAN - LOT 4 JEREMY CT	SKU # 289-185	7596397		

ORDER NOTES: **DELIVERY NOTES:**

Code	Unit Description	Qty	Location	Unit Size		Rough Opening	
				Width	Height	Width	Height
100	CW25, Left-Right	4	BSMT - CW25 LR	56 1/2"	59 7/8"	57"	60 3/8"
200	100REC4080, Fixed	2	LIVING ROOM	47 1/2"	95 1/2"	48"	96"
300	CW26-2, Left - Stationary - Stationary - Right	1	LIBRARY	113 1/8"	71 7/8"	113 5/8"	72 3/8"
400	CW16, Left	1	GARAGE	28 3/8"	71 7/8"	28 7/8"	72 3/8"
500	CW16, Right	1	GARAGE	28 3/8"	71 7/8"	28 7/8"	72 3/8"
600	CW16, Stationary	1	GARAGE	28 3/8"	71 7/8"	28 7/8"	72 3/8"
700	C14, Left	1	MUD ROOM	24 1/8"	48"	24 5/8"	48 1/2"
800	C14, Right	1	GUEST BATH	24 1/8"	48"	24 5/8"	48 1/2"
900	CW15, Left	1	SITTING	28 3/8"	59 7/8"	28 7/8"	60 3/8"
1000	AW31-2, Vent - Vent	1	AW31 - ???	72"	28 3/8"	72 1/2"	28 7/8"
1100	CW26-2, Left - Stationary - Stationary - Right	1	LIBRARY	113 1/8"	71 7/8"	113 5/8"	72 3/8"
1200	CW26-2, Left - Stationary - Stationary - Right	1	DINETTE	113 1/8"	71 7/8"	113 5/8"	72 3/8"
1300	C14, Left	1	KITCHEN	24 1/8"	48"	24 5/8"	48 1/2"

1400	C14, Right	2	KITCHEN & PANTRY	24 1/8"	48"	24 5/8"	48 1/2"
1500	CW16, Stationary	2	DINING	28 3/8"	71 7/8"	28 7/8"	72 3/8"
1600	CW16-3, Left - Stationary - Right	2	DINING	85 3/8"	71 7/8"	85 7/8"	72 3/8"
1700	CW16, Left	1	LIVING	28 3/8"	71 7/8"	28 7/8"	72 3/8"
1800	CW16, Right	1	LIVING	28 3/8"	71 7/8"	28 7/8"	72 3/8"
1900	100REC4080, Fixed	1	LIVING ROOM BELOW	47 1/2"	95 1/2"	48"	96"
2000	C35, Stationary-Stationary-Stationary	1	ENTRY BELOW	71 7/8"	59 7/8"	72 3/8"	60 3/8"
2100	CW25-2, Left - Stationary - Stationary - Right	1	BEDROOM #3	113 1/8"	59 7/8"	113 5/8"	60 3/8"
2200	CW135, Left	1	SHOWER	28 3/8"	40 13/16"	28 7/8"	41 3/8"
2300	CW135, Stationary	1	BR 2	28 3/8"	40 13/16"	28 7/8"	41 3/8"
2400	CW135, Right	1	BR 2	28 3/8"	40 13/16"	28 7/8"	41 3/8"
2500	CW15, Left	1	BR 2	28 3/8"	59 7/8"	28 7/8"	60 3/8"
2600	CW15, Right	1	BR 2	28 3/8"	59 7/8"	28 7/8"	60 3/8"
2700	CW15, Right	1	POWDER	28 3/8"	59 7/8"	28 7/8"	60 3/8"
2800	100REC4060, Fixed	4	MSTR BR SITTING, MSTR BR	47 1/2"	71 1/2"	48"	72"
2900	100REC3660, Fixed	2	MSTR BR BALCONY	41 1/2"	71 1/2"	42"	72"
3000	C14, Left	1	WIC	24 1/8"	48"	24 5/8"	48 1/2"
3100	C14, Right	1	WIC	24 1/8"	48"	24 5/8"	48 1/2"
3200	100REC6040, Fixed	1	MSTR BATH	71 1/2"	47 1/2"	72"	48"
3300	AW31-2, Vent - Vent	1	BR 6	72"	28 3/8"	72 1/2"	28 7/8"
3400	CW15, Right	1	BR 6	28 3/8"	59 7/8"	28 7/8"	60 3/8"
3500	AW31, Stationary	1	BATH 3	35 15/16"	28 3/8"	36 1/2"	28 7/8"
3600	CW14, Left	1	BR 5	28 3/8"	48"	28 7/8"	48 1/2"
3700	CW14, Right	1	BR 5	28 3/8"	48"	28 7/8"	48 1/2"
3800	AW31-2, Vent - Vent	1	BR 5	72"	28 3/8"	72 1/2"	28 7/8"
3900	CW15, Left	1	BR 4	28 3/8"	59 7/8"	28 7/8"	60 3/8"
4000	CW15, Right	1	BR 4	28 3/8"	59 7/8"	28 7/8"	60 3/8"
4100	AW31-2, Vent - Vent	1	BR 4	72"	28 3/8"	72 1/2"	28 7/8"
4200	FWHICD3180, Left	1	MSTR BR BALCONY	36 1/8"	95 1/2"	37"	96"
4300	FWHICD6080, Active Left-Passive Right	1	DINING	71 1/4"	95 1/2"	72"	96"

CUSTOMER SIGNATURE _____ DATE _____

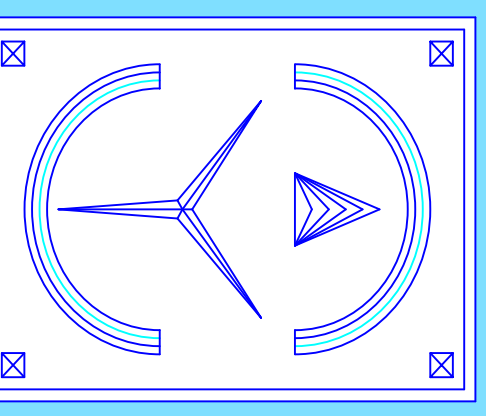
* All graphics as viewed from the exterior. ** Rough opening dimensions are minimums and may need to be increased to allow for use of building or flashings or sill panning or brackets or fasteners or other items.

Thank you for choosing Andersen Windows & Doors



NOTES:

PROJECT DATA



ERIC KNUTE OSBORN ARCHITECT
 48 YEARS' EXPERIENCE
 RESIDENTIAL - COMMERCIAL - ADDITIONS
 58 BARNES ROAD
 WASHINGTONVILLE, N.Y. 10992
 EMAIL - EKOSBORNARCHITECT@GMAIL.COM
 (845) 629-7474

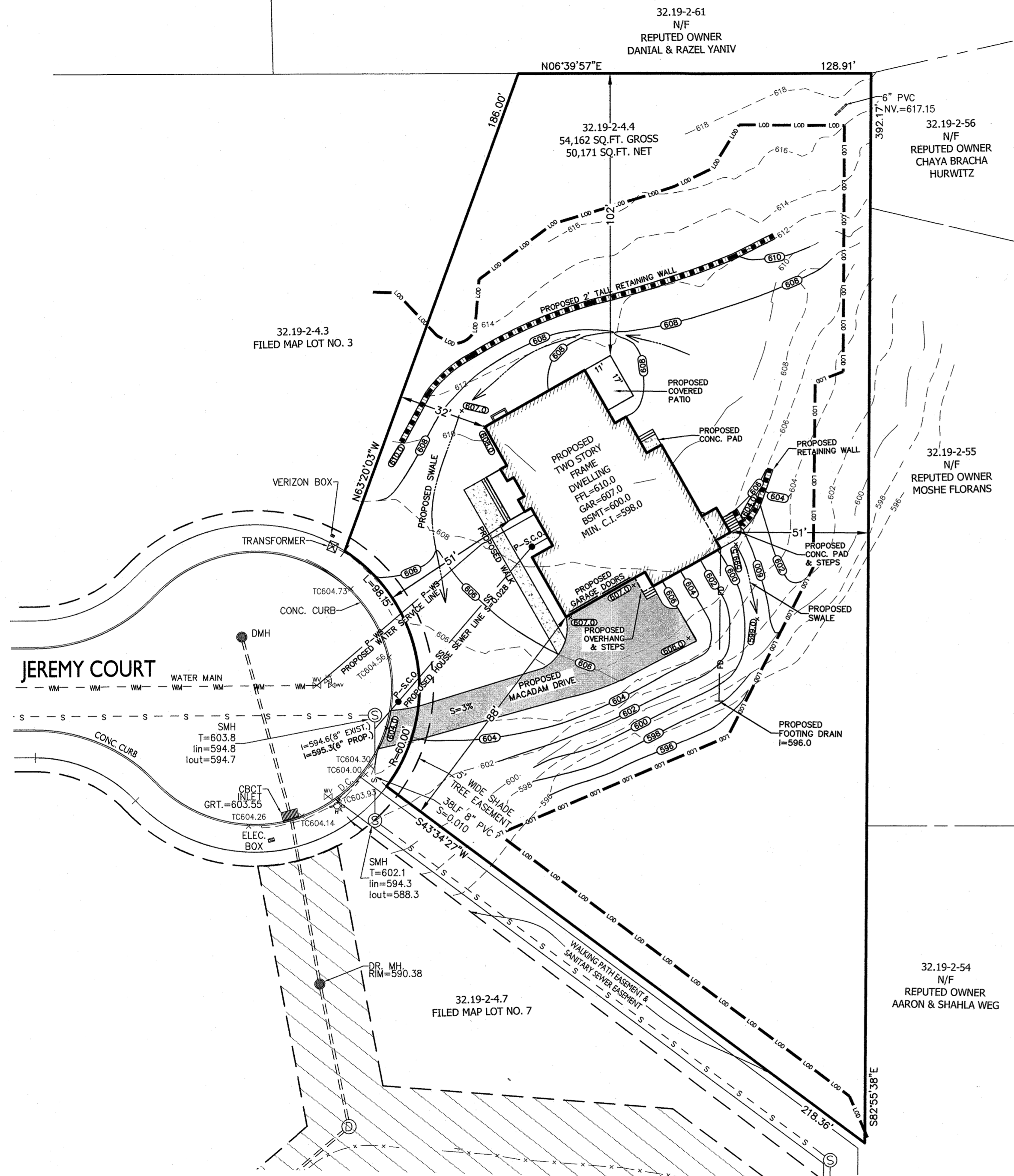
PROJECT
PROPOSED RESIDENCE FOR JOSH & BRACHA LOWINGER
 LOT # 4 JEREMY COURT
 VILLAGE OF WESLEY HILLS
 ROCKLAND COUNTY, NEW YORK
 TAX LOT 4.4 BLK. 2 SECT. 32.19

SIDE ELEVATIONS

START DATE: 13 AUGUST 2024

PROJECT # 2025-CHSE-1
 SCALE 1/4" = 1'-0"
 DWG. No. **A-2**





BULK REQUIREMENTS

ZONE R-50	REQUIRED	LOT 4
MAXIMUM FLOOR AREA RATIO	0.15	0.13
MINIMUM LOT AREA	40,000 SQ.FT.	50,171 SQ.FT. NET
MINIMUM LOT WIDTH	125 FT. *	191 FT.
MINIMUM EFFECTIVE SQUARE, SIDE	125 FT.	125 FT.
MINIMUM FRONT SETBACK	50 FT.	51 FT.
MINIMUM SIDE SETBACK	25 FT.	32 FT.
MINIMUM TOTAL SIDE SETBACK	60 FT.	120 FT.
MINIMUM REAR SETBACK	50 FT.	51 FT.
MAXIMUM BUILDING HEIGHT (FT)	25 FT.	23 FT.
MAXIMUM BUILDING HEIGHT (STORIES)	2.5 STORIES	2 STORIES
MAXIMUM IMPERVIOUS SURFACE RATIO	0.25	0.15
MAXIMUM FRONT YARD IMPERVIOUS SURFACE RATIO	0.20	0.13
MAXIMUM BUILDING COVERAGE	0.10	0.08
MAXIMUM EXPOSED BUILDING HEIGHT	40 FT.	30 FT.
MINIMUM LOT FRONTAGE	90 FT.	98.1 FT.

* MINIMUM LOT WIDTH MAY BE REDUCED TO 75 FEET BY THE PLANNING BOARD FOR RESIDENTIAL LOTS FRONTING ON CUL-DE-SAC OR ON STREETS WITH A CENTER-LINE RADIUS OF 300 FT OR LESS.

TAX MAP REFERENCE:
TOWN OF RAMAPO TAX MAP
SECTION 32.19, BLOCK 2, LOT 4.4

SITE ADDRESS:
17 JEREMY COURT
WESLEY HILLS, NY 10901


SUBDIVISION REFERENCE:
SUBDIVISION ENTITLED "15 TERRACE ROAD, LLC."
FILED IN THE ROCKLAND COUNTY CLERK'S
OFFICE ON APRIL 12, 2024 IN BOOK 133, PAGE
96, AS MAP No. 8646.

NOTE: SUBJECT TO AN ORANGE & ROCKLAND
UTILITIES, INC. EASEMENT,

"UNAUTHORIZED ALTERATIONS OR
ADDITIONS TO A SURVEY MAP BEARING A
LICENSED LAND SURVEYOR'S EMBOSSED
SEAL IS A VIOLATION OF SECTION 7209,
SUBDIVISION 2, OF THE NEW YORK STATE
EDUCATION LAW."
"ONLY COPIES FROM THE ORIGINAL TRACING
OF THIS SURVEY MAP MARKED WITH THE
LAND SURVEYOR'S EMBOSSED SEAL SHALL
BE CONSIDERED TO BE VALID TRUE
COPIES."
"CERTIFICATION INDICATED HERE ON SIGNIFY
THAT THIS SURVEY WAS PREPARED IN
ACCORDANCE WITH THE EXISTING CODE OF
PRACTICE FOR LAND SURVEYORS ADOPTED
BY THE DELAWARE - HUDSON LAND
SURVEYORS ASSOCIATION. SAID
CERTIFICATIONS SHALL RUN ONLY TO
THOSE NAMED INDIVIDUALS AND/OR
INSTITUTIONS FOR WHOM THE SURVEY WAS
PREPARED. CERTIFICATIONS ARE NOT
TRANSFERABLE TO ADDITIONAL INDIVIDUALS,
INSTITUTIONS, THEIR SUCCESSORS AND/OR
ASSIGNS OR SUBSEQUENT OWNERS."

THE EDUCATION LAW OF THE STATE OF NEW
YORK PROHIBITS ANY PERSON ALTERING
ANYTHING ON THESE DRAWINGS AND/OR THE
ACCOMPANYING SPECIFICATIONS, UNLESS IT IS
UNDER THE DIRECTION OF A LICENSED
PROFESSIONAL ENGINEER. WHERE SUCH
ALTERATIONS ARE MADE, THE PROFESSIONAL
ENGINEER MUST SIGN, SEAL, DATE AND
DESCRIBE THE FULL EXTENT OF THE
ALTERATION ON THE DRAWINGS AND/OR IN
THE SPECIFICATIONS. (NYS EDUCATION LAW
SECTION 7209-2)



REVISION	DATE	DESCRIPTION
 ATZL, NASHER & ZIGLER P.C. ENGINEERS-SURVEYORS-PLANNERS 232 North Main Street New City, New York 10956 Tel: (845) 634-4694 Fax: (845) 634-5543 E-mail: info@anzny.com Web: www.ANZNY.com		
PROJECT:		
15 TERRACE ROAD, LLC.		
TITLE:		
SITE PLAN LOT 4		
DRAWN BY: IS	CHECKED BY: JRA	
DATE: APRIL 02, 2025	SCALE: 1 IN. = 30 FT.	
PROJECT NO:	DRAWING NO:	
5275	1	

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Mazal 18 Builders Inc			
Name of Action or Project: Loweinger House			
Project Location (describe, and attach a location map): 17 Jeremy Ct			
Brief Description of Proposed Action: We are proposing the construction of a single-family residence in the Village of Wesley Hills. This home is designed in full accordance with all applicable local zoning laws, building codes, and architectural guidelines. The proposed house reflects the character and aesthetic of the surrounding homes in the neighborhood, maintaining harmony with the community's established architectural style. Care has been taken to ensure that building materials, scale, roofline, and overall design are consistent with the look and feel of nearby properties. This home will serve as a permanent residence for a family that is excited to become part of the Wesley Hills community. Their presence will positively contribute to the neighborhood's vibrancy and continued growth.			
Name of Applicant or Sponsor: Kamran Amona		Telephone: 845-596-4471 E-Mail: kamranamona@gmail.com	
Address: 435 Buena Vista Rd			
City/PO: New City		State: NY	Zip Code: 10956
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Building Dept- Building Permit			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 1.13 acres b. Total acreage to be physically disturbed? _____ .10 acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 1.13 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action: <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

RECEIVED
VILLAGE OF WESLEY HILLS
JUN 26 2025
BUILDING,
PLANNING & ZONING

		NO	YES	Item 3.
5. Is the proposed action,	a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If Yes, identify: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____				
10. Will the proposed action connect to an existing public/private water supply?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If No, describe method for providing potable water: _____ _____				
11. Will the proposed action connect to existing wastewater utilities?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If No, describe method for providing wastewater treatment: _____ _____				
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____				

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:

Shoreline Forest Agricultural/grasslands Early mid-successional

Wetland Urban Suburban

15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?

	NO	YES
<input checked="" type="checkbox"/>		<input type="checkbox"/>

16. Is the project site located in the 100-year flood plan?

	NO	YES
<input checked="" type="checkbox"/>		<input type="checkbox"/>

17. Will the proposed action create storm water discharge, either from point or non-point sources?

If Yes,

a. Will storm water discharges flow to adjacent properties?

<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>

b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?

<input type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------

If Yes, briefly describe:

Storm water will be conveyed to municipal drainage system per approved subdivision.

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?

If Yes, explain the purpose and size of the impoundment:

	NO	YES
<input checked="" type="checkbox"/>		<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?

If Yes, describe:

	NO	YES
<input checked="" type="checkbox"/>		<input type="checkbox"/>

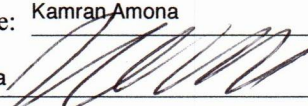
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?

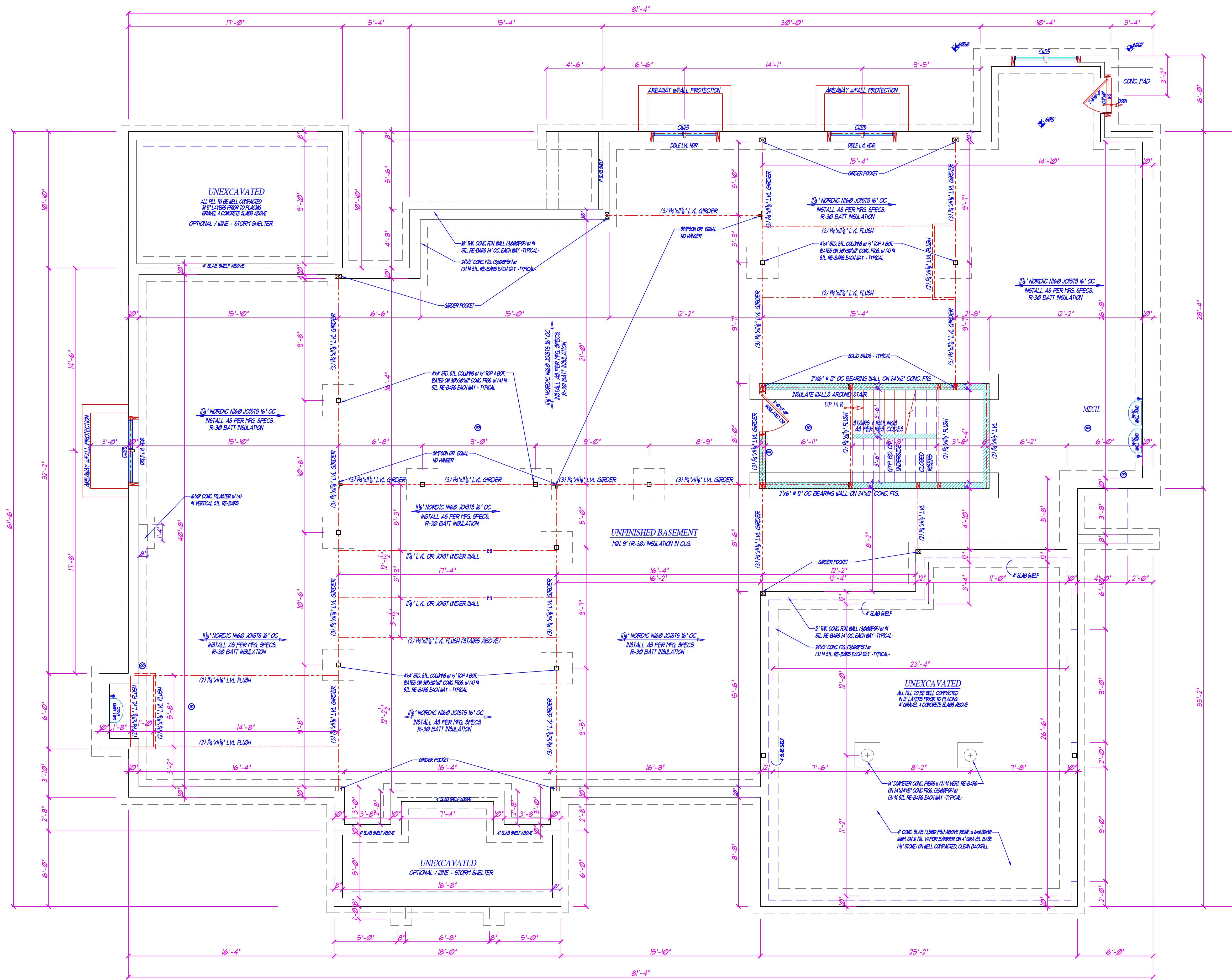
If Yes, describe:

	NO	YES
<input checked="" type="checkbox"/>		<input type="checkbox"/>

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor/name: Kamran Amona Date: 6/24/25

Signature: Kamran Amona  Title: President



BASEMENT FLOOR PLAN

<p>NOTES:</p>	<p>PROJECT DATA BUILDING COVERAGE = 4,425 SQ. FT. BASEMENT FLOOR AREA = 3,208 SQ. FT. LOT AREA = 54,162 SQ. FT.</p>	<p>WALL LEGEND</p> <ul style="list-style-type: none"> STANDARD FRAME WALLS LOAD BEARING WALLS FIRE RATED WALLS 		<p>ERIC KNUTE OSBORN ARCHITECT 48 YEARS' EXPERIENCE RESIDENTIAL - COMMERCIAL - ADDITIONS 58 BARNES ROAD WASHINGTONVILLE, N.Y. 10992 EMAIL - EKOSBORNARCHITECT@GMAIL.COM (845) 629-7474</p>	<p>PROJECT PROPOSED RESIDENCE FOR JOSH & BRACHA LOWINGER LOT # 4 JEREMY COURT VILLAGE OF WESLEY HILLS ROCKLAND COUNTY, NEW YORK TAX LOT 4.4 BLK. 2 SECT. 32.19</p>	<p>BASEMENT FLR PLAN</p>	<p>START DATE: 13 AUGUST 2024</p>	<p>PROJECT # 2025-CHSE-1 SCALE 1/4" = 1'-0" DWG. No. A-3 OF</p>	
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PART I

Name of Municipality VILLAGE OF WESLEY HILLS Date JUN 6 2025
RECEIVED VILLAGE OF WESLEY HILLS
PLANNING & ZONING

Please check all that apply:

<input type="checkbox"/> Planning Board	<input type="checkbox"/> Municipal Board
<input type="checkbox"/> Zoning Board of Appeals* (Fill out Part II of this form.)	<input type="checkbox"/> Historical Board
	<input checked="" type="checkbox"/> Architectural Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Sketch
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Preliminary
	<input type="checkbox"/> Final
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Zone Change
<input type="checkbox"/> Zoning Code Amendment	
<input type="checkbox"/> Variance	

Applicant: MAZAL 18 BUILDING INC. Phone # _____
Address: 435 BUENA VISTA RD NEWURY N.Y. 10956
Email: Kamranamona@hotmail.com

Project Name: Lowering
Tax Map Lot No. 32.19-2 Map Date 5-29-25
4.4 Current Zoning R50

Location: On the North side of JEREMY COURT
_____ feet of _____ in the
town of Ramapo hamlet/village of Wesley Hills

Acreage of Parcel 54000 Zoning District R-50
School District Ramapo Postal District 10952
Fire District MONSEY F.D. Ambulance District MONSEY
Water District Verolia Sewer District S.D. #1

Project Description: (If additional space required, please attach a narrative summary.)

RECEIVED
VILLAGE OF WESLEY HILLS

BUILDING,
PLANNING & ZONING

If subdivision:

- 1) Is any variance from the subdivision regulations required? N/A JUN 6 2025
- 2) Is any open space being offered? N/A If so, what amount? _____
- 3) Is this a standard or average density subdivision? Yes

If site plan:

- 1) Total size of building(s) in square feet _____
- 2) Proposed addition 6745
- 3) Number of dwelling units 1

If special permit, list special permit use and what the property will be used for.

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area. N/A

Are there streams on the site? If yes, please provide the names. N/A

Are there wetlands on the site? If yes, please provide the names and type. N/A

Project History: Has this project ever been reviewed before? N/A

If so, provide a narrative, including the list case number, name, date, and the board you appeared before. _____

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

None

Property Owner: Joshua, Brecha Lowinger Phone # 347 834-1539
Address: 13 Ash St. Email: _____

Engineer/Architect/Surveyor: John ATZL Phone # 845 6344694
Address: 234 N. Main St. Email: jatzl@an2ny.com
New City N.Y. 10956

Attorney: _____ Phone # _____
Address: _____ Email: _____

Contact Person: Kamran Amora Phone # 845-5964471
Address: 435 Buena Vista Rd Email: Kamranamora@hotmail.com
New City N.Y. 10956

VILLAGE OF WESLEY HILLS

432 Route 306
Wesley Hills, New York 10952
(845) 354-0400 Fax: (845) 354-4097

RECEIVED
VILLAGE OF WESLEY HILLS
JUN 6 2025
BUILDING,
PLANNING & ZONING


AFFIDAVIT OF OWNERSHIP


STATE OF NEW YORK }
COUNTY OF ROCKLAND } SS:
VILLAGE OF WESLEY HILLS }

Joshua Lawinger being duly sworn, deposes and
says that he/she resides at 13 Ash St Monsey NY 10952

in the County of Rockland, State of New York; that he/she is the owner in
fee of all that certain lot, piece or parcel of land situated, lying and being
in the Village of Wesley Hills, and designated on the Town of Ramapo
Map as Section No. 3219-2-44 Lot No. 4 and that he/she hereby
authorizes the attached application to be submitted in his/her behalf and
that the statements of fact contained in said application are true.

The applicant is the (owner) (contract vendee) of the said property.

Owner: 
Address: 13 Ash St Monsey
NY 10952

Sworn to before me this
6th day of June 2025

Notary Public

FEIGIE SIMONOVITS
NOTARY PUBLIC-STATE OF NEW YORK
No. 01SI0001226
Qualified in Rockland County
My Commission Expires 02-09-2027

DISCLAIMER

RECEIVED
VILLAGE OF WESLEY HILLS
JUN 6 2025

APPLICANT TAKES FULL RESPONSIBILITY FOR RESEARCHING THE TAX MAP FOR THE LIST OF NAMES OF PROPERTY OWNERS ON THE ENCLOSED **AFFIDAVIT OF MAILING LIST**, AND SUPPLYING THE NECESSARY AMOUNT OF SELF-ADDRESSED STAMPED ENVELOPES.

BUILDING,
PLANNING & ZONING

THE APPLICANT'S ENVELOPES MUST COINCIDE WITH THE LIST. THE CLERK'S RESPONSIBILITY IS LIMITED TO CHECKING NAMES ON THE ENVELOPES AGAINST THE AFOREMENTIONED AFFIDAVIT BEFORE MAILING THEM.

RECEIPT OF THIS DISCLAIMER IS ACKNOWLEDGED

Ken Cron *MAZAL (S) Biker*
APPLICANT

6-5-25
DATED

11/32.18-2-19
KERN FAMILY 2020 TRUST
20 ROBLE RD
WESLEY HILLS, NY 10901

11/32.19-2-35
BELSKY FRANCES
12 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-20.2
LEMPPEL ESTHER
11 ROCKWOOD LN
SUFFERN, NY 10901

11/41.07-1-6
CNTRL SCHL DSTRIC NO
245-302 OF THE TOWNS OF R
105 SO MADISON AV
SPRING VALLEY, NY 10977

11/32.19-2-26
10 ROCKWOOD HOLDINGS LLC
C/O KELMAN LEVI
18 SKYLARK DRIVE
SPRING VALLEY, NY 10977

11/32.19-2-37
CHESIR JOSHUA & FRANCINE
16 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-39
OLLECH MARCEL & BARBARA L
18 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-28
KUNSTLINGER DANIEL & WEISSMAN
REBECCA
23 POWDER HORN DR
WESLEY HILLS, NY 10901

11/32.19-1-61
SANDOVAL PABLO & YESVELI
ROXANNA
5 CAINS RD
SUFFERN, NY 10901

11/32.19-1-64
FRIEDMAN ALEX & NECHAMA S
6 OLD POMONA RD
SUFFERN, NY 10901

11/32.19-2-33
COHEN AARON M & GOLDA R
9 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-20.3
HAGLER DARYL
1 HUNTERS RUN
SUFFERN, NY 10901

11/32.19-2-20.1
GROSS JONATHAN E
15 ROCKWOOD LN
SUFFERN, NY 10901

11/41.07-1-5
WESLEY HILLS VILLAGE OF
432 ROUTE 306
MONSEY, NY 10952

11/32.19-2-29
JILLEBA FREDERICK & UGHETTA
21 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-38
RATZKER GARY & ARLENE
3 ARI DR
SUFFERN, NY 10901

11/32.19-2-6
WEIL NATHANIEL REV LIVING
TRUST, THE
571 CYPRESS AVE
LOS ANGELES, CA 90065

11/32.19-1-63
BAROUK BEILA
4 OLD POMONA RD
SUFFERN, NY 10901

11/32.19-2-62
SCHEINFELD MEIR & STERN ALISA
536 ROUTE 306
MONSEY, NY 10952

11/32.19-1-59
SIEGEL JEFFREY & KIM
4 SERVEN RD
SUFFERN, NY 10901

11/32.19-2-32
ADAMS MITRA & ZIVARI
SOHAYLA S
11 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-31
KIGLER MARVIN J & IRENE G
17 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-36
BENDRIHEM YOSEF & SHOSHANA
14 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-30
WAITMAN ROBERT M &
PRINCE SHIRA
19 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-27
AWE LEGACY TRUST
12 ROCKWOOD LA
SUFFERN, NY 10901
RECEIVED
VILLAGE OF WESLEY HILLS
MAY 30 2025

11/32.19-2-25
SCHRIER JEANY
8 ROCKWOOD LN
SUFFERN, NY 10901
BUILDING,
PLANNING & ZONING

11/32.19-2-5
JUNGREIS DAVID
9 CAINS RD
SUFFERN, NY 10901

11/32.19-2-40
KOTCH BRETT & EVA
REVOCABLE TRUST
20 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-1-62
ORLANSKY AVROHOM &
HOFFMAN SHIRA
7 CAINS RD
SUFFERN, NY 10901

11/32.19-1-60
FOGEL MOSHE & CYNTHIA
4 CAINS RD
SUFFERN, NY 10901

1./32.19-2-42
COHEN LEVY SUSAN DIANE
LEGACY TRUST
24 POWDER HORN DR
WESLEY HILLS, NY 10901

11/32.19-1-50
HALPERT SHMUEL & AVIVA
2 CAINS RD
SUFFERN, NY 10901

11/32.19-2-4
FIFTEEN TERRACE RD., LLC
555 TAXTER RD. STE. 235
ELMSFORD, NY 10523

11/32.19-1-42
SHTAYGRUD YEHUDAH &
FUCHS HINDY MIRIAM
1 CAINS RD
SUFFERN, NY 10901

11/32.19-1-43
GOLDBERGER SHARON
18 BUENA VISTA RD
SUFFERN, NY 10901

11/32.19-1-46
GROSS FAIGY
1448 50TH ST
BROOKLYN, NY 11219

11/32.19-2-60
SPITZ ABRAHAM
& RACHEL
29 POWDER HORN DR
WESLEY HILLS, NY 10901

11/32.19-1-25
KLEIN JACK W & PAULINE
17 BUENA VISTA RD
SUFFERN, NY 10901

11/32.19-1-23
JACOBSON BARBARA & JONAH
21 BUENA VISTA RD
SUFFERN, NY 10901

11/32.19-1-18
OSEN JANET
12 ONDERDONK RD
SUFFERN, NY 10901

11/32.18-2-18
WASSERMAN NEAL I & ELEANOR N
22 ROBLE RD
SUFFERN, NY 10901

11/32.19-1-49
HALPERT SHMUEL & AVIVA
2 CAINS RD
SUFFERN, NY 10901

11/32.19-1-40
DARSHAN NAVEENA & PAMELA
12 BUENA VISTA RD
SUFFERN, NY 10901

11/32.19-2-61
YANIV DANIEL & RAIZEL
27 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-1-44
ZOLDAN DAVID
65 CARTERET ST
WEST ORANGE, NJ 07052

11/32.19-1-47
WEG LEGACY TRUST
26 BUENA VISTA RD
SUFFERN, NY 10901

11/32.19-1-27
KAHAN MORDECHAI &
KAHANA CHAYA
13 BUENA VISTA ROAD
WESLEY HILLS, NY 10901

11/32.19-1-24
SOSOVER MOSHE
6654 SELFRIDGE ST
FOREST HILLS, NY 11375

11/32.19-2-54
REICHMANN MARC & TOVAH
MIRYAM TZIPPORAH
47 POWDER HORN LN
SUFFERN, NY 10901

11/32.19-2-55
FLORANS MOSHE &
TSINMAN FEIGA
45 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-1-51
MAKOWSKY PHILIP A
& SARA M
72 EDISON CT
MONSEY, NY 10952

11/32.19-1-48
ROZENBERG KENNETH
3 CAINS RD
SUFFERN, NY 10901

11/32.19-1-41
MANN ELIEZER M &
BAKER ZEHAVA
14 BUENA VISTA ROAD
SUFFERN, NY 10901

11/32.19-2-43
26 POWDERHORN DRIVE
REVOCABLE TRUST
26 POWDER HORN LN
SUFFERN, NY 10901

11/32.19-1-45
KOHN SHOSHANA
22 BUENA VISTA RD
WESLEY HILLS, NY 10901

11/32.19-2-44
HOLZBERG BASYA & RONALD
11/32.19-2-44
HOLZBERG BASYA & RONALD
PO BOX 500

MONTVALE, NJ 07645
RECEIVED
VILLAGE OF WESLEY HILLS
MAY 30 2025
BUILDING
PLANNING & ZONING

11/32.19-1-26
KAHANA PINCHAS & HALPERT
CHANA
15 BUENA VISTA RD
SUFFERN, NY 10901

11/32.19-2-59
BEACON SEVEN INC
C/O ROSENBERG SUSAN
130 ROUTE 59
SPRING VALLEY, NY 10977

11/32.19-1-22
WEISSBERG BELINDA
23 BUENA VISTA RD
SUFFERN, NY 10901

11/32.19-1-19
HEFFLER MARK & MARY
14 ONDERDONK RD
SUFFERN, NY 10901

11/32.19-1-20
KERZNER JOSEPH A & LICHTER RACHEL
M
16 ONDERDONK RD
WESLEY HILLS, NY 10901

11/32.19-2-57
41 POWDERHORN LLC
41 POWDERHORN LLC
SUFFERN, NY 10901

11/32.19-2-53
RATNER JOSHUA S & AMY R & RATNER
ROBERT & CAMILLE
48 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-50
SCHOCHET CHAIM & SARAH
42 POWDER HORN DR
WESLEY HILL, NY 10901

11/32.19-2-58
CAREN MARK S & VANESSA B
33 POWDER HORN DR
SUFFERN, NY 10901

11/32.19-2-56
HURWITZ CHAYA BRACHA
43 POWDERHORN DR
WESLEY HILLS, NY 10977

11/32.19-2-52
LIPOFF LAWRENCE & LAUREN
46 POWDER HORN LN
SUFFERN, NY 10901

11/32.19-1-21
GUZELGUL MICHAEL & TROPPER
NECHOMA GILA
53 EDISON COURT
MONSEY, NY 10952

11/32.19-1-1
25 ONDERDONK LLC
527 MARCY AVE
BROOKLYN, NY 11206

11/32.19-2-51
SHAPIRO HADASSAH
44 POWDER HORN DR
SUFFERN, NY 10901

RECEIVED
VILLAGE OF WESLEY HILLS
MAY 30 2025
BUILDING,
PLANNING & ZONING

Mazal 18 Builders inc

435 Buena Vista Rd.

New City NY 10956

Dear ARB Members

We respectfully submit for your review and consideration the architectural plans for a new single-family residence, located at 17 Jeremy ct. Wesley Hills NY thoughtfully designed by architect Eric Osborne. The proposed home will be a true single-story dwelling that combines modern simplicity with timeless elegance, fitting harmoniously within the character of the surrounding neighborhood.

The exterior of the home will feature smooth stucco finish, complementing contemporary black-framed Sierra Pacific windows that provide both style and energy efficiency. The charcoal-colored shingle roof will offer a subtle contrast, enhancing the home's sleek,

At the front, a double-door entry anchors the design, offering a balanced focal point and a welcoming sense of arrival.

The residence also includes a two-car garage, seamlessly integrated into the architectural form to preserve the aesthetic continuity of the home's design.

Landscaping will be intentionally minimalistic yet refined, using drought-tolerant and low-maintenance plantings to enhance the curb appeal without overwhelming the architecture. The landscape design will include clean lines, natural textures, and native plant materials.

The overall design reflects a commitment to quality, functionality, and understated elegance. We believe this residence will make a valuable contribution to the architectural character of the community and respectfully request the board's approval to proceed.

Respectfully yours,

Mazal 18 Builders inc

Kamran Amona

RECEIVED
VILLAGE OF WESLEY HILLS
MAY 30 2025
BUILDING,
PLANNING & ZONING



MEMORANDUM

TO: Lon Lieberman, Chairman
Members, Village of Wesley Hills Planning Board

FROM: William Brady, AICP
Gerard Chesterman, Planner

DATE: July 21, 2025

RE: 17 Jeremy Court Architectural Review
Applicant: Kamran Amona
Owner: Joshua and Brecha Lowingen
SBL: 32.19-2-4.4; R-50 Zoning District

CC: John Layne, Building Inspector
Alicia Schultz, Deputy Village Clerk
Stewart Strow, P.E., Village Engineer
Bruce Minsky, Esq., Planning Board Attorney

Items Reviewed for this Memorandum

- Narrative, outlining of Finish Materials and Colors, undated, rec'd May 30, 2025.
- Architectural Review Application Package, unsigned, undated, rec'd June 2, 2025.
- Short Environmental Assessment Form Part 1, prepared and signed by Kamran Amona, dated May 24, 2025.
- Photo renderings of the front of the proposed house, unsigned, undated.
- A copy of the color of the proposed stucco, unsigned, undated.
- Window Schedule report, prepared by Ricardo Ferreira of Anderson Windows and Doors, dated May 28, 2025.
- Site Plan Lot 4, prepared, signed and stamped by Ryan A. Nasher, P.E. and John R. Atzl P.L.S. of Atzl, Nasher and Zigler P.C., dated April 2, 2025
- Architectural Plans and Elevations, prepared and stamped by Eric Knute Osborn, dated May 25, 2025:
 - DWG. No. A-1 / Elevations
 - DWG. No. A-2 / Side Elevations
 - DWG. No. A-4 / Basement Floor Plan
 - DWG. No. A-5 / Main Floor Plan
 - Unnumbered / Upper Floor Plan

Project Summary

Kamran Amona (“the Applicant”) is applying to construct a single-family home at 17 Jeremy Court for the owners Joshua and Brecha Lowingen and is seeking architectural approval. The two-story home has a proposed total square footage of 6,554, on a lot that is 54,162 square feet (1.24 acres), located on the north side of Jeremy Court, and located in the R-50 zone on SBL 32.19-2-4.4. The home is being constructed on a lot that was a part of the AMS Subdivision (also known as “15 Terrace”), so ARB review is required by §230-36.E.(5). The SBL number of the full parcel prior to subdivision is 32.19-2-4.

Submission Comments

1. We note that the applicant’s narrative describes the proposed home as a “true single-story dwelling,” while the plans provided show that the home would be a two-story home.
2. Please submit these required additional items, per §230-36.E(5)(a): Colors and samples of roofing materials and landscaping designs to be used (with manufacturers’ pictures if available).

Architectural Review Comments

3. A public hearing is required as per Village Code §230-36.E(5)(c). The Planning Board may wish to schedule a public hearing if it finds the application to be complete enough.
4. As per the Village Code §230-36.E(5)(e)[1] and [2], no proposed construction should be excessively similar or dissimilar in relation to the surrounding existing structures within 500 feet. Photographs from Google Maps of nearby homes are included below. The proposed design does not appear to be excessively similar or dissimilar to homes in the surrounding neighborhood.

23 Powder Horn Drive



21 Powder Horn Drive



20 Power Horn Drive



18 Powder Horn Drive



19 Powder Horn Drive



16 Powder Horn Drive



SEQR/GML Comments

5. GML review will not be required for this application, as the County does not review ARB applications.
6. This can be classified as a Type II action as per SEQR §617.5(25), as “official acts of ministerial nature involving no exercise of discretion, including building permits and historic preservation permits where issuance is predicated solely on the applicant’s compliance or noncompliance with the relevant local building or preservation codes.”



PLANNING BOARD MEETING MINUTES

May 22, 2025 at 7:30 PM

432 Route 306, Wesley Hills, NY 10952

Phone: 845-354-0400 | Fax: 845-354-4097

CALL TO ORDER

Present: Chairman Lon Lieberman, Albert Tew, Neal Wasserman, Joshua Scheinberg, Tzvee Rotberg- 2nd Alternate

Absent: Vanessa Caren, Joseph Zupnik- 1st Alternate

Also Present: Bruce Minsky-Deputy Village Attorney, Stu Strow- Village Engineer, Bill Brady- Village Planner, Alicia Schultz-Deputy Village Clerk

DISCUSSION ON THE APPLICATION SUBMITTED BY MARK FRIEDMAN FOR SITE PLAN AND SPECIAL PERMIT. Affecting property located on the eastern side of Martha Road, 350 feet south of Grandview Avenue. Designated on the Town of Ramapo Tax Map as Parcel ID# 41.14-1-62. Subject property is located at 12A Martha Road.

Chairman Lieberman read the item into the record.

Pat Loftus, the applicant’s attorney, was present. Mr. Loftus stated that the house and pool area are currently under construction, they are building a dwelling on the larger scale, and they were approved for (3) variances by the Zoning Board of Appeals in September 2020. Mr. Loftus stated that they have made revisions to the plans to include a cabana, pool, parking area and tennis court. Mr. Loftus stated that due to the size of the tennis court, the application must be presented to the Planning Board for special permit & revised site plan and must also apply to the Zoning Board of Appeals for FIVE (5) variances. Mr. Loftus added that the application had to be sent to the County for GML review and the Rockland County Planning Department did not have any comments or objections to the application submitted.

Bill Brady stated that after reviewing the plan, he stated that the tennis court’s size needs to be displayed on the proposed site plan, as well as a few other items that need to be cleaned up on the proposed plan as referenced in his April 18, 2025 review memo. Mr. Brady added that the location of the tennis court is sufficient and encourages proper screening.

Stu Strow stated there may be SIX (6) variances needed for the proposed plans and his memo dated April 24, 2025 states there are a few items that need to be addressed, including drainage calculations to be provided to account for the new tennis court.

Bruce Minsky stated that the applicant must apply to the Zoning Board of Appeals for the variances needed on the proposed plan and then return to the Planning Board, who will claim Lead Agency, for special plan & revised site plan approval, if the variances are granted by the Zoning Board.

Chairman Lieberman questioned if anyone from the public would like to speak.

No one from the public chose to speak.

Chairman Lieberman made a motion to approve the following resolution seconded by Neal Wasserman:

RESOLUTION 25-6
NOTICE OF INTENT TO BE LEAD AGENCY
12A MARTHA ROAD-MARK FRIEDMAN

This Notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Act) of the Environmental Conservation Law.

The Village of Wesley Hills of Planning Board, Rockland County, New York has declared its intent to be the sole Lead Agency with respect to the proposed action identified below. Unless written objection is received from an Involved Agency within thirty (30) days of the date of this notification the Board will designate itself sole Lead Agency.

Date: 5/22/2024

Name of Action: Mark Friedman

Location/Property: The proposed project site is commonly known as 12A Martha Road, Wesley Hills NY 10952 and designated on the Tax Map of the Town of Ramapo as Section 41.14, Block 1, Lot 62 ("Premises"). The Premises are currently zoned as R-50. The Premises is located on the eastern side of Martha Road, 350 feet south of Grandview Avenue.

SEORA Status: Unlisted

Description of Action: Applicant is proposing: a revised site plan that adds a tennis court, relocates the swimming pool, replaces a gazebo with a pool cabana, and reconfigures the driveway and parking pad. The size of the proposed tennis court triggers the need for a special permit from the Planning Board under Village Code §230-140(4)(b). The existing home was demolished. In its place the Applicant is/are building a new single-family home with decks, patios, a swimming pool and a pool cabana.

Lead Agency: Village of Welsey Hills Planning Board.

Lead Agency Contact Person: Alicia Schultz, Deputy Village Clerk-Treasurer
Village of Wesley Hills
432 Route 306, Wesley Hills NY 10952
Telephone: 845-354-0500

A Copy of This Notice Has Been Sent to the Following Involved and Interested Agencies:

Hillcrest Fire Company No. 1, Hillcrest Fire Co. #1/Moleston Fire District, 374 N Main St
Spring Valley, NY 10977

Rockland County Health Department 50 Sanatorium Road, Pomona, NY 10970

Rockland County Highway Department, 23 New Hempstead Road, New City, NY 10956

Rockland County Planning Department, Building T, 50 Sanatorium Road, Pomona, NY 10970

Rockland County Sewer District No. 1, 4 Route 340, Orangeburg, NY 10962

Town of Ramapo, Highway Department, 16 Pioneer Ave Tallman 10982

Town of Ramapo, Department of Public Works, 18 Pioneer Avenue, Tallman, NY 10982

Town of Ramapo, 237 Route 59, Suffern, NY 10901, Attn.: Supervisor Michael Specht

Upon vote, the motion was carried unanimously.

DISCUSSION ON THE APPLICATION SUBMITTED BY YESHIVA OHR REUVEN FOR REVISED SITE PLAN AND SPECIAL PERMIT. Affecting property located on the northwesterly side of Grandview Avenue, at the intersection of Spook Rock Road. Known as Tax Parcel ID#'s 40.16-1-17 & 18 on the Ramapo Tax Map. Subject property located at 251- 259 Grandview Avenue

Chairman Lieberman read the item into the record.

Pat Loftus, the applicant's attorney, and Steve Sparaco, the applicant's engineer, were present. Mr. Loftus stated that this school has been functioning for many years, the Village recently passed a Law that allows for faculty housing, and the proposed plan is the best option the professionals could come up with in the area designated for said housing units. Mr. Loftus added that the NYSDEC is not concerned about the wetlands area, and they will be constructing a four-foot retaining wall with adequate screening to separate the school and housing units from the neighboring property(ies).

Chairman Lieberman questioned if the driveway was going to be changing from the current driveway in any way. Chairman Lieberman stated that the traffic flow is going to change, and a traffic study must be provided to the Village Professionals and Planning Board for review.

Steve Sparaco stated that the driveway is not changing, just the traffic pattern will be changing, and they will be conducting a traffic study and will provide a report for review when complete. Mr. Sparaco added that the drainage is mostly underground, they will be providing a Stormwater Pollution Prevention Plan (SWPPP) and full details on a revised set of plans for review by the Village Professionals. Mr. Sparaco showed the Board the plans for the faculty housing; there are currently TWENTY-FOUR (24) proposed housing units and each unit is 1,400 square feet in size. Mr. Sparaco stated that the applicant has been discussing making the units a bit larger and constructing TWENTY (20) housing units, as opposed to the currently proposed TWENTY-FOUR (24) housing units.

Bill Brady stated that the most recent plan referenced a newly located wetlands buffer area. Mr. Brady stated that once they have completed their construction, they should replace the wooded area with some landscaping to benefit the property.

Stu Strow stated the plans received and reviewed were not a complete set of plans, they were a preliminary plan to get feedback from the Village prior to completing the plans with full details. Mr. Strow added that the SWPPP must be provided as they are going to need to review the breakdown of the drainage system(s). Mr. Strow added that the wetlands area must be reviewed and find out if it is redirecting or a detention pond. Mr. Strow stated he is concerned with the walls on the east side of the driveway and requested that they are neighborhood friendly, as they are in a residential area. Mr. Strow went over the rest of his April 23, 2025 review memo.

Chairman Lieberman questioned if anyone from the public would like to speak.

No one from the public chose to speak.

Chairman Lieberman made a motion to approve the following resolution seconded by Albert Tew:

RESOLUTION 25-7
NOTICE OF INTENT TO BE LEAD AGENCY
259 GRANDVIEW AVENUE-YESHIVA OHR REUVEN

This Notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Act) of the Environmental Conservation Law.

The Village of Wesley Hills of Planning Board, Rockland County, New York has declared its intent to be the sole Lead Agency with respect to the proposed action identified below. Unless written objection is received from an Involved Agency within thirty (30) days of the date of this notification the Board will designate itself sole Lead Agency.

Date: 5/22/2024

Name of Action: Yeshiva Ohr Reuven

Location/Property: The proposed project site is commonly known as 251-259 Grandview Avenue, Wesley Hills NY 10952 and designated on the Tax Map of the Town of Ramapo as Section 40.06, Block 1, Lot 17 and 18 ("Premises"). The Premises are currently zoned as R-50. The Premises is located on the northwesterly side of Grandview Avenue, at the intersection of Spook Rock Road.

SEORA Status: Unlisted

Description of Action: Applicant, having, at the Premises, an existing school campus [consisting, of amongst other things, two buildings, an existing dormitory, caretaker building, an existing parking area with 32 parking spaces, a macadam basketball court and an outdoor "gym" structure adjacent to the parking area] wishes to expand its existing dormitory, add faculty housing, and add parking spaces. Besides the need for the Amended Site Plan approval, the addition of the proposed faculty housing triggers the further need for a special permit from the Planning Board under Village Code §230-26I(17).

Lead Agency: Village of Wesley Hills Planning Board.

Lead Agency Contact Person: Alicia Schultz- Deputy Village Clerk
Village of Wesley Hills
432 Route 306, Wesley Hills NY 10952
Telephone: 845-354-0400

A Copy of This Notice Has Been Sent to the Following Involved and Interested Agencies:

Hillcrest Fire Company No. 1, Hillcrest Fire Co. #1/Moleston Fire District, 374 N Main St
Spring Valley, NY 10977

Rockland County Health Department 50 Sanatorium Road, Pomona, NY 10970

Rockland County Highway Department, 23 New Hempstead Road, New City, NY 10956

Rockland County Planning Department, Building T, 50 Sanatorium Road, Pomona, NY 10970

Rockland County Sewer District No. 1, 4 Route 340, Orangeburg, NY 10962

Town of Ramapo, Highway Department, 16 Pioneer Ave Tallman 10982

Town of Ramapo, Department of Public Works, 18 Pioneer Avenue, Tallman, NY 10982

Town of Ramapo, 237 Route 59, Suffern, NY 10901, Attn.: Supervisor Michael Specht

Upon vote, the motion was carried unanimously.

PUBLIC HEARING ON THE APPLICATION SUBMITTED BY NANCY RUBIN FOR MORDECHAI SCHWAB FOR ARCHITECTURAL PLAN REVIEW. Affecting property located on the northerly side of Rockwood Lane. Designated on the Town of Ramapo Tax Map as Parcel ID #32.19-2-4.11. Subject property located at 43 Rockwood Lane.

Chairman Lieberman read the item into the record.

Jerry Stienfeld, the applicant’s contractor, was present with materials being used to construct the home at 43 Rockwood Lane. Bill Brady stated that the materials presented are satisfactory, and they are not too similar nor too dissimilar in kind to the neighboring properties.

Chairman Lieberman asked if anyone from the public would like to speak.

No one from the public chose to speak.

Chairman Lieberman made a motion to approve the following resolution, seconded by Albert Tew

RESOLUTION 25-8
ARCHITECTURAL PLAN REVIEW
43 ROCKWOOD LANE- SCHWAB

WHEREAS, Mordechai Schwab has applied to the Planning Board pursuant to the Zoning Law of the Village of Wesley Hills for approval of architectural plans for a new single family, dated March 4, 2025, the subject premises are situated/are commonly known as 43 Rockwood Lane, Suffern NY 10901 and is designated on the Town of Ramapo Tax Map as Section 32.19, Block 2 , Lot 4.11 (“Premises”); and

WHEREAS, a duly advertised public hearing was held on said Application at the Village Hall, 432 Route 306, Wesley Hills, New York, on May 22, 2025, at which time

(i) the Applicant appeared in person and by its representative and testified for the Application;

(ii) at the public hearing, as in the previous scheduled hearings, if applicable, the Planning Board gave access to a public hearing and no members of the public appeared and/or no one opposed the Application, and,

(iii) the Planning Board considered all input from the public, and with the Planning Board consulting with its professionals [Planner, Engineer, Legal];

WHEREAS, the proposed action is defined as a Type II Action requiring no further review under the State Environmental Quality Review Act (“SEQRA”);

WHEREAS, the proposed action at the Premises is not subject to General Municipal Law review;

NOW, THEREFORE, BE IT RESOLVED, that the architectural plans for the Premises on said lot entitled “Schwab Residence”, dated March 4, 2025, prepared by Rosenblum Architecture, are hereby approved, subject to incorporation of the materials presented to and incorporated by the Planning Board on the Hearing Date, described in the Minutes of that meeting on the Hearing Date;

NOW, THEREFORE, BE IT FURTHER RESOLVED, the approval herein is subject to compliance with all local laws and ordinances of the Village of Wesley Hills, as well as other applicable laws/regulations, any other requirements/conditions imposed by the Village and any other requirements/conditions imposed by the Village’s Building Inspector.

The Planning Board gives no approval of any building plans, the Plans submitted to this Planning Board solely for the purposes of the approval(s) being requested as per the Application.

ACTION: A motion to grant/approval this Resolution was made by Chairman Lieberman with a second from Albert Tew.

Upon vote, the motion was carried unanimously.

DISCUSSION ON THE APPLICATION SUBMITTED BY RACHEL COHEN FOR A CLEARING/FILLING/EXCAVATING PERMIT. Affecting property located on the west side of Fieldcrest Drive, 175 feet from the intersection of Suhl Lane. Designated on the Town of Ramapo Tax Map as Parcel ID#41.14-1-17. Subject property is located at 9 Fieldcrest Drive.

Chairman Lieberman read the item into the record.

Todd Rosenblum, the applicant's architect, was present. Todd Rosenblum stated that the only items that remain are the well certification from the County Health Department, and any fees due to the Village.

Chairman Lieberman asked if anyone from the public would like to speak.

No one from the public chose to speak.

Chairman Lieberman made a motion to approve the following resolution, seconded by Neal Wasserman

RESOLUTION 25-9
CLEARING/ FILLING/ EXCAVATING PERMIT
9 FIELDCREST DRIVE- RACHEL COHEN

A regular meeting of the Planning Board of the Village of Wesley Hills was convened on May 22, 2025, at 7:30 pm.

The meeting was called to order by the Chairman Lon Lieberman, and with a quorum present, the following Resolution was offered by Chairman Lieberman, seconded by Neal Wasserman to wit:

WHEREAS, in regard to the application submitted by Rachel Cohen for a Clearing/Filling/Excavation [12/11/24], the same affecting the property located/designated on the Town of Ramapo Tax Map as Parcel ID# 41.14-1-17. The subject Property is commonly known as 9 Fieldcrest Drive, Wesley Hills, Monsey NY;

WHEREAS, after due notice, the most recent public hearing on said Applications was/were held by the Planning Board May 22 2025;

WHEREAS, the Applicant appeared in person and/or by its representative(s) and testified for the Application;

WHEREAS, at the public hearing, as in the previous scheduled hearings, the Planning Board gave access to a public hearing and member(s) of the public appeared and/or no one opposed the Application, and with the Planning Board considering all input from the public;

WHEREAS, the Planning Board consulted with its professionals [Planner, Engineer, Legal],

and based on the Application filed reviewed and determined that:

- (i) the Application was a Type II action under SEQRA, which required no further review;
- (ii) the Application was not subject to GML referrals;
- (iii) the Application satisfied the criteria, considerations and standards of the Village of Wesley Hills Code, including but not limited to Chapter 95 – Clearing, Filling and Excavations, Chapter 221 – Wetlands, as well as other relevant code sections;

NOW, upon said hearing and the evidence presented, it is hereby found and determined.

BE IT RESOLVED that the Application, as per the Updated Survey, by Anthony Celentano, P.L.S., dated/revised January 19, 2025, is approved;

BE IT FURTHER RESOLVED that the Approval granted herein is expressly conditioned and subject to the Applicant's compliance with: (i) the payment of all monies owed to the Village in regard to the Application and Applicant, the same to be submitted prior to the issuance of any permit(s); (ii) the time limit obtain the requisite certificate of well from the governing municipalities/agency by July 22, 2025; (iii) all local laws and ordinances of the Village of Wesley Hills, including but not limited to Chapter 95 – Clearing, Filling and Excavations, and Chapter 221 – Wetlands; and (iv) any other requirements/conditions imposed by the Village's Building Inspector.

BE IT FURTHER RESOLVED that the associated work prompting the permit Application has already been completed [adding approximately 2,593 cubic yards of fill to create a flat area held by retaining walls for construction of a pool and sports court], thus the amount of a performance bond, usually determined by the Village Engineer, the bond insuring conformance with the approved plans and all applicable regulations, restrictions and special conditions, is not necessary.

Note that the Planning Board gives no approval of any building plans to be submitted.

ACTION: A motion to grant approval for this Resolution was made by Chairman Lieberman, with a second from Neal Wasserman.

Upon vote, the motion passed unanimously.

APPROVAL OF MINUTES- MARCH 26, 2025

Albert Tew made a motion to approve the March 26, 2025 minutes, seconded by Neal Wasserman. Upon vote, this motion was carried unanimously.

ADJOURNMENT

Neal Wasserman made a motion to adjourn the meeting, seconded by Joshua Scheinberg. Upon vote, this motion was carried unanimously.

Respectfully Submitted,
Alicia Schultz